



TOWN OF HUDSON

Conservation Commission



Carl Murphy, Chairman David Morin, Selectmen Liaison

12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

CONSERVATION COMMISSION MEETING AGENDA April 14, 2025

The Town of Hudson Conservation Commission will hold its next meeting on **Monday, April 14, 2025** at 7:00 p.m. in the Buxton Meeting Room, located in Town Hall 12 School Street, Hudson, NH.

- ✓ Call to Order
- ✓ Pledge of Allegiance
- ✓ Roll Call
- ✓ Alternates
- ✓ Public Input Related to Non-Agenda Items

I. New Business:

- a. Conditional Use Permit – 134 Wason Road; Map 206, Lot 001-002
- b. Hudson Times: Propose a series of articles featuring town Conservation Land.

II. Old Business:

- a. Gumpus Pond Bridge Update

III. Other Business:

- a. Tools to purchase for trail work
- b. Move date for April trail workday to April 19th from April 12th
- c. Create a list of goals for the Tiger Road property
- d. Rangers Town Forest; tree harvest landing-maintain as open space?

IV. Financial Status:

Current Report

V. Correspondence

- a. none

VI. Approval of Minutes:

a. March 10, 2025 Meeting Minutes

VII. Commissioner's Comments:

Next Regular Meeting: Monday, May 12, 2025 at 7:00 p.m.

Carl Murphy

Carl Murphy
Conservation Commission Chairman



*Town of Hudson
12 School Street
Hudson, NH 03501*

CONDITIONAL USE PERMIT APPLICATION: WETLAND CONSERVATION OVERLAY DISTRICT

Revised August 2024

Applications must be received at least 21 days prior to the Planning Board and Conservation Commission meetings at which the application will be heard. ***The following information must be filed to each board.***

CONSERVATION COMMISSION:

1. Ten (10) copies of the completed application, including the project narrative that demonstrates that the proposal meets the conditions of Article IX of the Zoning Ordinance.
2. Ten (10) reduced size plan sets *folded* (sheet size: 11" X 17"). Plans require the stamp of a licensed land surveyor and a certified wetlands scientist. At a minimum, plans must show topography and a fifty (50) foot wide buffer around wetland and surface waters for residential uses, and a seventy-five (75) foot wide buffer around wetlands and surface waters for nonresidential uses.

***Complete Application material should be delivered to the Engineering Department (603)886-6008.**

PLANNING BOARD:

1. One (1) copy of the completed application, including the project narrative that demonstrates that the proposal meets the conditions of Article IX of the Zoning Ordinance.
2. One (1) full size plan set *folded* (sheet size: 22" x 34") and fifteen (15) reduced size plan sets *folded* (sheet size: 11" X 17"). Plans require the stamp of a licensed land surveyor and a certified wetlands scientist. At a minimum, plans must show topography and a fifty (50) foot wide buffer around wetland and surface waters for residential uses, and a seventy-five (75) foot wide buffer around wetlands and surface waters for nonresidential uses.
3. A list of direct abutters and indirect abutters, and two (2) sets of mailing labels for abutter notifications.
4. All of the above application materials, including plans, shall also be submitted in electronic form as a PDF.
5. Check should be made payable to the *Town of Hudson*, and submitted to the Planning Department.

***Complete Application material & check should be delivered to the Planning Department (603)886-6008.**

Revised plans and other application materials must be filed with the Planning Department ***no later than 10:00A.M., Tuesday ONE WEEK prior to the scheduled meeting, as applicable. The purpose of these materials is hardcopy distribution to Planning Board members, not review.***

Any plan revisions that require staff review must be submitted no later than 10:00A.M., Tuesday TWO WEEKS prior to the scheduled Planning meeting. Depending on the complexity of changes, more time may be required for review. Please contact the Town Planner if you have any questions on this matter.

Note: Prior to filing an application, it is recommended to schedule an appointment with the Town Planner and Town Engineer.

CONDITIONAL USE PERMIT APPLICATION

Date of Application: 3/25/25 Tax Map #: 206 Lot #: 1-2

Site Address: 134 Wason Road

Name of Project: 134 Wason Road Site Plan

Zoning District: "G" General General CUP#: _____
(For Town Use Only)

Z.B.A. Action: _____

PROPERTY OWNER:

Name: Marco & Cindy Plante

Address: 134 Bush Hill Road

Address: Hudson, NH 03051

Telephone # (603) 235-8066

Email: marco@mdpdevelopment.com

DEVELOPER:

(same as owner)

PROJECT ENGINEER or SURVEYOR:

Name: Benchmark, LLC

Address: 50 Nashua Rd, Suite 305

Address: Londonderry, NH 03053

Telephone # (603) 437-5000

Email: nick@benchmark-engineering.com

CERTIFIED WETLANDS SCIENTIST:

TES Environmental Consultants, LLC

1494 Route 3A, Unit 1

Bow, NH 03304

(603) 856-8925

tom@tesenviro.comcastbiz.net

PURPOSE OF PLAN:

To construct driveway for a (3) three unit condominium site plan

(For Town Use Only)

Routing Date: _____ Deadline Date: _____ Meeting Date: _____

_____ I have no comments _____ I have comments (attach to form)

_____ Title: _____ Date: _____

(Initials)

Department: _____

Zoning: ___ Engineering: ___ Assessor: ___ Police: ___ Fire: ___ DPW: ___ Consultant: ___

SITE DATA SHEET

PLAN NAME: 134 Wason Road Site Plan

PLAN TYPE: (Site Plan, Subdivision, or other) Site Plan

LEGAL DESCRIPTION: MAP 206 LOT 1-2

DATE: 3/25/25

Location by Street: 134 Wason Road

Zoning: "G" General

Proposed Land Use: Residential

Existing Use: Residential

Total Site Area: S.F.: 1,073,427 Acres: 26.64

Total Wetland Area (SF): 362,000

Permanent Wetland Impact Area (SF): none

Permanent Wetland Buffer Impact Area (SF): 1,000 sq. ft.

Temporary Wetland Impact Area (SF): none

Temporary Wetland Buffer Impact Area (SF): none

Flood Zone Reference: Panel # 330011C-0657D

Proposed Mitigation:
none

(For Town Use Only)

Data Sheets Checked By: _____ Date: _____

WETLAND CONDITIONAL USE PERMIT CHECKLIST

Yes	No	NA	QUESTIONS/INFORMATION NEEDED	HCC Comments
NARRATIVE REPORT				
Existing Conditions				
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Has a DES Dredge and Fill Permit been issued for any part of this site? If yes, provide number, date, and description.	
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	Is there evidence of altered wetlands or surface waters on site?	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	All prime and other wetlands in the vicinity, plus any wetlands/watersheds past the immediate vicinity affected by this project	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• Description of each wetland and associated values	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Wetland mapping results -- Including the flagging date and technique plus the name, company and qualifications of the wetland scientist	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Was property surveyed? If yes, the date of survey. (Please attach the survey plan)	
National Wetland Inventory				
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• Vegetative cover types	
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	• Existence of vernal pools and associated habitat	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• Unique geological and cultural features	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• NH Natural Heritage inventory – For list of rare and endangered species, contact the NH Division of Forests and Lands (603)271-3623	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• Wildlife and fauna species, including estimated number and locations (large projects)	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• Public or private wells located within the vicinity	
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	• Monitoring well(s) located on site	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• Current land use and zoning district	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Photos of existing area (please use color photos)	
Proposed Project Description				
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Entire project and associated activities	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Time table of project and anticipated phasing	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Land use	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Grading plan	
Impact to Wetlands and/or Buffers				
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	• Depending on size and proposed impacts, a report from a biologist may be appropriate	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Removing, filling, dredging, or altering (Area square ft. and locations)	
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	Intercepting or diverging of ground or surface water (Locations and size)	
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	• Change in run-off characteristics	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Delineation of drainage area contributing to each discharge point	

Yes	No	NA	Questions/Information Needed	HCC COMMENTS
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Estimated water quality characteristics of runoff at each point of discharge for both pre- and post-development	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Erosion control practices	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> If using rip-rap, attach documentation explaining why other erosion control methods are not feasible 	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> How storm water runoff will be handled 	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If backyards or lots include a buffer area, buffer restriction wording shall be included in each deed (A physical marker may be requested to designate buffer boundaries at site)	
Mitigation				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Square footage of mitigation – wetland and upland areas	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wetland or upland plants identified to replace any losses	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> Restoration plan for planting and vegetation 	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Conservation easements, including location and aesthetic, wildlife and vegetative values	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> If easement is on or added to the site(s), a copy of the legal document shall be given to the HCC (HCC conservation easement markers may also be required along the easement) 	

CONCEPTUAL SITE PLAN/DRAWING

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Locus map depicting project site and vicinity within approximately ½ mile and also on a larger scale	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All prime and other wetlands in the vicinity	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Wetland(s) impacted (identified as prime or other) and the wetland boundaries with 50' for residential, and 75' for nonresidential buffer areas highlighted in color	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Assessor's sheet(s), lot(s), and property account number(s)	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed structures	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Square footage listed for temporary and permanent impact	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Erosion control plan (Suggested: Biodegradable silt fences so area won't be disturbed again and no hay to avoid invasive species)	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Topographical map with contours	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Storm water treatment swales and basins highlighted in color if in buffer area	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Conservation and utility easements	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Grading plan	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Culvert, arch, bridge - sizes, material, etc.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Vegetative cover types	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vernal pools	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed stone walls, tree lines, and unusually large, rare or beautiful trees, and other notable site features	

QUESTIONS TO CONSIDER BEFORE SUBMITTING

- Will the increased discharge cause erosion and channelization?
- Is there potential for off-site flooding?
- Does the decreased infiltration in the drainage area cause vegetation stress due to reduced or increased ground water or surface water discharge into wetland?
- Will the nutrients in the runoff increase eutrophication potential in downstream water bodies?
- Do you own any adjacent parcels or easements for roadways across adjacent parcels which could be used for access to avoid a wetland crossing
- Does a wetland crossing occur where it will result in the least amount of alteration to a wetland?
- Is preservation of upland areas adjacent to the impacted wetland a priority?
- Can using an alternative crossing design such as a bridge, retaining wall, etc. decrease the width or area of wetland alteration?
- Does a proposed road crossing of a wetland exceed the minimum width acceptable to the Planning Board and can this be negotiated downwards?
- Have you established that no reasonable alternative access from a public way to an upland is possible?
- Can the parking lot spaces be decreased?
- Is the roadway designed in such a way that does not restrict the flow of water?
- Is additional information needed to assess water quality impacts due to runoff?
- Is there an increase in other pollutants (e.g., heavy metals, turbidity, coli form) from streets and parking lots?
- Is there a need to restrict or prohibit the use of pesticides and fertilizers?
- Is there a need to restrict the use of roadway salting?

CONDITIONAL USE PERMIT APPLICATION AUTHORIZATION

I hereby apply for *Conditional Use Permit* and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the *Conditional Use Permit* specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Hudson Conservation Commission, the Town Planner, the Town Engineer, and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner:  Date: 3/28/25

Print Name of Owner: Marcia Plante

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer:  Date: 3/28/25

Print Name of Developer: Marcia Plante

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The individual in charge of the project must notify the Code Enforcement Officer/Building Inspector within two (2) working days of any change.

SCHEDULE OF FEES

(Fee covers both Conservation Commission & Planning Board)

A. REVIEW FEES:

1. Conditional Use Permit
\$100 Flat Fee \$ 100.00

LEGAL FEE:

The applicant shall be charged attorney costs billed to the Town for the Town's attorney review of any application plan set documents.

B. POSTAGE:

_____ Direct Abutters Applicant, Professionals, etc. as required \$ _____
by RSA 676:4.1.d @\$5.58 (or Current Certified Mail Rate)

_____ Indirect Abutters (property owners within 200 feet) \$ _____
@\$0.73 (or Current First Class Rate)

TOTAL \$ _____

(For Town Use)	
AMOUNT RECEIVED: \$ _____	DATE RECEIVED: _____
RECEIPT NO.: _____	RECEIVED BY: _____

**BENCHMARK LLC
50 NASHUA ROAD, UNIT 305
LONDONDERRY, NH 03053**

March 25, 2025

Hudson Conservation Commission
12 School Street
Hudson, New Hampshire 03051

**RE: Project Narrative
Conditional Use Permit
134 Wason Road Site Plan
Marco & Cindy Plante
(TAX MAP 206 LOT 1-2)**

Dear Commission Members:

The following Conditional Use Permit (CUP) application is for the parcel identified as Tax Map 206 Lot 1-2. The lot is 24.6 acres on the westerly side of Wason Road and is currently developed with a single home, driveway and associated utilities. This project proposes to add two (2) additional dwellings for a total of three (3) homes in condominium ownership.

Access to the three homes will be shared from the existing driveway off Wason Road. We are proposing an extension of this driveway ending with a private turn-around. A small portion of the proposed driveway extension is located within the Wetland Conservation District.

Several drainage improvements are proposed to mitigate runoff from the site including a treatment swale and infiltration pond.

All homes will be serviced by individual on site septic systems and wells.

Existing Conditions

Dredge & Fill Permit

This project has no wetland impacts and does not require a Dredge & Fill Permit. The lot has a previous Dredge & Fill permit # 2021-03368 for construction of the existing driveway.

Altered Wetlands

Based on site observation in February and April 2024 there are no evidence of altered wetlands.

Wetland Description & Values

There are no impacts to the wetland itself proposed. The request is to allow a driveway to 2 homes, over an existing access road, thru a portion of the buffer to on-site wetlands.

Existing Wetlands

There are no prime wetlands identified on this property.

Wetlands delineated on March 29 and April 7, 2021 and verified on December 14, 2024 by Thomas Sokoloski CWS #127 of TES Environmental Consultants. The wetlands were delineated according to the Corps of Engineers Wetland Delineation Manual and the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, version 2, January 2012, US Army Corps of Engineers.

National Wetlands Inventory

Vegetative cover: The wetlands in this area would be classified as Forested. No disturbance of the wetlands is proposed as the request is to allow a driveway within a wetland buffer area.

Vernal Pools: No vernal pools were identified in the vicinity of the CUP impacts.

Geologic / cultural features: No unique geologic or cultural features in the vicinity of the CUP impacts.

NH Natural Heritage Inventory: NHB24-1912 (attached) identified the Blanding's and Eastern Box Turtle.

Wells: No known public drinking water wells are near the site. Existing and proposed private well locations are shown on the attached plans.

Monitoring wells: none on site.

Current land use and zoning district: General (g) zone – Use: Residential

Photos: Attached

Proposed Project Description

Entire project and associated activities: This project proposes to add two (2) additional dwellings for a total of three (3) homes in condominium ownership. Project includes the extension of the existing driveway, drainage and utility lines for access to 2 additional homes with associated improvements.

Timeline & Phasing: Construction will begin in the Spring of 2025. The project will be built in three phases:

- (1) Build driveway with cul-de-sac and drainage improvements
- (2) & (3) Are for construction of the individual homes with associated driveways, lots grading, septic, wells.

Land Use: Residential

Grading Plan: See attached plan set Sheet #4.

Impacts to Wetlands and/or Buffers

200 sq.ft. of permanent buffer impacts for driveway pavement and gravel shoulders.

800 sq.ft. of impact for drainage swale and associated grading

1,000 st.ft. total impact

Runoff characteristics: Site runoff will be captured by a swale on the upslope side of the driveway. Run-off to this area is from the wooded slope area to the north, no characteristics of this runoff will change as it outside of the developed areas.

Drainage areas: Both existing and proposed drainage will continue to flow to the wetland.

Water quality: The driveway at the impact area is sloped from right to left and drains to the south towards proposed treatment swale #3.

Erosion control: Proposed methods include perimeter controls using silt fence or mulch berm and a stabilized construction entrance. Catch basins will have inlet sediment control devices. Details for these measures are shown on sheet #4 and #7.

Rip-Rap: Rip rap will be utilized as outlet protection at culvert outlets. All proposed rip-rap is outside of wetland buffers.

How stormwater runoff will be handled: We are proposing numerous drainage measures for this project. The driveway near the impact area is sloped from right to left and drains to the south towards proposed treatment swale #3. Other paved areas on site flow to the Infiltration Pond #1. These drainage improvements provide treatment, groundwater recharge and peak flow attenuation for the site runoff. Their locations are identified on sheet #4 of the plan set.

Mitigation

No mitigation is proposed for the buffer impact. All areas of disturbance outside of the driveway and gravel shoulder will be loamed and seeded for restoration.

No easements required.

Section 334-37. Conditional Use Permit Criteria

1. *The proposed activity minimizes degradation of land situated within the District and offsets potential adverse impacts to functions and values of wetlands, surface waters, and vernal pools including but not limited to their capacity to:*
 - (a) *Support fish and wildlife;*

The proposed development will not adversely impact fish and wildlife. The proposal is for three homes on 24 acres with large undeveloped portions of the site which will remain for habitat.
 - (b) *Attenuate flooding;*

The proposed driveway will have no impact on flooding.
 - (c) *Supply and protect surface and groundwater resources;*

The stormwater improvements are designed to attenuate flow, provide treatment and groundwater recharge.
 - (d) *Remove sediments;*

A pre treatment swale is proposed for Pond#1 and runoff to Treatment Swale #3 will flow across approximately 200 feet of green space before reaching the swale.
 - (e) *Remove pollutants;*

Stormwater treatment and pollutant removal will be provided by the proposed stormwater devices.
 - (f) *Support wetland vegetation;*

There is no impact to wetlands or wetland vegetation.
 - (g) *Promote public health and safety; and*

The proposed development will not adversely impact public health and safety. A turn around is proposed at the end of the driveway for fire apparatus to navigate the site. All requirements of the Police and Fire Departments will be satisfied as part of site plan approval.
 - (h) *Moderate fluctuations in surface water levels.*

The proposed drainage measures provide peak attenuation and the development will have no impact to surface water levels.
2. *The proposed activity will have no significant negative environmental impact to abutting or downstream properties and/or hydrologically connected water and/or wetland resources, including:*
 - (a) *Increased potential for erosion, siltation, and turbidity of surface waters;*

Erosion and siltation control and BMP measures will be utilized.

BENCHMARK LLC
50 NASHUA ROAD, UNIT 305
LONDONDERRY, NH 03053

(b) *Loss of fish and wildlife habitat;*

The proposed development will not adversely impact fish and wildlife. The proposed impact is located adjacent to the existing driveway.

(c) *Loss of unique habitat having demonstrable natural, scientific, or educational value;*

There will be no loss of unique habitats; the area is adjacent to the existing driveway.

(d) *Loss or decrease of beneficial aquatic organisms and wetland plants and their habitat;*

The proposed development will have no impacts to the wetlands or habitats.

(e) *Increased danger of flooding and/or transport of pollutants; and*

The proposed driveway will have no impact on flooding. The stormwater improvements are designed to remove pollutants and control flows from the development of the property.

(f) *Destruction of the economic, aesthetic, recreational, and other public and private uses and values of the wetland to the community.*

We have proposed many BMP's for this project and are also proposing proper drainage improvements to mitigate flows from site development. The proposed project will not adversely impact economic, aesthetic, recreational, or uses and values of the wetland to the community.

3. *The proposed activity or use cannot practicably be located otherwise on the site to eliminate or reduce impact to the Wetland Conservation Overlay District.*

The driveway extension is orientated to allow proper emergency vehicles access. The proposal is a level area of land and would be constructed over an existing access driveway to the developable area of the site. The driveway should also go in this location as it ensures there will be no conflicts with cars parked in the driveway in front of the existing home.

4. *The proposed activity incorporates the use of Best Management Practices recommended by the New Hampshire Department of Environmental Services and/or other state agencies having jurisdiction.*

Best Management Practices will be used during construction of the site and are outlined on the plan set including silt fence, mulch berms, inlet control, and a stabilized construction entrance. An

**BENCHMARK LLC
50 NASHUA ROAD, UNIT 305
LONDONDERRY, NH 03053**

infiltration pond and treatment swale will collect and treat stormwater from the development.

5. *All applicable federal and/or state permit(s) have been received for the proposed activity in accordance with New Hampshire Code of Administrative Rules, Part Env-Wt 100-800 and Section 404 of the Federal Clean Water Act, as amended.*

All applicable federal and/or state permits will be obtained as part of the site plan process with the Planning Board.

6. *Where applicable, proof of application to all required state and/or federal permits.*

Not applicable.

7. *Prior to making a decision on any Conditional Use Permit pursuant to the Wetland Conservation Overlay District, the Planning Board shall receive a written comment from the Conservation Commission. The Conservation Commission may recommend the Planning Board impose conditions of approval is deemed necessary to mitigate the potential for adverse effects of the proposed activity or use.*

We would like to be scheduled for the next Conservation meeting.

We look forward to discussing this with the board at the next available meeting.

Sincerely,

Nicholas B. Loring

Nicholas Loring
Benchmark LLC



NHB DataCheck Results Letter

NH Natural Heritage Bureau

Please note: maps and NHB record pages are **confidential** and shall be redacted from public documents.

To: Joseph Maynard, Benchmark Engineering, Inc.
1F Commons Drive, Suite 39
Londonderry, NH 03053
jm@benchmark-engineering.com

From: NHB Review
NH Natural Heritage Bureau
Main Contact: Ashley Litwinenko - nhbreview@dncr.nh.gov

cc: NHFG Review

Date: 06/27/2024 (valid until 06/27/2025)
Re: DataCheck Review by NH Natural Heritage Bureau and NH Fish & Game
Permits: MUNICIPAL POR - HUDSON, NHDES - Alteration of Terrain Permit

NHB ID: NHB24-1912

Town: HUDSON

Location: 134 WASON RD

Project Description: CONSTRUCT 2 NEW HOMES, DRIVEWAYS, DRAINAGE AND OTHER SITE IMPROVEMENTS

Next Steps for Applicant:

NHB's database has been searched for records of rare species and exemplary natural communities. Please carefully read the comments and consultation requirements below.

NHB Comments: No comments at this time.

NHFG Comments: Please refer to NHFG consultation requirements below.

NHB Consultation

If this NHB DataCheck letter includes records of rare plants and/or natural communities/systems, please contact NHB and provide any requested supplementary materials by emailing nhbreview@dncr.nh.gov.

If this NHB DataCheck letter DOES NOT include any records of rare plants and/or natural communities/systems, no further consultation with NHB is required.

NH Fish and Game Department Consultation

If this NHB DataCheck letter DOES NOT include ANY wildlife species records, then, based on the information submitted, no further consultation with the NH Fish and Game Department pursuant to Fis 1004 is required.



NHB DataCheck Results Letter

NH Natural Heritage Bureau

Please note: maps and NHB record pages are **confidential** and shall be redacted from public documents.

If this NHB DataCheck letter includes a record for a threatened (T) or endangered (E) wildlife species, consultation with the New Hampshire Fish and Game Department under Fis 1004 may be required. To review the Fis 1000 rules (effective February 3, 2022), please go to <https://www.wildlife.nh.gov/wildlife-and-habitat/nongame-and-endangered-species/environmental-review>. All requests for consultation and submittals should be sent via email to NHFGreview@wildlife.nh.gov or can be sent by mail, and **must include the NHB DataCheck results letter number and "Fis 1004 consultation request" in the subject line.**

If the NHB DataCheck response letter does not include a threatened or endangered wildlife species but includes other wildlife species (e.g., Species of Special Concern), consultation under Fis 1004 is not required; however, some species are protected under other state laws or rules, so coordination with NH Fish & Game is highly recommended or may be required for certain permits. While some permitting processes are exempt from required consultation under Fis 1004 (e.g., *statutory permit by notification, permit by rule, permit by notification, routine roadway registration, docking structure registration, or conditional authorization by rule*), coordination with NH Fish & Game may still be required under the rules governing those specific permitting processes, and it is recommended you contact the applicable permitting agency. For projects not requiring consultation under Fis 1004, but where additional coordination with NH Fish and Game is requested, please email NHFGreview@wildlife.nh.gov, and include the NHB DataCheck results letter number and "review request" in the email subject line.

Contact NH Fish & Game at (603) 271-0467 with questions.



NHB DataCheck Results Letter

NH Natural Heritage Bureau

Please note: maps and NHB record pages are **confidential** and shall be redacted from public documents.

NHB Database Records:

The following record(s) have been documented in the vicinity of the proposed project.

Please see the map and detailed information about the record(s) on the following pages.

Vertebrate species	State ¹	Federal	Notes
Blanding's Turtle (<i>Emydoidea blandingii</i>)	E	--	Contact the NH Fish & Game Dept (see below).
Eastern Box Turtle (<i>Terrapene carolina carolina</i>)	E	--	Contact the NH Fish & Game Dept (see below).

¹Codes: "E" = Endangered, "T" = Threatened, "SC" = Special Concern, "--" = an exemplary natural community, or a rare species tracked by NH Natural Heritage that has not yet been added to the official state list.

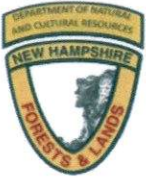
An asterisk (*) indicates that the most recent report for that occurrence was 20 or more years ago.

For all animal reviews, refer to 'IMPORTANT: NHFG Consultation' section above.

Disclaimer: NHB's database can only tell you of known occurrences that have been reported to NHFG/NHB. Known occurrences are based on information gathered by qualified biologists or members of the public, reported to our offices, and verified by NHB/NHFG.

However, many areas have never been surveyed, or have only been surveyed for certain species.

NHB recommends surveys to determine what species/natural communities are present onsite.

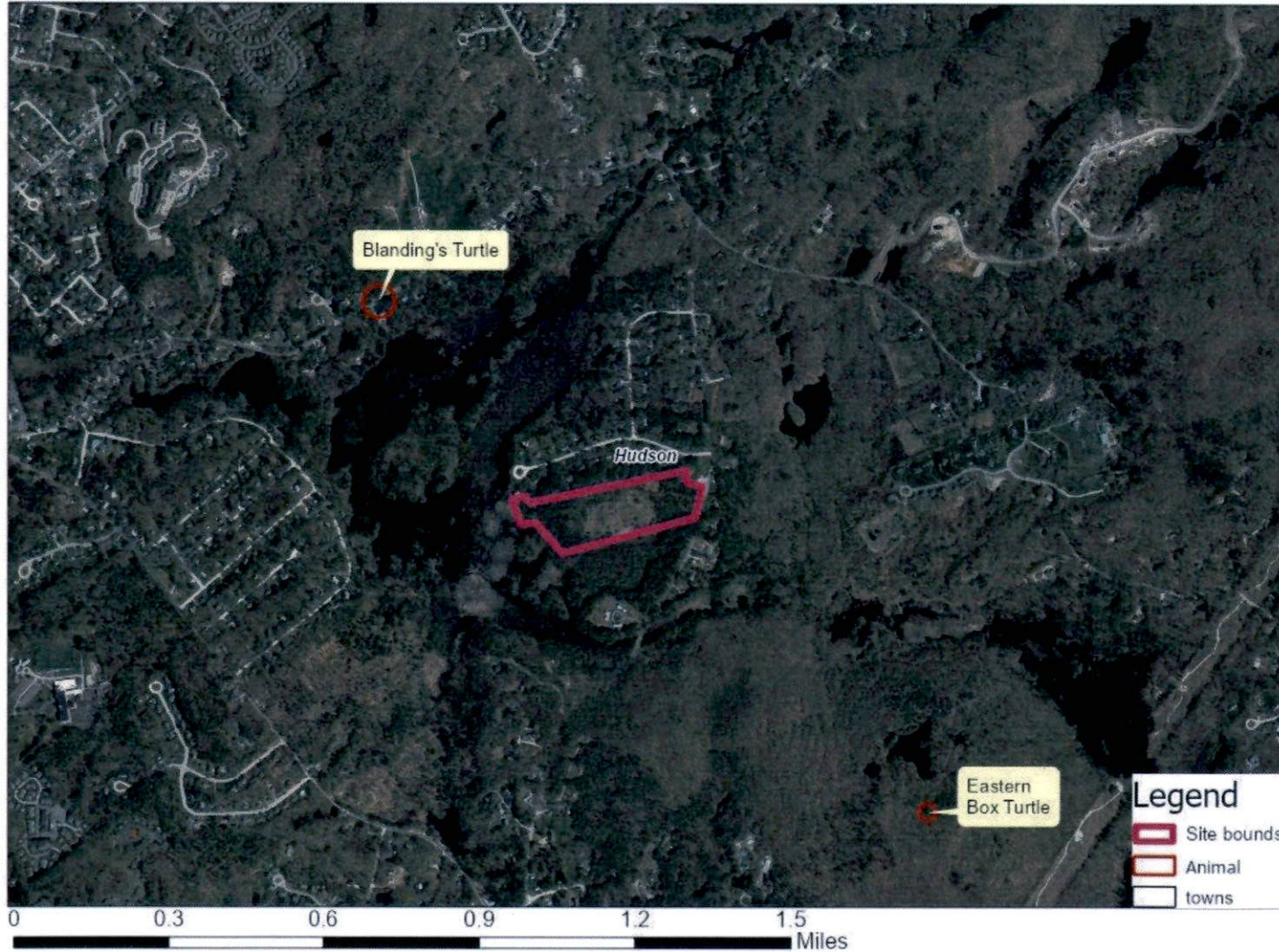


NHB DataCheck Results Letter

NH Natural Heritage Bureau

Please note: maps and NHB record pages are **confidential** and shall be redacted from public documents.

NHB24-1912



NHB DataCheck Results Letter

NH Natural Heritage Bureau

Please note: maps and NHB record pages are confidential and shall be redacted from public documents.

NHB24-1912

EOCODE:

ARAAD04010*609*NH

New Hampshire Natural Heritage Bureau - Animal Record

Blanding's Turtle (*Emydoidea blandingii*)

Legal Status

Federal: Not listed
State: Listed Endangered

Conservation Status

Global: Apparently secure but with cause for concern
State: Critically imperiled due to rarity or vulnerability

Description at this Location

Conservation Rank: Not ranked
Comments on Rank: --

Detailed Description: 2010: Area 12832: 1 adult observed.
General Area: 2010: Area 12832: Mixed forest.
General Comments: --
Management --
Comments:

Location

Survey Site Name: Second Brook
Managed By:

County: Hillsborough
Town(s): Hudson
Size: 1.9 acres Elevation:

Precision: Within (but not necessarily restricted to) the area indicated on the map.

Directions: 2010: Area 12832: Pelham Road, Hudson.

Dates documented

First reported: 2010-07-17 Last reported: 2010-07-17

The New Hampshire Fish & Game Department has jurisdiction over rare wildlife in New Hampshire. Please contact them at 11 Hazen Drive, Concord, NH 03301 or at (603) 271-2461.

NHB DataCheck Results Letter

NH Natural Heritage Bureau

Please note: maps and NHB record pages are confidential and shall be redacted from public documents.

NHB24-1912

EOCODE:

ARAAD08012*009*NH

New Hampshire Natural Heritage Bureau - Animal Record

Eastern Box Turtle (*Terrapene carolina carolina*)

Legal Status

Federal: Not listed
State: Listed Endangered

Conservation Status

Global: Demonstrably widespread, abundant, and secure
State: Critically imperiled due to rarity or vulnerability

Description at this Location

Conservation Rank: Not ranked
Comments on Rank: --

Detailed Description: 2021: Area 14741: 1 young adult female observed. Found near male that is being monitored. Area 14744: 1 adult observed, sex unknown. Area 14745: 1 adult observed, sex unknown. 2017-2019: Turtle 7010: Radiotracked female. Turtle 7011: Radiotracked male. Turtle 7012: Radiotracked male. Turtle 7013: Radiotracked female. Turtle 7014: Radiotracked female. 2016: Adult male tracked via telemetry. Initial capture on 6/2. First recapture on 6/7. Second recapture on 6/30. Second adult male captured and tagged on 9/9. 2014: Adult female tracked via telemetry. Believed to have laid eggs during telemetry survey, but no direct evidence.

General Area: 2021: Area 14744: Woods next to utility line right-of-way. Area 14745: Woods next to utility line right-of-way. 2016: Powerline right-of-way with dense shrub cover. Appalachian oak - pine forest on either side of right-of-way. 2014: Moving between woods and adjacent powerline corridor.

General Comments: --
Management: --
Comments:

Location

Survey Site Name: Musquash Brook
Managed By:

County: Hillsborough
Town(s): Hudson
Size: 45.2 acres
Elevation:

Precision: Within (but not necessarily restricted to) the area indicated on the map.

Directions: 2021: Area 14744: Next to utility right-of-way near Musquash Natural Area, Hudson.

Dates documented

First reported: 2014-06-18
Last reported: 2021-09-30

NHB DataCheck Results Letter

NH Natural Heritage Bureau

Please note: maps and NHB record pages are **confidential** and shall be redacted from public documents.

NHB24-1912

EOCODE:

ARAAD08012*009*NH

The New Hampshire Fish & Game Department has jurisdiction over rare wildlife in New Hampshire. Please contact them at 11 Hazen Drive, Concord, NH 03301 or at (603) 271-2461.



Looking east at the impact area



Looking west along the existing driveway towards the impact area.

NOTES

- THE PURPOSE OF THIS PLAN IS TO:
 - TO CREATE THREE (3) SINGLE FAMILY DWELLINGS ON TAX MAP 206 LOT 1-2 IN A CONDOMINIUM FORM OF OWNERSHIP.
 - CONSTRUCT A PRIVATE DRIVEWAY WITH ASSOCIATED DRAINAGE AND UTILITY IMPROVEMENTS. (DISTURBANCE = 1.8 ACRES)
 - CONSTRUCT UNITS B & C WITH ASSOCIATED DRIVEWAYS AND UTILITIES. (DISTURBANCE = 1.8 ACRES)
- TOTAL PARCEL AREA = 1,073,427 SQ.FT. = 24.54 ACRES
- PARCEL ZONE - GENERAL
- ZONING REQUIREMENTS

FRONT SETBACK	50 FEET
SIDE SETBACK	15 FEET
REAR SETBACK	15 FEET
MINIMUM FRONTAGE	150 FEET
MINIMUM LOT SIZE	43,560 SQ. FT.
- EXISTING USE - SINGLE FAMILY HOME
- PROPOSED USE - (3) SINGLE FAMILY HOMES IN A CONDOMINIUM
- PROJECT SHALL BE PHASED WITH CONSTRUCTION OF THE DRIVEWAY TO BE COMPLETED AS PHASE 1. NO ADDITIONAL WORK ON THE PROPOSED SINGLE FAMILY HOMES SHALL TAKE PLACE UNTIL THE AREAS AROUND THE ROAD ARE FULLY STABILIZED. PHASE 1 IS NOT MORE THAN 100,000 SQ. FT. PHASES 2 & 3 ARE ALSO LESS THAN 100,000 SQ. FT.
- PORTIONS OF THE PROPERTY ARE LOCATED WITHIN THE 100 YEAR FLOOD HAZARD AREA AS SHOWN ON THE FIRM FOR HILLSBOROUGH COUNTY MAP 33011C0557D, EFFECTIVE DATE SEPTEMBER 25, 2009.
- PROPOSED BUILDINGS SHALL EACH BE SERVICED BY AN INDIVIDUAL ON-SITE WELL AND SEPTIC SYSTEM.
- THE MAJORITY OF THIS PROPERTY FALLS IN THE C2C SCS SOILS GROUP AS SHOWN ON THE NRCS WEB SOILS FOR HUDSON NH C2C - CHATFIELD-HOLLIS-CANTON COMPLEX
- WETLANDS DELINEATED ON SITE BY: TES ENVIRONMENTAL CONSULTANTS, LLC 1494 ROUTE 3A, UNIT 1 BOW, NH 03304
- TOPOGRAPHY SHOWN IN AREAS TO BE DEVELOPED IS BASED ON AN ON-SITE SURVEY CONDUCTED IN FEBRUARY 2024 AND IS BASED ON U.S.G.S. DATUM (NAVD 88). TOPOGRAPHY SHOWN IN AREAS NOT TO BE DEVELOPED IS FROM NH GRANIT LIDAR INFORMATION.
- SURVEY COMPLETED IN CONJUNCTION WITH: RANGWAY LAND SURVEY & DESIGN 252 DANIEL PLUMMER ROAD GOPFSTOWN, NH 03045
- STREET ADDRESSES SHALL BE OBTAINED BY THE TOWN OF HUDSON FIRE DEPARTMENT PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
- PROPER EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED, AND MAINTAINED IN GOOD WORKING ORDER UNTIL ALL AREAS ARE FULLY STABILIZED.
- THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. BENCHMARK, LLC MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT NEW HAMPSHIRE DIG SAFE AT 811.
- EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH COMPLETED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, RESTRICTIONS AND EASEMENTS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PARCEL WOULD DETERMINE.
- PARKING REQUIREMENTS:

SINGLE FAMILY DWELLING	2	SPACES/UNIT
3 UNITS	6	SPACES
TOTAL REQUIRED SPACES	6	SPACES
PROVIDED	6	SPACES
- OPEN SPACE

REQUIRED	35%
PROVIDED	95%
- PERMITS: NHDES SUBMISSION APPROVAL: PENDING INDIVIDUAL SEPTIC SYSTEM PERMITS WILL NEED TO BE OBTAINED PRIOR TO FILING FOR A BUILDING PERMIT.
- CONDITIONAL USE PERMIT REQUEST: 1,000 SQ.FT. IMPACT FOR DRIVEWAY & GRADING
- PLANNING BOARD WAIVERS:

SECTION 276-11.1 B (2)	PLAN SCALE
SECTION 276-11.1 B (14)	LIGHTING PLAN
- VARIANCES: NONE
- NOISE FROM THE PROPOSED ACTIVITIES WITHIN THE SITE SHALL MEET THE MINIMUM STANDARDS AS SET BY THE TOWN OF HUDSON, NH SECTION 249
- IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS OF 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON WEEKENDS.
- ALL STIPULATIONS OF THE APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH SHALL BE RECORDED AT THE HCRD, TOGETHER WITH THE SITE PLAN-OF-RECORD (HEREAFTER REFERRED TO AS THE PLAN)
- SHEETS 1 AND 3 OF 8 SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS AND THE REMAINING SHEETS SHALL BE ON FILE AT THE TOWN OF HUDSON PLANNING DEPARTMENT.
- FLOWED SNOW FROM THE DRIVEWAYS SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET.
- ALL IMPROVEMENTS SHOWN ON THE SITE PLAN OF RECORD SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT.
- NATURAL WOOD AND STUMP WASTE GENERATED FOR THE CONSTRUCTION OF THIS SITE PLAN SHALL EITHER BE GROUND UP AND RE-USED ON-SITE FOR EROSION CONTROL OR DISPOSED OF OFF-SITE.
- ANY STOCKPILING OF AGGREGATE MATERIAL SHALL BE IN AREAS DELINEATED ON THE GRADING & UTILITY PLAN. MATERIAL GENERATED ON-SITE WILL BE USED AS FILL FOR LOT DEVELOPMENT. AN AREA IS DELINEATED ON THE GRADING & UTILITY PLAN FOR STORAGE OF BUILDING MATERIALS DURING CONSTRUCTION.
- THE RESPONSIBILITY FOR MAINTENANCE OF THE STORMWATER SYSTEM IS THE RESPONSIBILITY OF THE OWNER OF THIS PROPERTY. A SEPARATE STORM WATER MANAGEMENT REPORT IS PART OF THIS APPLICATION. THIS MANUAL HAS SPECIFIC PERIODIC INSPECTION AND MAINTENANCE SCHEDULES TO PROPERLY MAINTAIN THE FUNCTIONS OF THE STORM WATER DEVICES.
- ONCE THIS PLAN IS APPROVED, AND BEFORE ANY CONSTRUCTION CAN COMMENCE, A PRE-CONSTRUCTION MEETING WILL NEED TO BE SCHEDULED WITH THE TOWN ENGINEER.
- ALL EXTERIOR LIGHTING TO BE RESIDENTIAL LIGHTING.
- ALL SIGNAGE SUBJECT TO THE APPROVAL BY THE HUDSON ZONING ADMINISTRATOR PRIOR TO INSTALLATION THEREOF.

TAX MAP 206 LOT 12
N/F SYLVIA & BRIAN WILKINSON
24 PASTURE DRIVE
HUDSON NEW HAMPSHIRE 03051
HCRD BOOK#9674/PAGE 659

TAX MAP 206 LOT 102
N/F TOWN OF HUDSON
12 SCHOOL STREET
HUDSON NH 03051

TAX MAP 206 LOT 102
N/F TOWN OF HUDSON
12 SCHOOL STREET
HUDSON NEW HAMPSHIRE 03051

TAX MAP 206 LOT 1
N/F MARCIN INVESTMENTS LLC
124 BUSH HILL ROAD
HUDSON NEW HAMPSHIRE 03051
HCRD BOOK#9253/PAGE 768

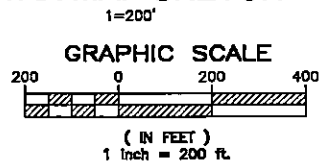
TAX MAP 206 LOT 001-001
N/F MARK & SUSAN CHASE
6 PASTURE DR.
HUDSON, NH 03051
HCRD BOOK#9819/PAGE 2436

TAX MAP 206 LOT 27
N/F CHARLES VALLAS
137 WASON ROAD
HUDSON NEW HAMPSHIRE 03051
HCRD BOOK#9665/PAGE 563

TAX MAP 206 LOT 28
N/F THOMAS ACHANA OBER & MERYL
ELIZABETH OBER THOMSON
133 WASON ROAD
HUDSON NEW HAMPSHIRE 03051
HCRD BOOK#8934/PAGE 2737

TAX MAP 206 LOT 29
N/F BEVERLY WASON
131 WASON ROAD
HUDSON NEW HAMPSHIRE 03051
HCRD BOOK#5943/PAGE 1998

TAX MAP SKETCH



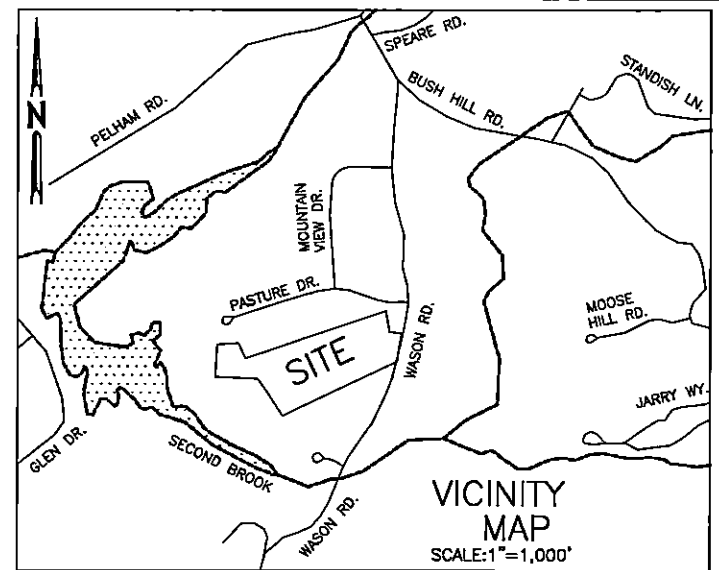
OWNER OF RECORD

MARCO PLANTE CINDY PLANTE

I HEREBY CERTIFY THAT THE WORK PERFORMED IN THE PREPARATION OF THIS PLAN HAS AN ERROR OF CLOSURE OF 1:10,000 OR BETTER.



RANGWAY LAND SURVEYING & DESIGN, INC. DATE
BY: PAUL W. ZARNOWSKI L.L.S.



SHEET INDEX:

SHEET 1	COVER SHEET
SHEET 2	EXISTING CONDITIONS PLAN
SHEET 3	SITE PLAN
SHEET 4	GRADING & UTILITY PLAN
SHEET 5	DRIVEWAY PROFILE PLAN
SHEET 6	DETENTION POND DETAILS
SHEET 7	EROSION DETAILS
SHEET 8	CONSTRUCTION DETAILS

COVER PLAN & PROJECT NOTES
134 WASON ROAD SITE PLAN
TAX MAP 206 LOT 001-002
 #134 WASON ROAD
 HUDSON, NEW HAMPSHIRE 03051
 OWNER OF RECORD / PREPARED FOR
 MARCO & CINDY PLANTE
 124 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE 03051
 HCRD BOOK 9645/PAGE 1108
 SCALE: 1"=200' SHEET 1 of 8 FEBRUARY 4, 2025

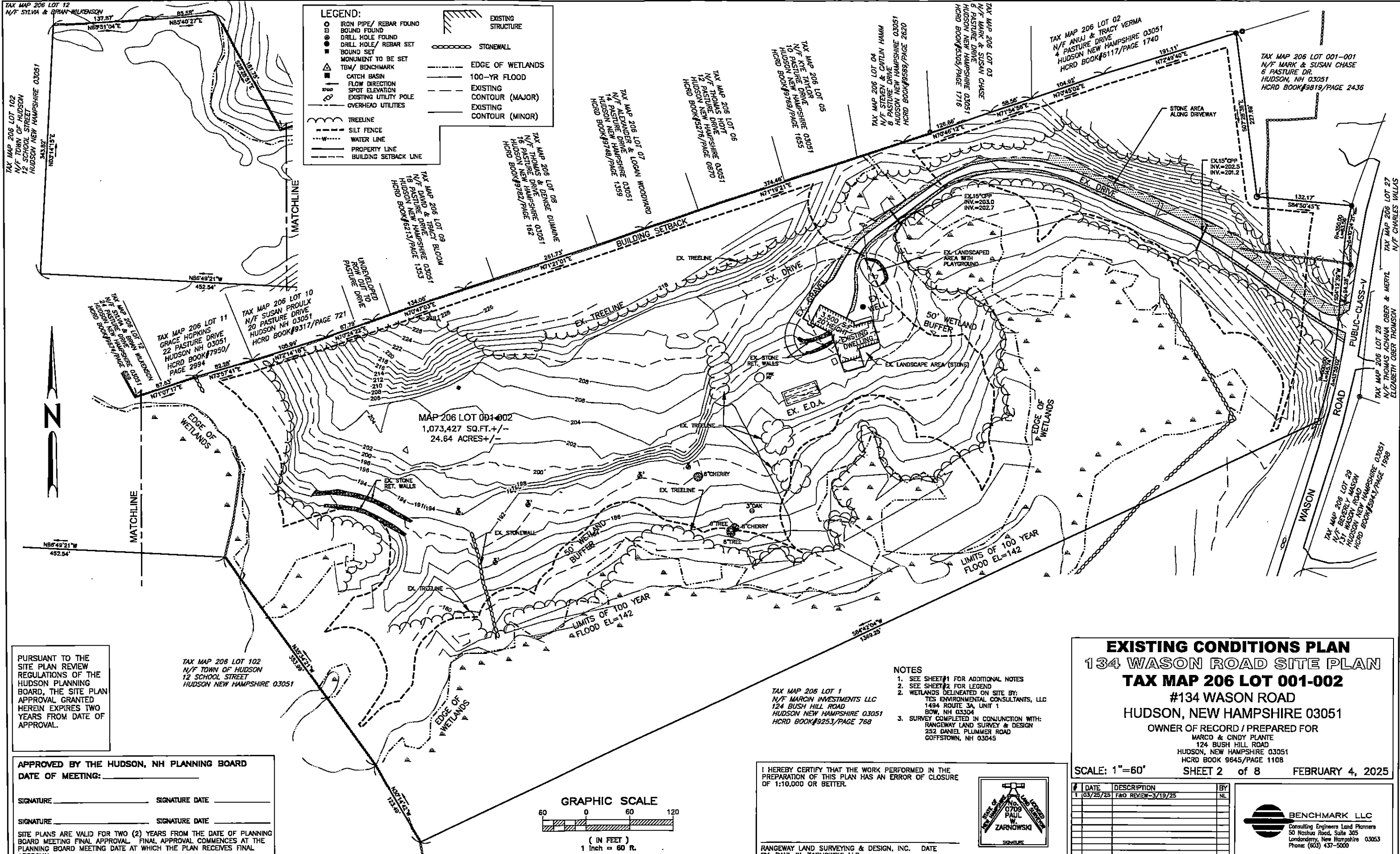
#	DATE	DESCRIPTION	BY
1	03/25/25	F&O REVIEW-3/19/25	NL

BENCHMARK LLC
 Consulting Engineers Land Planners
 50 Nashua Road, Suite 305
 Londonderry, New Hampshire 03053
 Phone: (603) 437-5000

PURSUANT TO THE SITE PLAN REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____
 SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

LOW IMPACT DEVELOPMENT:
 THIS PLAN WAS DESIGNED WITH LOW-IMPACT DEVELOPMENT MEASURES UTILIZED. IMPERVIOUS AREAS WERE REDUCED BY LIMITING THE NUMBER OF RESIDENTIAL UNITS TO THREE OR APPROXIMATELY ONE UNIT PER EIGHT ACRES. TOTAL IMPERVIOUS COVERAGE IS APPROXIMATELY 6 PERCENT. LARGE GREEN SPACE AREA PROVIDED BETWEEN DRIVEWAY/ HOMES AND THE WETLAND. FILTRATION POND AND TREATMENT SWALE TO TREAT SITE RUN-OFF.



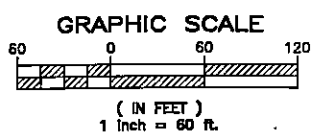
LEGEND:

○	IRON PIPE/ REBAR FOUND	▨	EXISTING STRUCTURE
⊖	BOUND FOUND	▧	STONEWALL
⊕	DRILL HOLE/ REBAR SET	---	EDGE OF WETLANDS
●	BOUND SET	---	100-YR FLOOD
▲	MONUMENT TO BE SET	---	EXISTING CONTOUR (MAJOR)
▴	BM/ BENCHMARK	---	EXISTING CONTOUR (MINOR)
■	CATCH BASIN	---	
→	FLOW DIRECTION	---	
●	SPOT ELEVATION	---	
⊙	EXISTING UTILITY POLE	---	
⊖	OVERHEAD UTILITIES	---	
---	TREELINE	---	
---	SILT FENCE	---	
---	WATER LINE	---	
---	PROPERTY LINE	---	
---	BUILDING SETBACK LINE	---	

PURSUANT TO THE SITE PLAN REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____
 SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

TAX MAP 206 LOT 102
 N/F TOWN OF HUDSON
 12 SCHOOL STREET
 HUDSON NEW HAMPSHIRE 03051



- NOTES**
- SEE SHEET#1 FOR ADDITIONAL NOTES
 - SEE SHEET#2 FOR LEGEND
 - WETLANDS DELINEATED ON SITE BY: TES ENVIRONMENTAL CONSULTANTS, LLC 1494 ROUTE 3A UNIT 1 BOW, NH 03304
 - SURVEY COMPLETED IN CONJUNCTION WITH: RANGWAY LAND SURVEY & DESIGN 252 DANIEL PLUMMER ROAD GOFFSTOWN, NH 03045

TAX MAP 206 LOT 1
 N/F MARCH INVESTMENTS LLC
 124 BUSH HILL ROAD
 HUDSON NEW HAMPSHIRE 03051
 HCRD BOOK#9253/PAGE 768

I HEREBY CERTIFY THAT THE WORK PERFORMED IN THE PREPARATION OF THIS PLAN HAS AN ERROR OF CLOSURE OF 1:10,000 OR BETTER.

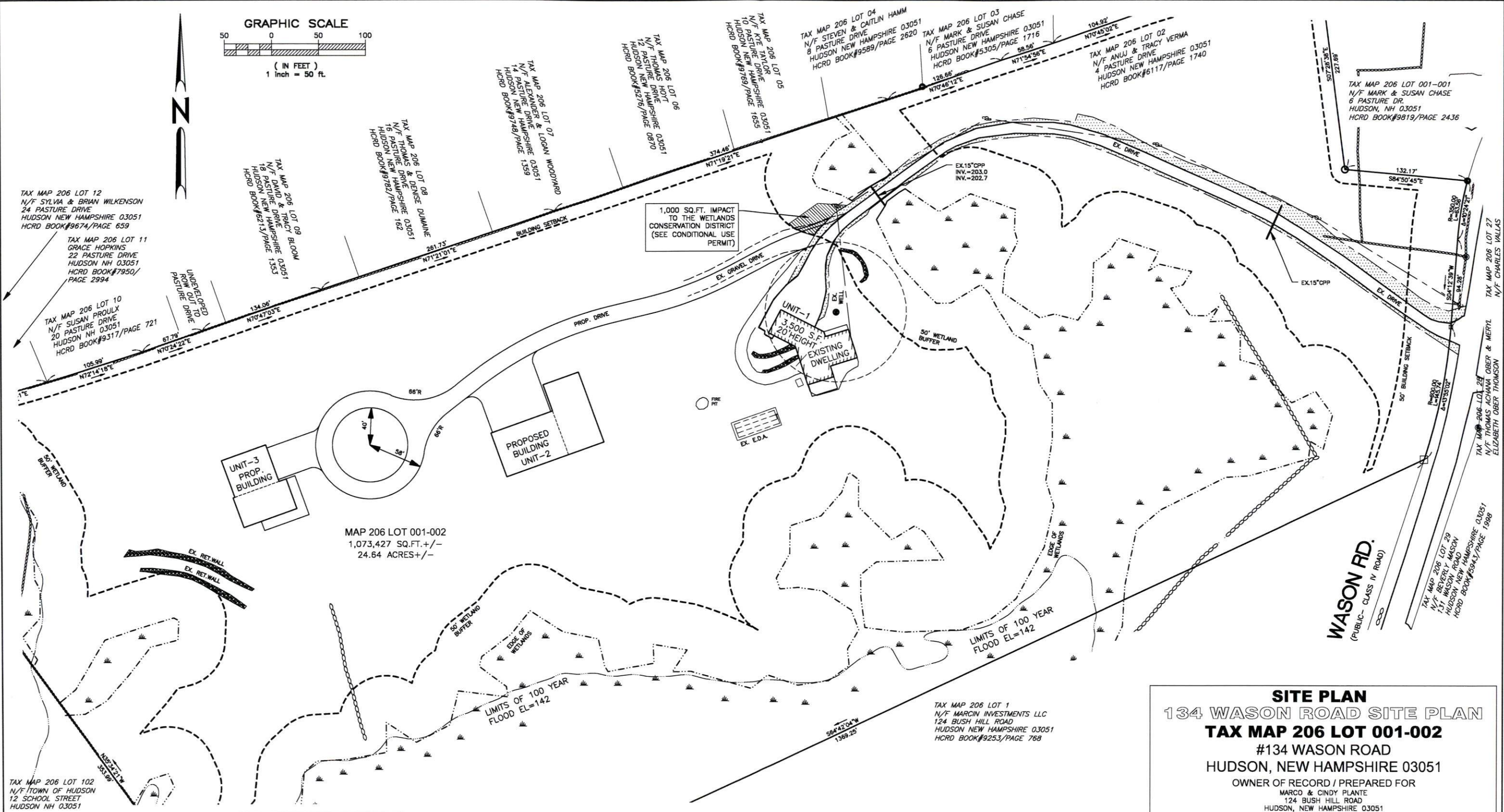
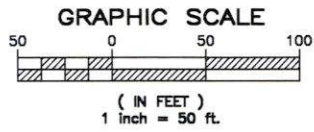


RANGWAY LAND SURVEYING & DESIGN, INC. DATE BY: PAUL W. ZARNOWSKI LLS.

EXISTING CONDITIONS PLAN
134 WASON ROAD SITE PLAN
TAX MAP 206 LOT 001-002
#134 WASON ROAD
HUDSON, NEW HAMPSHIRE 03051
 OWNER OF RECORD / PREPARED FOR
 MARCO & CINDY PLANTE
 124 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE 03051
 HCRD BOOK 9645/PAGE 1108
 SCALE: 1"=60' SHEET 2 of 8 FEBRUARY 4, 2025

#	DATE	DESCRIPTION	BY
1	03/25/25	F&O REVIEW-3/19/25	NL

BENCHMARK LLC
 Consulting Engineers Land Planners
 50 Nashua Road, Suite 305
 Londonderry, New Hampshire 03053
 Phone: (603) 437-5000



TAX MAP 206 LOT 102
N/F TOWN OF HUDSON
12 SCHOOL STREET
HUDSON NH 03051

PURSUANT TO THE
SITE PLAN REVIEW
REGULATIONS OF THE
HUDSON PLANNING
BOARD, THE SITE PLAN
APPROVAL GRANTED
HEREIN EXPIRES TWO
YEARS FROM DATE OF
APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE _____ SIGNATURE DATE _____
SIGNATURE _____ SIGNATURE DATE _____
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



- NOTES**
- SEE SHEET #1 FOR ADDITIONAL NOTES
 - SEE SHEET #2 FOR LEGEND
 - WETLANDS DELINEATED ON SITE BY:
TES ENVIRONMENTAL CONSULTANTS, LLC
1494 ROUTE 3A, UNIT 1
BOW, NH 03304
 - SURVEY COMPLETED IN CONJUNCTION WITH:
RANGWAY LAND SURVEY & DESIGN
252 DANIEL PLUMMER ROAD
GOFFSTOWN, NH 03045

I HEREBY CERTIFY THAT THE WORK PERFORMED IN THE PREPARATION OF THIS PLAN HAS AN ERROR OF CLOSURE OF 1:10,000 OR BETTER.

RANGWAY LAND SURVEYING & DESIGN, INC. DATE
BY: PAUL W. ZARNOWSKI LLS.

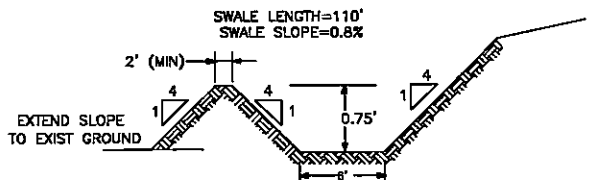


SITE PLAN
134 WASON ROAD SITE PLAN
TAX MAP 206 LOT 001-002
#134 WASON ROAD
HUDSON, NEW HAMPSHIRE 03051
OWNER OF RECORD / PREPARED FOR
MARCO & CINDY PLANTE
124 BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE 03051
HCRD BOOK 9645/PAGE 1108
SCALE: 1"=50' SHEET 3 of 8 FEBRUARY 4, 2025

#	DATE	DESCRIPTION	BY
1	03/25/25	F&O REVIEW-3/19/25	NL

BENCHMARK LLC
Consulting Engineers Land Planners
50 Nashua Road, Suite 305
Londonderry, New Hampshire 03053
Phone: (603) 437-5000

TREATMENT SWALE #3 DETAIL



TAX MAP 206 LOT 12
N/F SYLVIA & BRIAN WILKINSON
24 PASTURE DRIVE
HUDSON NEW HAMPSHIRE 03051
HCRD BOOK#9674/PAGE 659

TAX MAP 206 LOT 11
GRACE HOPKINS
22 PASTURE DRIVE
HUDSON NH 03051
HCRD BOOK#9589/PAGE 2894

TAX MAP 206 LOT 10
N/F SUSAN PROULX
20 PASTURE DRIVE
HUDSON NH 03051
HCRD BOOK#9317/PAGE 721

TAX MAP 206 LOT 09
DAVID & TRACY BLOOM
16 PASTURE DRIVE
HUDSON NEW HAMPSHIRE 03051
HCRD BOOK#8213/PAGE 1563

TAX MAP 206 LOT 08
DENISE DUIMANE
16 PASTURE DRIVE
HUDSON NEW HAMPSHIRE 03051
HCRD BOOK#9382/PAGE 162

TAX MAP 206 LOT 07
ALEXANDER & LOGAN WOODWARD
16 PASTURE DRIVE
HUDSON NEW HAMPSHIRE 03051
HCRD BOOK#9348/PAGE 159

TAX MAP 206 LOT 06
THOMAS HOIT
16 PASTURE DRIVE
HUDSON NEW HAMPSHIRE 03051
HCRD BOOK#9326/PAGE 0870

TAX MAP 206 LOT 05
KYLE TAUBER
16 PASTURE DRIVE
HUDSON NEW HAMPSHIRE 03051
HCRD BOOK#9169/PAGE 1685

TAX MAP 206 LOT 04
STEVEN & CATHY HAMM
8 PASTURE DRIVE
HUDSON NEW HAMPSHIRE 03051
HCRD BOOK#9589/PAGE 2620

TAX MAP 206 LOT 27
CHARLES WALLAS
16 PASTURE DRIVE
HUDSON NEW HAMPSHIRE 03051
HCRD BOOK#9348/PAGE 159

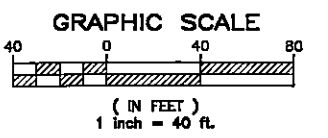
TAX MAP 206 LOT 28
THOMAS ACHAVA OBER & MERYL
ELIZABETH OBER THOMSON
16 PASTURE DRIVE
HUDSON NEW HAMPSHIRE 03051
HCRD BOOK#9348/PAGE 159

TAX MAP 206 LOT 102
TOWN OF HUDSON
12 SCHOOL STREET
HUDSON NEW HAMPSHIRE 03051

TAX MAP 206 LOT 1
MARGIE INVESTMENTS LLC
124 BUSH HILL ROAD
HUDSON NEW HAMPSHIRE 03051
HCRD BOOK#9253/PAGE 768

PURSUANT TO THE SITE PLAN REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE _____ SIGNATURE DATE _____
SIGNATURE _____ SIGNATURE DATE _____
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

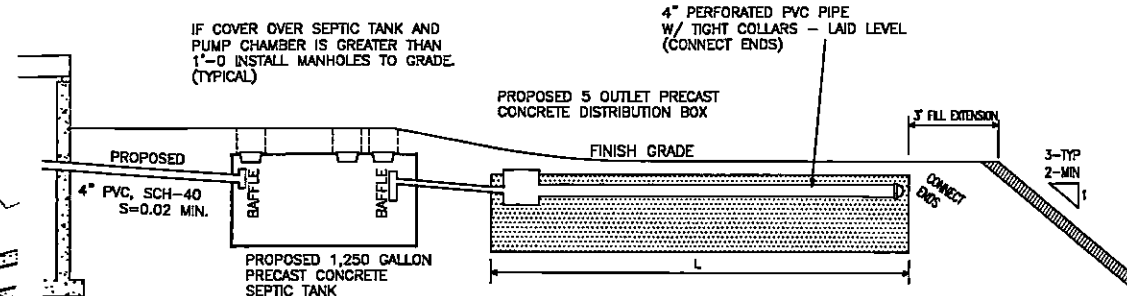
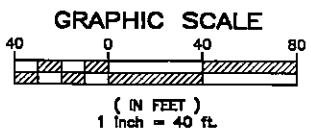
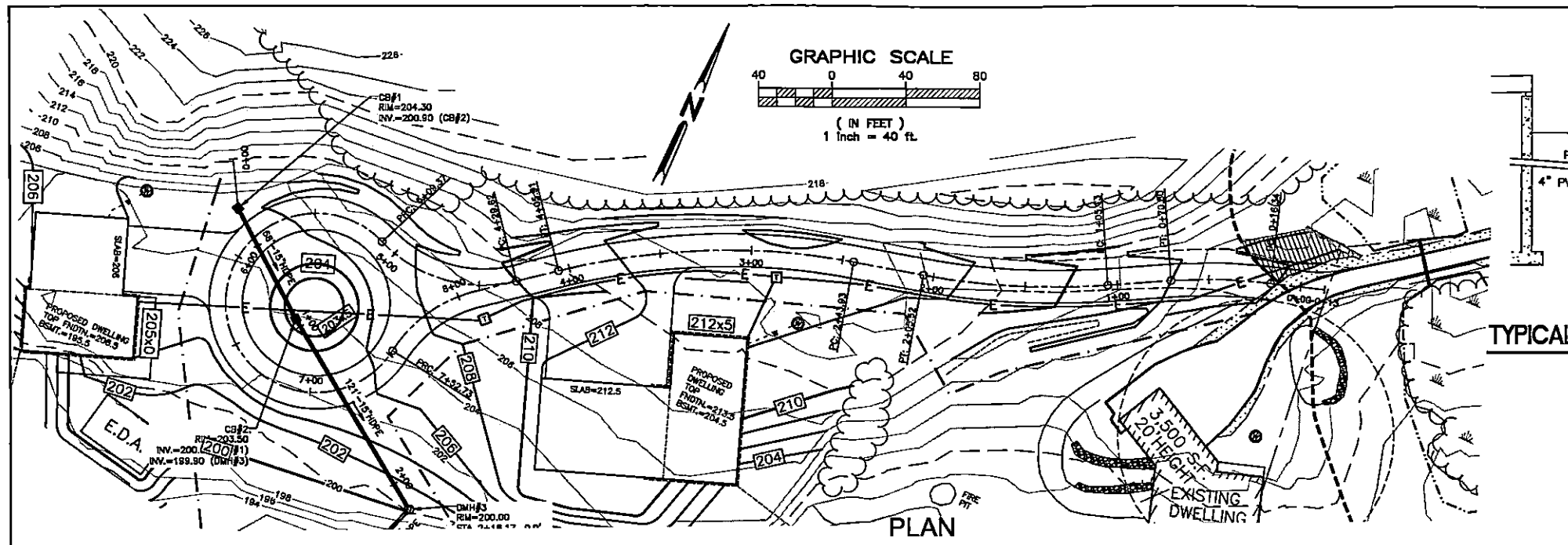


- NOTES**
- SEE SHEET #1 FOR ADDITIONAL NOTES
 - SEE SHEET #2 FOR LEGEND
 - WETLANDS DELINEATED ON SITE BY: TES ENVIRONMENTAL CONSULTANTS, LLC 1484 ROUTE 3A, UNIT 1 BOW, NH 03304
 - SURVEY COMPLETED IN CONJUNCTION WITH: RANGWAY LAND SURVEY & DESIGN 252 DANIEL PLUMMER ROAD GOFFSTOWN, NH 03045

GRADING & UTILITIES PLAN
134 WASON ROAD SITE PLAN
TAX MAP 206 LOT 001-002
#134 WASON ROAD
HUDSON, NEW HAMPSHIRE 03051
OWNER OF RECORD / PREPARED FOR
MARCO & CINDY PLANTE
124 BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE 03051
HCRD BOOK 9845/PAGE 1108
SCALE: 1"=40' SHEET 4 of 8 FEBRUARY 4, 2025

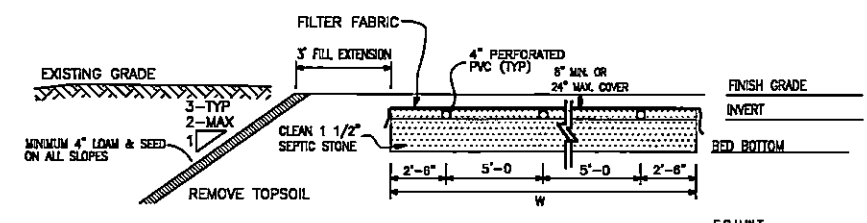
#	DATE	DESCRIPTION	BY
1	03/25/25	F&O REVIEW-3/19/25	NL

BENCHMARK LLC
Consulting Engineers Land Planners
50 Nashua Road, Suite 305
Londonderry, New Hampshire 03053
Phone: (603) 437-5000



TYPICAL SYSTEM PROFILE

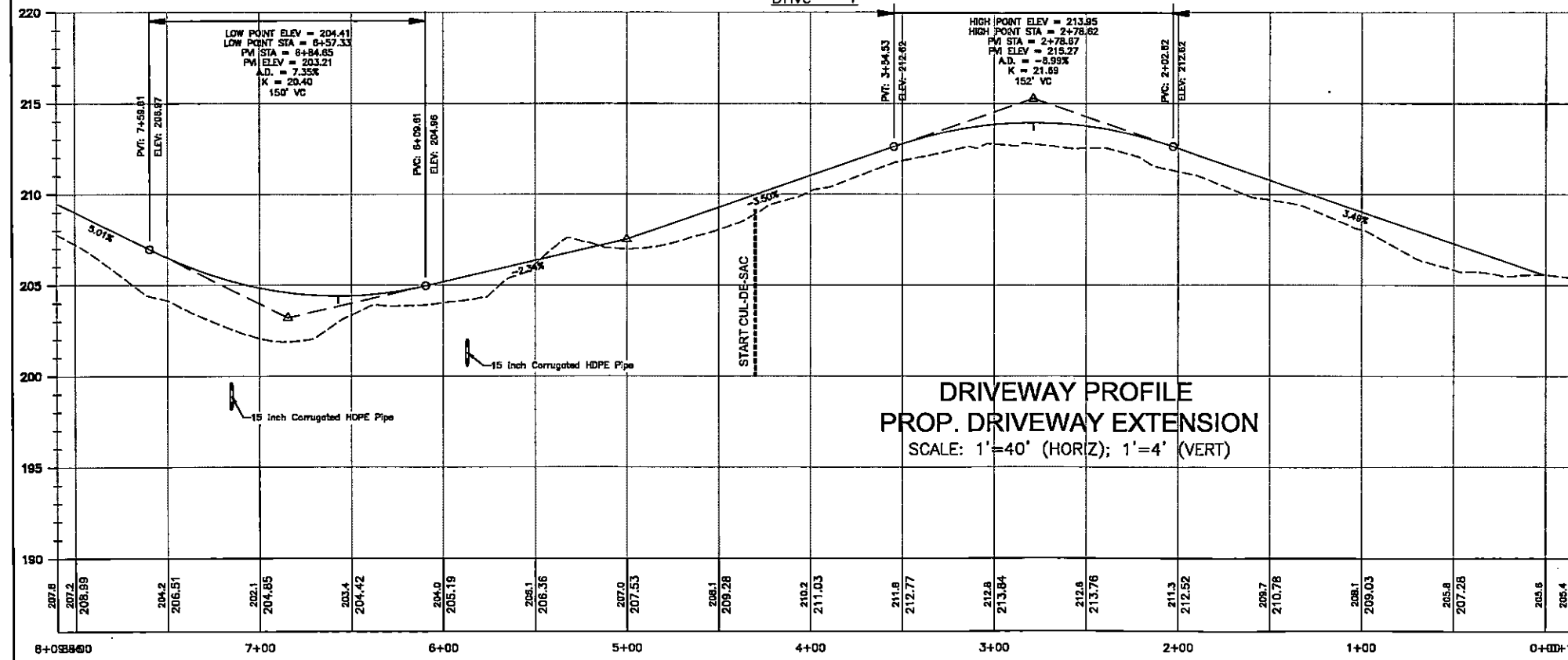
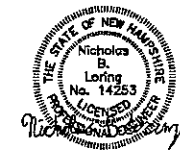
NOTE:
 FILL MATERIAL IMMEDIATELY UNDER THE BED SHALL BE MEDIUM TO COURSE TEXTURED SAND (0.25MM-2.0MM) WITH NO MORE THAN 5% PASSING THE #200 SIEVE, AND NO PARTICLES SIZE LARGER THAN 3/4 INCH OR MATERIAL MEETING THE ASTM C-33 SPECIFICATIONS. IF BED IS RAISED MORE THAN 3.0 FEET, PLACE COURSE TEXTURED SAND IN 18" LIFTS. CONSOLIDATE AND RAKE SURFACE PRIOR TO SETTING NEXT LIFT. EXTEND 5 FEET AROUND AND UNDER SIDESLOPES.



TYPICAL SECTION

SEPTIC STONE REQUIREMENTS;
 ENV-WQ 1016.04(b) APPROVED SEPTIC STONE SHALL BE CLEAN, UNIFORMLY-SIZED CRUSHED STONE, WASHED ROCK OR SIMILAR AGGREGATE, 1.5 INCH, FREE OF FINES WITH A RANGE OF 0.75 INCHES TO 2.5 INCHES IN ACCORDANCE WITH ENV-WQ TABLE 1014-2
 ENV-WQ 1016.04(c) APPROVED SEPTIC STONE SHALL MEET THE SIEVE SIZE AND PERCENT PASSING BY WEIGHT REQUIREMENTS IN ACCORDANCE WITH AASHTO, 27TH EDITION, TEST METHOD T011-85, WHICH REPLACES AASHTO 17TH EDITION TEST METHOD T11-85, AND WHICH APPLIES TO SEPTIC STONE AVAILABLE FOR RETAIL PURCHASE, AS SET FORTH IN ENV-WQ TABLE 1014-2

TYPICAL SEPTIC SYSTEM DETAILS



DRIVEWAY PROFILE
 PROP. DRIVEWAY EXTENSION
 SCALE: 1"=40' (HORIZ); 1"=4' (VERT)

PURSUANT TO THE SITE PLAN REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

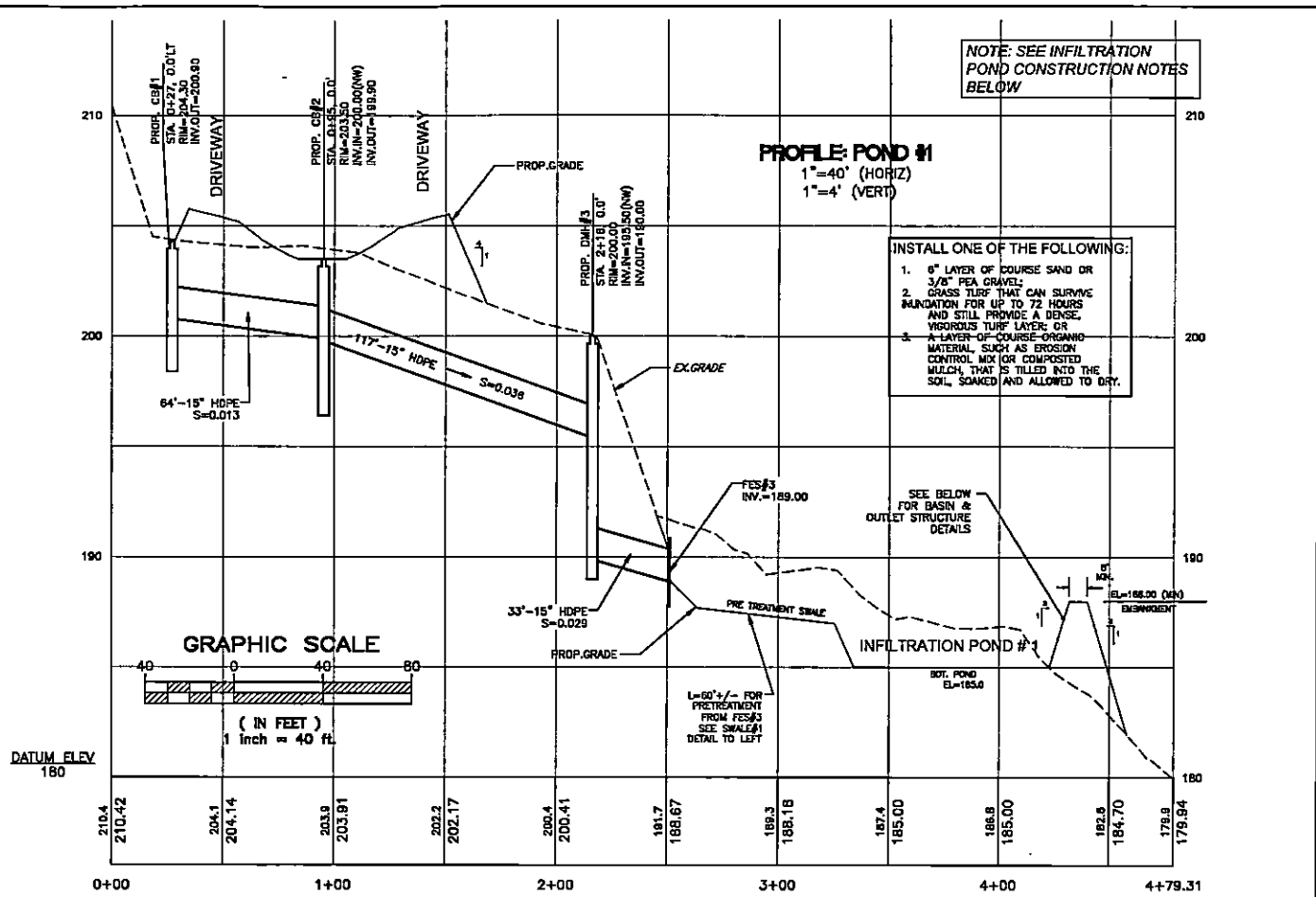
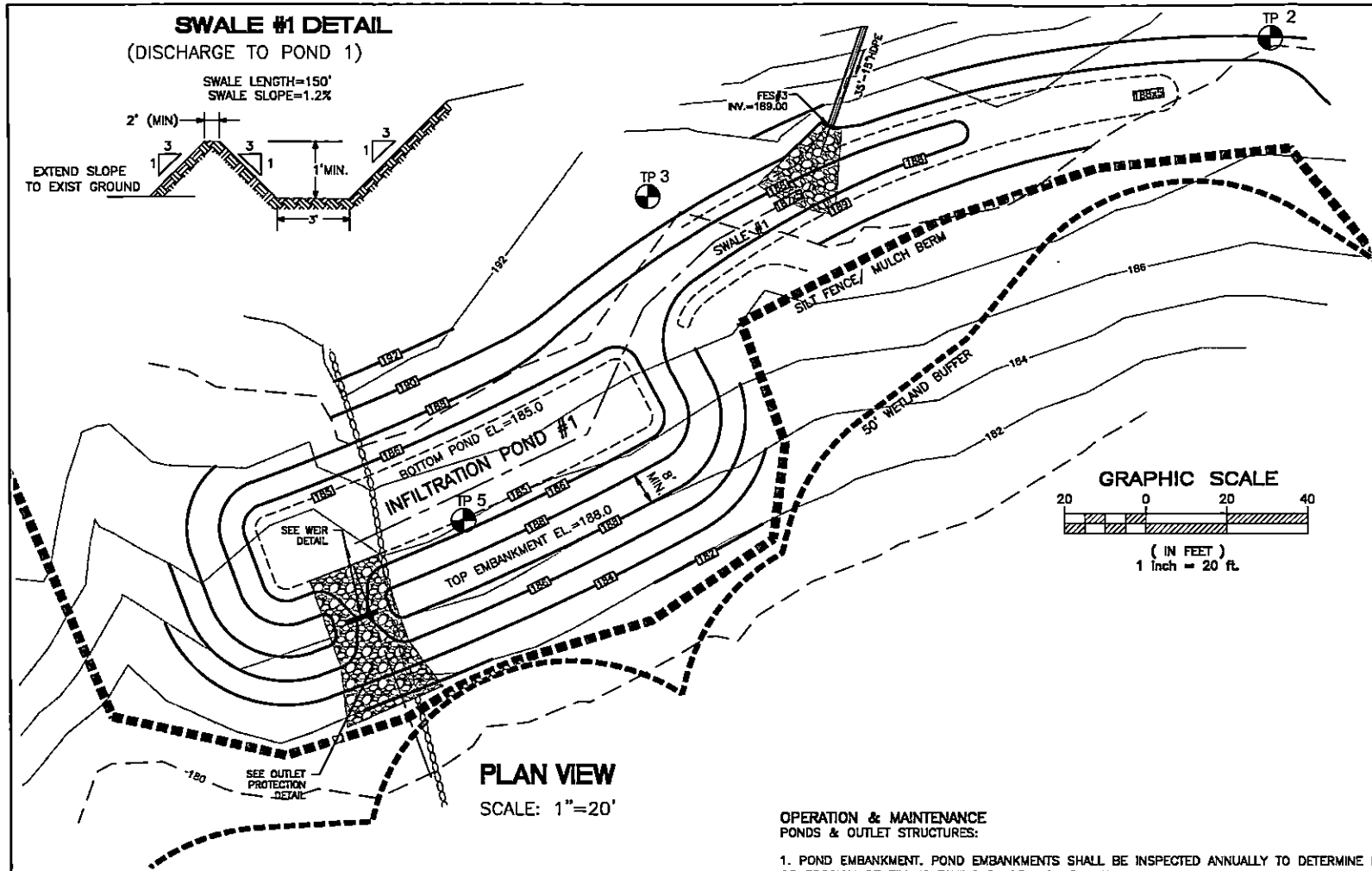
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____
 SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



DRIVEWAY PLAN & PROFILE
134 WASON ROAD SITE PLAN
TAX MAP 206 LOT 001-002
 #134 WASON ROAD
 HUDSON, NEW HAMPSHIRE 03051
 OWNER OF RECORD / PREPARED FOR
 MARCO & CINDY PLANTE
 124 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE 03051
 HCRD BOOK 9845/PAGE 1108
 SCALE: 1"=40' SHEET 5 of 8 FEBRUARY 4, 2025

DATE	DESCRIPTION	BY
03/25/25	F&D REVIEW-3/19/25	NL

BENCHMARK LLC
 Consulting Engineers Land Planners
 50 Nashua Road, Suite 305
 Londonderry, New Hampshire 03063
 Phone: (603) 437-5000



POND CONSTRUCTION NOTES (APPLICABLE TO ALL PONDS):

- EMBANKMENT PREPARATION. THE AREA UNDER AND WITHIN 10' OF THE EMBANKMENT SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOIL, PEAT AND OTHER UNSUITABLE MATERIAL. ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REMOVED FROM THE EMBANKMENT AREA.
- FILL MATERIAL FOR EMBANKMENTS SHALL MEET THE FOLLOWING GRADATION:

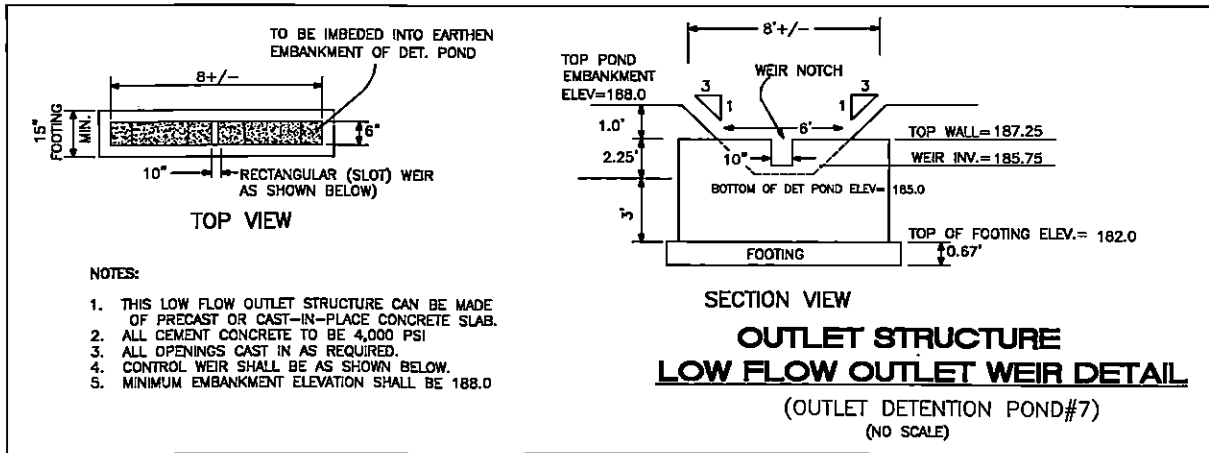
SIEVE SIZE: % PASSING (BY WEIGHT)	100
#10	70 - 85
#40	50 - 80
#200	40 - 60

NATIVE SUITABLE EARTH MATERIAL CAN BE USED FOR FILL UNDER THE EMBANKMENT. DO NOT USE HIGHLY PERMEABLE SOILS SUCH AS SANDS AND GRAVELS. THE MATERIAL PLACED IN FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOIL, ROOTS, FROZEN SOIL, STONES MORE THAN 6" IN DIAMETER AND/OR OTHER OBJECTIONABLE MATERIAL. SELECTED BACKFILL MATERIALS SHALL BE PLACED AROUND STRUCTURES AND PIPE CONDUITS AT ABOUT THE SAME RATE ON ALL SIDES TO PREVENT DAMAGE FROM UNEQUAL LOADING. THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE DETENTION POND EMBANKMENT AND THE FILL SHALL BE BROUGHT UP IN HORIZONTAL LAYERS NOT MORE THAN ONE (1) FOOT THICK. THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OR GRADATION FROM THE SURROUNDING MATERIAL.

- EXCAVATION. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE BOTTOM OF THE INFILTRATION SYSTEM.
- MOISTURE CONTROL. THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT AND THE MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED TO IT AND MIXED UNTIL THIS REQUIREMENT IS MET.
- COMPACTION. CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OF EACH LAYER OF FILL TO ENSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SUCH AS MECHANICAL COMPACTOR AND/OR VIBRATORY ROLLER SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION OF 95% OR BETTER (95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST - ASTM D 1557). FILL ADJACENT TO STRUCTURES AND PIPE CONDUITS SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF SURROUNDING FILL BY MEANS OF HAND TAMPING, POWER TAMPERS AND/OR PLATE VIBRATORS.
- PROTECTION. ALL EXPOSED SURFACES OF EMBANKMENT SHALL BE LOAMED AND SEED. USE OF EROSION CONTROL MATS IS HIGHLY RECOMMENDED ON SLOPES STEEPER THAN 3/1 (H/V).
- BASE RESTORATION. AFTER THE INFILTRATION SYSTEM AREA IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.

OPERATION & MAINTENANCE PONDS & OUTLET STRUCTURES:

- POND EMBANKMENT. POND EMBANKMENTS SHALL BE INSPECTED ANNUALLY TO DETERMINE IF RODENT BURROWS, WET AREAS OR EROSION OF FILL IS TAKING PLACE. REPAIRS SHALL BE PERFORMED WITH SUITABLE MATERIAL (SEE CONSTRUCTION NOTES) AND PROPER GRASS COVER SHALL BE MAINTAINED ON EARTH EMBANKMENTS AT ALL TIMES.
- VEGETATION. THE VEGETATED AREA OF STRUCTURES SHALL BE PROTECTED BY DAMAGE FROM EROSION, FIRE, GRAZING AND TRAFFIC. TREES AND SHRUBS SHALL BE KEPT OFF THE EMBANKMENTS.
- INLETS. END SECTIONS AND PIPE INLETS SHALL BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. ACCUMULATED DEBRIS AND SEDIMENT SHALL BE REMOVED. RIP RAP OUTLET PROTECTION SHALL BE CLEANED AND REPLACED IF NECESSARY.
- OUTLETS. OUTLET STRUCTURES AND PIPES SHALL BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE OUTLET STRUCTURES AND PIPES SHALL BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE, THAN APPROPRIATE CORRECTIVE MEASURES SHALL BE TAKEN TO STABILIZE AND PROTECT THE OUTLET.
- SEDIMENT. THE DETENTION PONDS SHALL BE CONTINUALLY CHECKED FOR SEDIMENT. WHEN SEDIMENT REACHES AN ELEVATION 3" BELOW THE OUTLET CONTROL DEVICE, THE SEDIMENT ADJACENT TO THE OUTLET STRUCTURE SHALL BE REMOVED AND PROPERLY DISPOSED OFF. AN ADDITIONAL NH WETLANDS BOARD PERMIT MAY BE REQUIRED TO PERFORM WORK IN WETLAND AREAS.
- SAFETY INSPECTIONS. THE OPERATION OF THE DETENTION PONDS, OUTLET STRUCTURES AND TREATMENT SWALES SHALL BE VISUALLY CHECKED FOR EROSION AND SEEPAGE AFTER EVERY MAJOR STORM.
- SAFETY. THE DETENTION AREAS SHALL INCORPORATE ALL POSSIBLE SAFETY PRECAUTIONS INCLUDING WARNING SIGNS.
- PROPOSED OWNER'S NAME: MARCO & CINDY PLANTE
124 BUSH HILL RD
HUDSON, NEW HAMPSHIRE 03051



- NOTES:
- THIS LOW FLOW OUTLET STRUCTURE CAN BE MADE OF PRECAST OR CAST-IN-PLACE CONCRETE SLAB.
 - ALL CEMENT CONCRETE TO BE 4,000 PSI.
 - ALL OPENINGS CAST IN AS REQUIRED.
 - CONTROL WEIR SHALL BE AS SHOWN BELOW.
 - MINIMUM EMBANKMENT ELEVATION SHALL BE 188.0

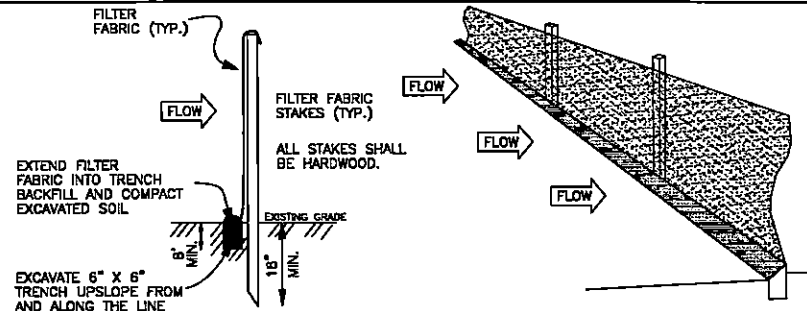
DETENTION POND DETAILS
134 WASON ROAD SITE PLAN
TAX MAP 206 LOT 001-002
 #134 WASON ROAD
 HUDSON, NEW HAMPSHIRE 03051
 OWNER OF RECORD / PREPARED FOR
 MARCO & CINDY PLANTE
 124 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE 03051
 HCRD BOOK 9645/PAGE 1108
 SCALE: AS NOTED SHEET 6 of 8 FEBRUARY 4, 2025

PURSUANT TO THE SITE PLAN REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____
 SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

#	DATE	DESCRIPTION	BY
1	03/25/23	F&O REVIEW-3/19/23	NL

BENCHMARK LLC
 Consulting Engineers Land Planners
 50 Noshua Road, Suite 305
 Londonderry, New Hampshire 03053
 Phone: (603) 437-5000



EXTEND FILTER FABRIC INTO TRENCH BACKFILL AND COMPACT EXCAVATED SOIL
 ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE BMP (BEST MANAGEMENT PRACTICES) AS SPECIFIED IN THE "STORMWATER MANAGEMENT AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE" AS PREPARED BY THE ROCKINGHAM COUNTY CONSERVATION DISTRICT.

SILT FENCE MAINTENANCE

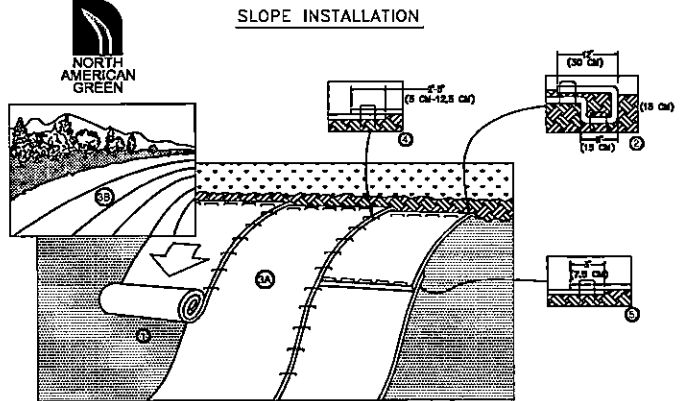
- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

CONSTRUCTION SPECIFICATIONS

- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION AND BOTTOM.
- WHEN 2 SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED.
- FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BULGES IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

SILT FENCE DETAIL (NO SCALE)

SLOPE INSTALLATION



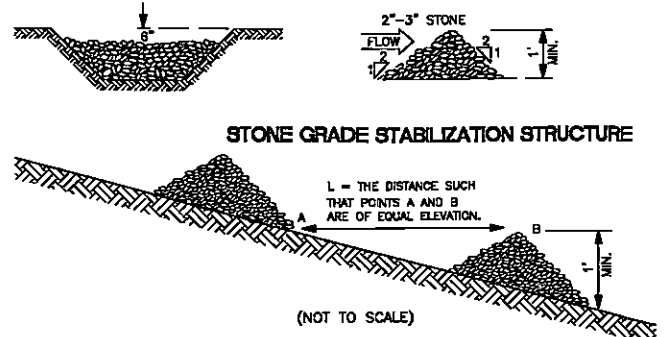
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE BLANKET.
 - ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON BLANKET TYPE.
 - CONSECUTIVE BLANKETS SPUNCE DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE BLANKET WIDTH.
- NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
- USE NORTH AMERICAN GREEN SC1509N EROSION CONTROL BLANKET (OR APPROVED EQUAL) DISTRIBUTED BY E.J. PRESCOTT, INC 210 SHEEP DAVIS ROAD CONCORD, NH PHONE: (603) 224-9545

EROSION CONTROL BLANKET (NOT TO SCALE)

PURSUANT TO THE SITE PLAN REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



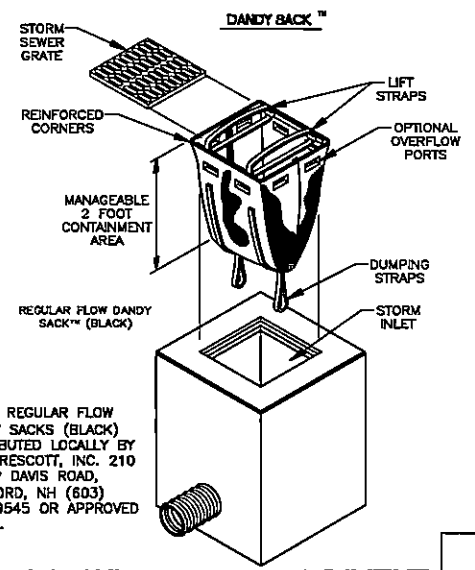
MAINTENANCE

TEMPORARY GRADE STABILIZATION STRUCTURES SHOULD BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED STORMS. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY. PARTICULAR ATTENTION SHOULD BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE. WHEN THE STRUCTURES ARE REMOVED, THE DISTURBED PORTION SHOULD BE BROUGHT TO THE EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEEDED AND MULCHED. WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND THE STRUCTURES. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF OF THE ORIGINAL HEIGHT OF THE STRUCTURE.

CONSTRUCTION SPECIFICATIONS

- STRUCTURES SHALL BE INSTALLED ACCORDING TO THE DIMENSIONS SHOWN ON THE PLANS AT THE APPROPRIATE SPACING.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER SO THAT EROSION AND AIR AND WATER POLLUTION WILL BE MINIMIZED.
- WHEN HAYBALES ARE USED, THE BALES SHALL BE EMBEDDED AT LEAST 4 INCHES INTO THE SOIL. WHEN TIMBER STRUCTURES ARE USED, THE TIMBER SHALL EXTEND AT LEAST 18 INCHES INTO THE SOIL.
- HAY OR STRAW BALES SHALL BE ANCHORED INTO THE SOIL USING 2" X 2" HARDWOOD STAKES DRIVEN THROUGH THE BALES AT LEAST 18 INCHES INTO THE SOIL.
- SEEDING, FERTILIZING, AND MULCHING SHALL CONFORM TO THE RECOMMENDATIONS IN THE APPROPRIATE VEGETATIVE BMP.
- STRUCTURES SHALL BE REMOVED FROM THE CHANNEL WHEN THEIR USEFUL LIFE HAS BEEN COMPLETED.

TEMPORARY EROSION CONTROL CHECK DAM WITHIN DRAINAGE CHANNEL

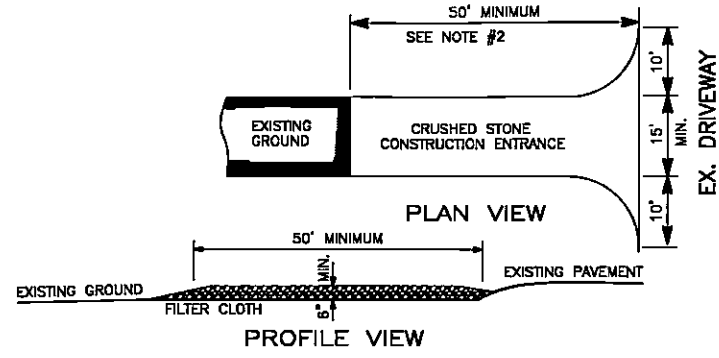


NOTE: REGULAR FLOW DANDY SACKS (BLACK) DISTRIBUTED LOCALLY BY E.J. PRESCOTT, INC. 210 SHEEP DAVIS ROAD, CONCORD, NH (603) 224-9545 OR APPROVED EQUAL.

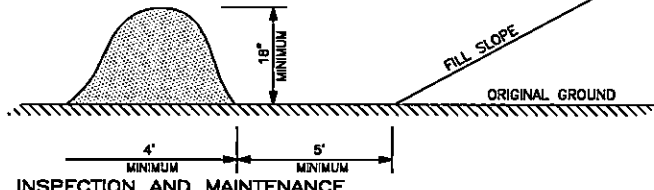
DETAIL OF INLET SEDIMENT CONTROL DEVICE (NOT TO SCALE)

NOTE: INLET SEDIMENT CONTROL DEVICES TO BE REMOVED FROM THE STRUCTURES LOCATED IN PAVED AREAS UPON INSTALLATION OF THE BINDER COURSE.

ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE NH STORMWATER MANUAL VOLUME 3 EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION DATED DECEMBER 2008



NOTE: WOOD WASTE COMPOST/BARK MULCH FILTER BERMS MAY BE USED IN COMBINATION WITH SILT FENCE TO IMPROVE SEDIMENT REMOVAL AND PREVENT CLOGGING OF THE WOOD WASTE COMPOST/BARK FILTER BY LARGER SEDIMENT PARTICLES. (SILT FENCE PLACED TO FILTER RUN-OFF BEFORE WOOD WASTE COMPOST/BARK BERM.)



INSPECTION AND MAINTENANCE
 MAINTENANCE OF A CONTINUOUS BERM REQUIRES MINIMAL EFFORT. IF EVIDENCE OF PIPING IS DETECTED, COMPACTING LOOSE SOIL IN THE AREA OF FAILURE RESULTS IN MITIGATING THE PROBLEM. IF VEHICLES RUN OVER THE BERM CAUSING DAMAGE, THE DAMAGED AREA SHALL BE REPAIRED BY RE-STAPLING THE FABRIC. IN THE EVENT OF MAJOR DAMAGE, A NEW SECTION OF BERM CAN BE EASILY PLACED IN FRONT OF THE DAMAGED SECTION. WHEN THE BERM IS NO LONGER NECESSARY REMOVAL IS COMPLETED BY SLITTING THE BERM, SLITTING THE FILL MATERIAL AND INCORPORATING IT INTO THE EXISTING SOIL, AND REMOVING THE FABRIC. FILTER BERM SHALL BE CLEARED WHEN THE DEPTH OF SEDIMENT REACHES HALF THE HEIGHT OF THE BERM (9 INCHES). RESHAPE THE BERM AS NECESSARY.

MULCH BERM DETAIL (NO SCALE)

CONSTRUCTION SPECIFICATIONS

- MINIMUM STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH CRUSHED STONE.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 75 FEET, EXCEPT THAT THE MINIMUM MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
- THE WIDTH OF THE CONSTRUCTION ENTRANCE SHALL EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
- THE PAD SHALL SLOPE AWAY FROM THE EXISTING ROAD.
- THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
- THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE Voids IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF SITE.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED PROMPTLY.
- IF NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

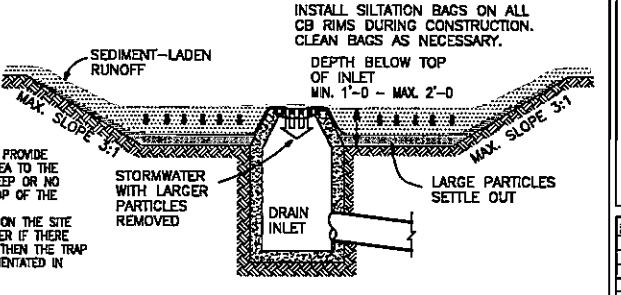
STABILIZED CONSTRUCTION ENTRANCE

TO BE CONSTRUCTED AT SITE ENTRANCE AT THE INTERSECTION WITH EXISTING DRIVEWAY (NO SCALE)

MULCH BERM

CONSTRUCTION SPECIFICATIONS:

- THE WOOD WASTE COMPOST/BARK FILTER SHALL CONSIST OF A WOOD WASTE COMPOST/BARK MULCH MIX OR RECYCLED, COMPOSTED BARK FLUME GRIT AND FRAGMENTED WOOD GENERATED FROM WATER FLUME LOG HANDLING SYSTEMS.
 - THE MIX SHALL HAVE THE FOLLOWING STANDARDS:
 - MOISTURE CONTENT - 30% TO 60%
 - pH - 5.0 TO 8.0
 - SCREEN SIZE - 100% LESS THAN 75MM, MAXIMUM 70% LESS THAN 25 MM,
 - NO LESS THAN 40% ORGANIC MATERIAL (DRY WEIGHT) BY LOSE OF IGNITION,
 - NO STONES GREATER THAN 2 INCHES IN DIAMETER.
 - BERM MAY BE FORMED WITH A BARK BLOWER OR WITH OTHER EQUIPMENT. BERM SHALL BE 18 INCHES MINIMUM AT THE BASE AND SHALL BE AT LEAST 12" IN HEIGHT.
 - FILTER BERM MAY BE PLACED DIRECTLY ON THE GROUND, NO TRENCHING OR STAKING IS REQUIRED. MATERIAL.
 - FILL CONTINUOUS BERM WITH SAND, AGGREGATE ROCK, OR SOIL AS SPECIFIED.
 - DRAINAGE OF PONDED WATER IS DEPENDENT UPON FABRIC FLOW RATES AND THE INFILL.
- WHEN A CONTINUOUS BERM IS TO FUNCTION AS A SEDIMENT TRAP, AT LEAST 3 FEET (0.9M) OF THE STRUCTURE MUST BE FILLED WITH 3/4"-1 1/2" (20MM TO 38MM) DIAMETER ROCK TO SERVE AS A DRAINAGE CHAMBER. IN ADDITION THE ROCK DRAINAGE CHAMBER MUST BE LOCATED AT A LOW SPOT FOR ADEQUATE DRAINAGE OF PONDED WATERS.
- NONWOVEN FABRIC CAN BE DRAINED BY CUTTING VERTICAL SLITS IN THE UPSTREAM SIDE OF THE FABRIC SURROUNDING THE DRAINAGE CHAMBER TO ALLOW FOR THE PASSAGE OF WATER. OPTIONALLY, INSERT A 2 INCH (51MM) PVC PIPE THROUGH THE DOWNSIDE OF THE BERM, INTO THE ROCK CHAMBER APPROXIMATELY 4-6 INCHES (101-152MM) TO DISCHARGE THE PONDED WATER.
- ONCE A BERM HAS BEEN DEVELOPED, ADDITIONAL SEALING OF THE BOTTOM OCCURS BY HAVING SOMEONE "WALK" ALONG THE TOP.



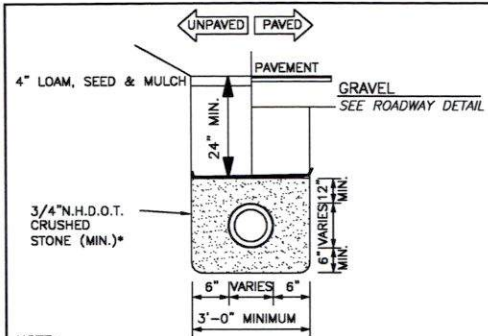
- NOTES:
- THE TRAP SHOULD BE EXCAVATED AROUND THE INLET TO PROVIDE 67 CUBIC FEET OF STORAGE PER ACRE OF DRAINAGE AREA TO THE INLET. THE TRAP SHOULD BE NO LESS THAN 1 FOOT DEEP OR NO MORE THAN 2 FEET DEEP WHEN MEASURED FROM THE TOP OF THE INLET. SIDESLOPES SHOULD BE 3:1 OR FLATTER.
 - THE DIMENSIONS OF THE EXCAVATION SHOULD BE BASED ON THE SITE CONDITIONS. NORMALLY THE TRAPS ARE SQUARE, HOWEVER IF THERE IS CONCENTRATED FLOW BEING DIRECTED INTO THE TRAP THEN THE TRAP SHOULD BE RECTANGULAR WITH THE LONG DIMENSION ORIENTATED IN THE DIRECTION OF THE FLOW.

EROSION CONTROL DETAILS
134 WASON ROAD SITE PLAN
TAX MAP 206 LOT 001-002
#134 WASON ROAD
HUDSON, NEW HAMPSHIRE 03051
 OWNER OF RECORD / PREPARED FOR
 MARCO & CINDY PLANTE
 124 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE 03051
 HCRD BOOK 9845/PAGE 1108

SCALE: NONE SHEET 7 of 8 FEBRUARY 4, 2025

#	DATE	DESCRIPTION	BY
1	03/25/25	F&Q REVIEW-3/19/25	NL

BENCHMARK LLC
 Consulting Engineers Land Planners
 50 Nashua Road, Suite 305
 Londonderry, New Hampshire 03053
 Phone: (603) 437-5000



NOTE:
A LAYER OF GEO-TEXTILE FABRIC TO BE INSTALLED BETWEEN THE CRUSHED STONE BEDDING AND THE BACKFILL MATERIALS.

TYPICAL DRAIN TRENCH DETAIL
(NO SCALE)

ON-SITE DRAINAGE OPERATIONS AND MAINTENANCE SCHEDULE

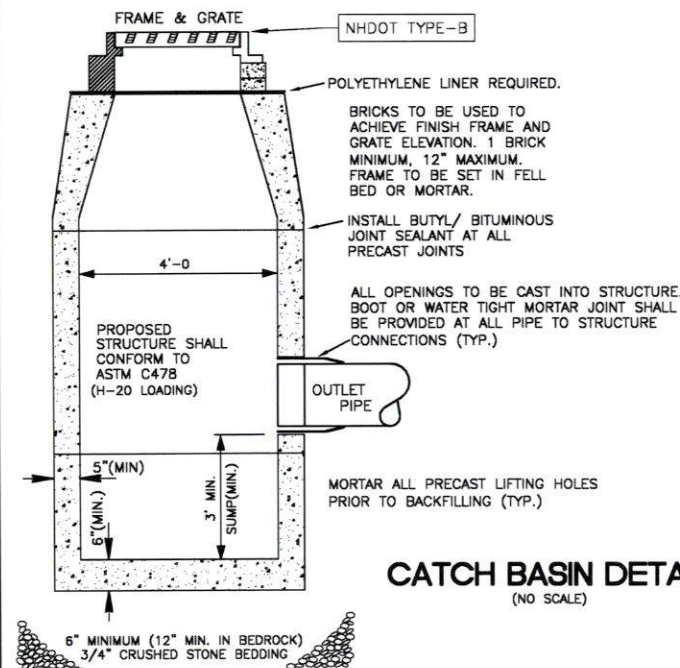
CATCH BASIN - MAINTENANCE PROCEDURES:

- STEP 1) INSPECT CATCH BASIN UPSTREAM SEMIANNUALLY FOR SEDIMENT
- STEP 2) REMOVE GRATES AND COVERS
- STEP 3) SKIM OFF OILS AND FLOATABLES.
- STEP 4) USING A STADIA ROD, MEASURE THE DEPTH OF SEDIMENT
- STEP 5) IS SEDIMENT IS AT A DEPTH GREATER THAN 6" PROCEED TO STEP 6, IF NOT PROCEED TO STEP 7
- STEP 6) VACUUM OR MANUALLY REMOVE SEDIMENT
- STEP 7) REPLACE GRATES OR COVERS
- STEP 8) RECORD OBSERVATION, DEPTH & DATE AND SCHEDULE NEXT INSPECTION.

POLYETHYLENE LINER NOTES:

ALL CATCH BASINS TO BE OUTFITTED WITH A POLYETHYLENE LINER DOWNSPOUT. POLYETHYLENE LINER (NHDOT ITEM 604.0007) SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION FILLET WELDED TO THE POLYETHYLENE SHEET. PLACE A CONTINUOUS BEAD OF AN APPROVED SILICONE SEALANT BETWEEN THE FRAME AND POLYETHYLENE SHEET.

PLACE CLASS AA CONCRETE TO 2" BELOW THE TOP OF GRATE ELEVATION (SUBSIDIARY TO DRAINAGE STRUCTURE) TRIM POLYETHYLENE SHEET A MAXIMUM OF 4" OUTSIDE THE FLANGE ON THE FRAME FOR THE CATCH BASIN BEFORE PLACING CONCRETE. (EXCEPT AS SHOWN WHEN USED WITH CURB). CENTER OF THE GRATE AND FRAME MAY BE SHIFTED A MAXIMUM OF 3" FROM THE CENTER OF THE DOWNSPOUT IN ANY DIRECTION.



CATCH BASIN DETAIL
(NO SCALE)

PURSUANT TO THE SITE PLAN REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

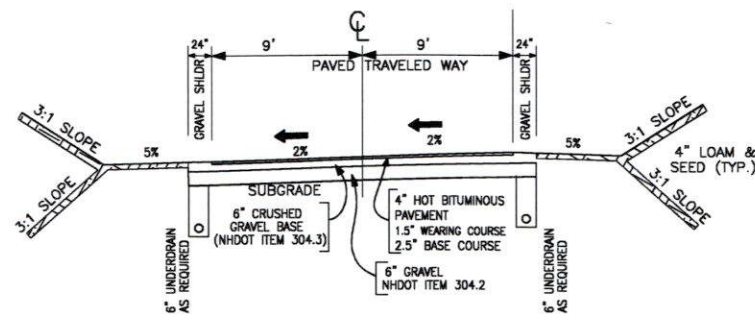
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____

SIGNATURE _____ SIGNATURE DATE _____

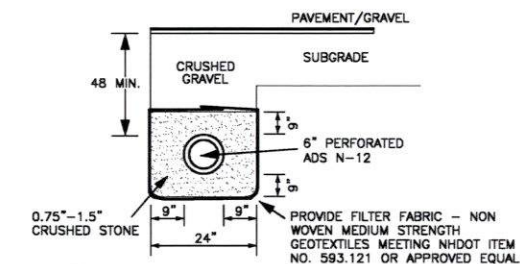
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



TYPICAL ROADWAY SECTION
(NOT TO SCALE)

TYPICAL ROADWAY SECTION NOTES:

1. ALL ROADWAY MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE LATEST NHDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, INCLUDING SUBSEQUENT AMENDMENTS AND EDITIONS.
2. PROVIDE 4" MINIMUM COMPACTED LOAM AND SEED ON ALL SIDE SLOPES AND DRAINAGE SWALES UNLESS OTHERWISE NOTED.
3. ALL LEDGE SHALL BE REMOVED TO 6" BELOW SUBGRADE.



UNDERDRAIN DETAIL
(NO SCALE)

TYPICAL UNDERDRAIN NOTES:

1. ALL ROADWAY MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE LATEST NHDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2016 EDITION, INCLUDING SUBSEQUENT AMENDMENTS AND EDITIONS.
2. GRADING FOR UNDERDRAIN PIPE SHALL BE PARALLEL TO GRADE OF THE ROAD.
3. UNDERDRAIN OUTLET SHALL ENTER A CATCH BASIN OR BE PROTECTED BY A MASONRY RUBBLE HEADWALL. WHEN ENTERING A HEADWALL, LAST 10'-L SHALL BE SOLID UNDERDRAIN.
4. UNDERDRAIN FLUSHING BASINS SHALL BE INSTALLED AT THE END OF RUNS AND APPROXIMATELY EVERY 300'.
5. TOP OF UNDERDRAIN PIPE SHALL BE BURIED A MINIMUM OF 4 FT.

EROSION CONTROL & TURF ESTABLISHMENT NOTES:

- NO MORE THAN 5 ACRES MAY BE DISTURBED AND LEFT UNSTABILIZED AT ANY ONE TIME.
- ALL DISTURBED AREAS SHALL BE FULLY STABILIZED WITHIN 30 DAYS.
- DISTURBED AREAS ANTICIPATED TO BE LEFT ON SITE IN EXCESS OF 30 DAYS SHALL BE TEMPORARILY STABILIZED BY LOAMING, SEEDING AND MULCHING WITHIN 5 DAYS OF THE INITIAL DISTURBANCE.
- UPON COMPLETION OF FINISH GRADING, ALL DISTURBED AREAS SHALL BE LOAMED, FERTILIZED AND SEEDING WITHIN 72 HOURS.
- ALL STEEP SLOPES SHALL BE HYDROSEEDING. USE OF EROSION CONTROL MATS IS HIGHLY RECOMMENDED.
- STABILIZATION SHALL BE ACCOMPLISHED BY LOAMING, FERTILIZING, SEEDING AND MULCHING ALL DISTURBED AREAS (OTHER THAN UNDER THE PAVEMENT) AS FOLLOWS:
 - A. LOAM - SCREENED LOAM WITH A MINIMUM DEPTH OF 4".
 - B. LIME AND FERTILIZER SHALL BE APPLIED PRIOR TO, OR AT THE TIME OF, PERMANENT SEEDING AND INCORPORATED INTO THE SOIL AT THE FOLLOWING RATES:

LIMESTONE (AGRICULTURAL)	3,000 LBS/ ACRE
COMMERCIAL TURF STARTER FERTILIZER (10-18-10)	150 LBS/ ACRE
SUCH AS "GREEN GOLD RENEW" (FOR ESTABLISHMENT ONLY)	
 - C. SEED SELECTION (OR EQUIVALENT) & SEEDING RATES:

TEMPORARY:	ANNUAL RYE GRASS	50 LBS/ ACRE
PERMANENT:	"ROCKINGHAM SOIL CONSERVATION MIX"	150 LBS/ ACRE
	CREeping RED FESCUE	35%
	TALL FESCUE	25%
CONTAINING:	ANNUAL RYE GRASS	15%
	PERENNIAL RYE GRASS	12%
	KENTUCKY BLUE GRASS	10%
	WHITE CLOVER (LEGUME)	3%
 - D. MULCHING SHALL BE APPLIED (FROM MAY TO SEPTEMBER ONLY) AT THE RATE OF 1 1/2 - 2 TONS/ ACRE.
 - E. THE RECOMMENDED GRASS MIXTURES AND FERTILIZERS SPECIFIED HEREIN ARE AVAILABLE AT BLUE SEAL FEEDS, NASHUA, NH (603 883- 9531).
- EARTH PILES SHALL BE STABILIZED TO PREVENT EROSION BY SEEDING & MULCHING.

GENERAL CONSTRUCTION NOTES:

FUGITIVE DUST GENERATED ON SITE SHALL BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000.

Env-Wq 1504.06(k) THIS PROJECT SHALL MEET THE REQUIREMENTS AND INTENT OF RSA 430:51-57 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.

Env-Wq 1505.03 MAXIMUM OPEN AREA ALLOWED:

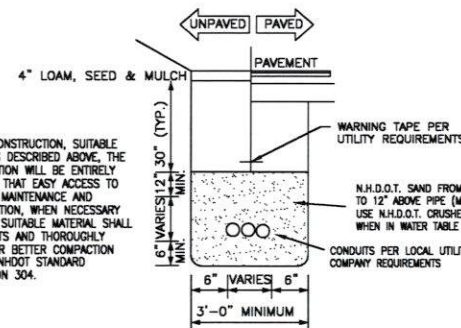
- (A) ALL AREAS OF UNSTABILIZED SOIL SHALL BE:
 1. TEMPORARILY STABILIZED AS SOON AS PRACTICAL BUT IN ALL CASES WITHIN 30 DAYS OF INITIAL DISTURBANCE, UNLESS A SHORTER TIME IS SPECIFIED BY LOCAL AUTHORITIES, THE CONSTRUCTION SEQUENCE APPROVED AS PART OF THE ISSUED PERMIT, OR AN INDEPENDENT MONITOR; AND
 2. PERMANENTLY STABILIZED AS SOON AS PRACTICABLE BUT IN ALL CASES WITHIN 3 DAYS OF FINAL GRADING.
- (B) THE AREA OF UNSTABILIZED SOILS IS APPROXIMATELY 50,000 SQ. FT.

Env-Wq 1505.06 COLD WEATHER SITE STABILIZATION:

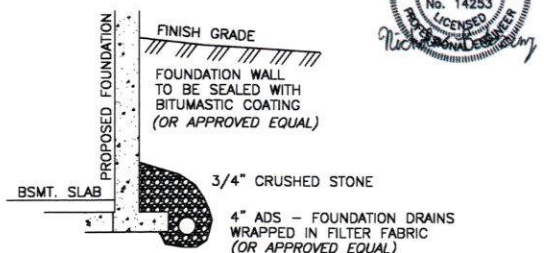
- (A) TO ADEQUATELY PROTECT WATER QUALITY DURING COLD WEATHER AND DURING SPRING RUNOFF, THE ADDITIONAL STABILIZATION TECHNIQUES SPECIFIED BELOW SHALL BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15 THROUGH MAY 1.
- (B) SUBJECT TO (C), BELOW, THE AREA OF EXPOSED, UNSTABILIZED SOILS SHALL BE:
 - (1) LIMITED TO APPROXIMATELY ONE ACRE; AND
 - (2) PROTECTED AGAINST EROSION BY THE METHODS DESCRIBED IN THIS SECTION PRIOR TO ANY THAW OR SPRING MELT EVENT.
- (C) THE ALLOWED AREA OF EXPOSED SOIL MAY BE INCREASED IF A WINTER CONSTRUCTION PLAN IS DEVELOPED BY A QUALIFIED ENGINEER OR A CPESC SPECIALIST AND SUBMITTED TO THE DEPARTMENT FOR APPROVAL AS A REQUEST TO WAIVE THE ONE-ACRE LIMIT.
- (D) SUBJECT TO (F) AND (G), BELOW, ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR THAT ARE DISTURBED AFTER OCTOBER 15, SHALL BE SEEDED AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MULCH PER ACRE AND SECURED WITH ANCHORED NETTING OR TACKIFIER, OR 2 INCHES OF EROSION CONTROL MIX MEETING THE CRITERIA OF ENV-WQ 1506.05(b). (SEE BELOW)
- (E) SUBJECT TO (F) AND (G), BELOW, ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF 15% OR GREATER THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR THAT ARE DISTURBED AFTER OCTOBER 15, SHALL BE SEEDED AND COVERED WITH A PROPERLY INSTALLED AND ANCHORED EROSION CONTROL BLANKET OR WITH A LEAST 4 INCHES OF EROSION CONTROL MIX MEETING THE CRITERIA OF ENV-WQ 1506.05(b). (SEE BELOW)
- (F) ANCHORED HAY MULCH OR EROSION CONTROL MIX THAT MEETS THE CRITERIA OF ENV-WQ 1506.05(b) SHALL NOT BE INSTALLED OVER SNOW OF GREATER THAN ONE (1) INCH IN DEPTH. EROSION CONTROL BLANKETS SHALL NOT BE INSTALLED OVER SNOW GREATER THAN ONE (1) INCH IN DEPTH OR ON FROZEN GROUND.
- (H) ALL PROPOSED STABILIZATION IN ACCORDANCE WITH (D) OR (E), ABOVE, SHALL BE COMPLETED WITHIN A DAY OF ESTABLISHING THE GRADE THAT IS FINAL OR THAT OTHERWISE WILL EXIST FOR MORE THAN 5 DAYS.
- (I) ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS, AS DETERMINED BY THE OWNER'S ENGINEERING CONSULTANT.
- (J) AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING AREAS WHERE ACTIVE CONSTRUCTION OF THE ROAD OR PARKING AREA HAS STOPPED FOR THE WINTER SEASON SHALL BE PROTECTED WITH A MINIMUM 3 INCH LAYER OF BASE COURSE GRAVELS MEETING THE GRADATION REQUIREMENTS OF NHDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, 2016, TABLE 304-1, ITEM NO. 304.1, 304.2, OR 304.3.

Env-Wq 1506.05 (b): EROSION CONTROL MIX SHALL:

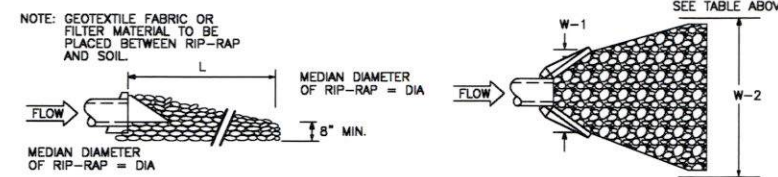
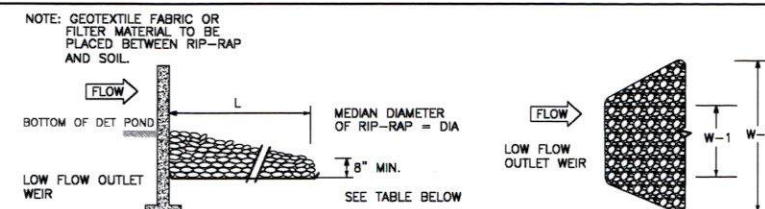
1. HAVE AN ORGANIC PORTION BETWEEN 25% AND 85%, DRY WEIGHT BASIS THAT IS:
 - a. FIBROUS AND ELONGATED SUCH AS FROM SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR EQUIVALENT MANUFACTURED PRODUCTS; AND
 - b. NOT COMPRISED OF WOOD CHIPS, BARK CHIPS, GROUND CONTROL DEBRIS, OR REPROCESSED WOOD PRODUCTS;
2. NOT CONTAIN SILTS, CLAYS, OR FINE SANDS;
3. HAVE A PARTICLE SIZE BY WEIGHT OF 100% PASSING A 3-INCH SCREEN, 90% TO 100% PASSING A 1-INCH SCREEN, 70% TO 100% PASSING A 0.75-INCH SCREEN, AND 30% TO 75% PASSING A 0.25-INCH SCREEN; AND
4. HAVE A pH BETWEEN 5.0 AND 8.0.



TYPICAL ELECTRICAL, TELEPHONE, CABLE TRENCH DETAIL
(NO SCALE)



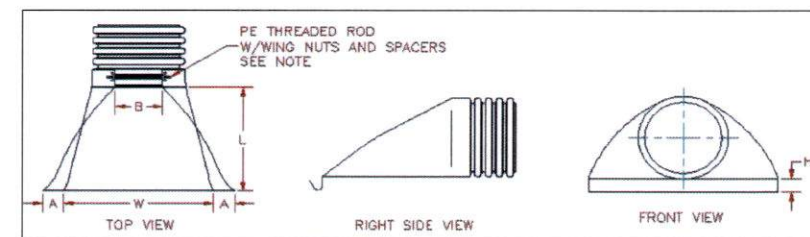
TYPICAL FOUNDATION DRAIN TRENCH DETAIL
(NOT TO SCALE)



RIP RAP SCHEDULE

DETAIL #	LOCATION	W-1 (FT)	W-2 (FT)	L (FT)	DIA. (IN)
A	FES#3 - POND-1 INLET	4	20	20	6
B	POND-1 OUTLET	18	24	36	6

OUTLET PROTECTION DETAILS
(NOT TO SCALE)



PART #	PIPE SIZE	A	B(MAX)	H	L	W
1015NP	10 in	3.8 in	10.0 in	6.5 in	28.0 in	34.5 in
1215NP	12 & 15	6.5 in	10.0 in	6.5 in	25.0 in	29.0 in
1810NP	18 in	7.5 in	15.0 in	6.5 in	32.0 in	35.0 in
2410NP	24 in	7.5 in	18.0 in	6.5 in	36.0 in	45.0 in
3015NP	30 in	7.5 in	12.0 in	8.6 in	58.0 in	63.0 in
3615NP	36 in	7.5 in	25.0 in	8.6 in	58.0 in	63.0 in

ADS FLARED END SECTION DETAIL
(NO SCALE)

NOTES

1. EROSION CONTROL MEASURES SHALL BE PLACED AROUND CONSTRUCTION AREAS AND SHALL REMAIN UNTIL ALL DISTURBED AREAS ARE FULLY STABILIZED.
2. A MINIMUM OF 4" OF LOAM SHALL BE PLACE OVER DISTURBED AREAS, OUTSIDE IMPERVIOUS DEVELOPMENT.

CONSTRUCTION DETAILS
134 WASON ROAD SITE PLAN
TAX MAP 206 LOT 001-002
#134 WASON ROAD
HUDSON, NEW HAMPSHIRE 03051

OWNER OF RECORD / PREPARED FOR

MARCO & CINDY PLANTE
124 BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE 03051
HCRD BOOK 9645/PAGE 1108

SCALE: NONE SHEET 8 of 8 FEBRUARY 4, 2025

#	DATE	DESCRIPTION	BY
1	03/25/25	F&O REVIEW-3/19/25	NL

BENCHMARK LLC
Consulting Engineers Land Planners
50 Nashua Road, Suite 305
Londonderry, New Hampshire 03053
Phone: (603) 437-5000



Run: 4/02/25
3:35PM

Expenditure Report

Town of Hudson, NH
As Of: March 2025, GL Year 2025

Page: 1
mwhitemor
ReportSortedExpenditure

Account Number	Budget	Prior Year Encumbered	Budget & PY Adjustments	Net Budget	MTD Exp	YTD Exp	Encumbered	Balance Available	%Used
Conservation Fund									
06-4619-5586-202-000	Conserv Comm, Sm. Equipment Mtce 2,300.00	0.00	0.00	2,300.00	0.00	727.58	0.00	1,572.42	31.634
06-4619-5586-217-000	Conserv Comm, Assoc Dues/Fees 1,327.00	0.00	0.00	1,327.00	0.00	1,125.00	0.00	202.00	84.778
06-4619-5586-235-000	Conserv Comm, Registration Fees 500.00	0.00	0.00	500.00	0.00	0.00	0.00	500.00	0.000
06-4619-5586-252-000	Conserv Comm, Prof Services 48,626.00	0.00	14,408.00	63,034.00	5,579.00	26,784.00	29,961.00	6,289.00	90.023
2024	0.00	162,328.98	-25,535.00	136,793.98	20,979.26	109,787.16	27,006.82	0.00	100.000
Total Conservation Fund									
Selected Year	52,753.00	0.00	14,408.00	67,161.00	5,579.00	28,636.58	29,961.00	8,563.42	87.249
Prior Year	0.00	162,328.98	-25,535.00	136,793.98	20,979.26	109,787.16	27,006.82	0.00	100.000
Sort Total	52,753.00	162,328.98	-11,127.00	203,954.98	26,558.26	138,423.74	56,967.82	8,563.42	95.801

Run: 4/02/25
3:35PM

Expenditure Report

Page: 2
mwhitemor
ReportSortedExpenditure

Town of Hudson, NH
As Of: March 2025, GL Year 2025

Account Number	Budget	Prior Year Encumbered	Budget & PY Adjustments	Net Budget	MTD Exp	YTD Exp	Encumbered	Balance Available	%Used
Selected Year	52,753.00	0.00	14,408.00	67,161.00	5,579.00	28,636.58	29,961.00	8,563.42	87.249
Prior Year	0.00	162,328.98	-25,535.00	136,793.98	20,979.26	109,787.16	27,006.82	0.00	100.000
Grand Total	52,753.00	162,328.98	-11,127.00	203,954.98	26,558.26	138,423.74	56,967.82	8,563.42	95.801



TOWN OF HUDSON

Conservation Commission



Carl Murphy, Chairman

Dave Morin, Selectmen Liaison

12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-816-1291

DATE: March 10, 2025

MEETING MINUTES: Below is a listing of minutes for the Hudson Conservation Commission. Minutes are not a verbatim record of each meeting, but rather represent a summary of the discussion and actions taken at the meeting. All Conservation Commission meetings are televised live and repeated during the following week on HCTV, cable television channel 22. Official copies of the minutes are available to read and copy at the Town Engineer's Office during regular business hours (Monday through Friday, 8:00 A.M. to 4:30 P.M.).

Should you have any questions concerning these minutes or wish to see the original recording, please contact the Town Engineer's Office at 603-886-6008.

In attendance = X Alternates Seated = S Partial Attendance = P Excused Absence = E

Carl Murphy
Chairman X

Ken Dickinson
Vice-Chair X

Christopher Cameron
Clerk X

John Walter
Member X

Linda Krisciunas
Alternate E

David Morin
Selectman Rep X

Elvis Dhima
Town Engineer X

.....
CALL TO ORDER BY CHAIRPERSON AT 07:00 P.M.

PLEDGE OF ALLEGIANCE

ROLL CALL

SEATING OF ALTERNATES: N.A.

Public Input Related to Non-Agenda Items: None

I. New Business

a. Raymond Park Rail Trail – Pelham/Hudson

John Picard and James Bishop from the Pelham Trails Committee requested permission from the Hudson Conservation Commission to clear and reopen this trail corridor on an abandoned railroad

bed, that runs from Mammoth Rd in Pelham to Gibson Rd in Hudson. The rail bed once ran much further as well but some sections have been impacted by development in the area. Approximately 600 feet of the section in question, which totals about 3,500 feet, is within the town of Hudson, with the rest being in Pelham. The corridor is very overgrown and has some erosion, as well as a bridge that is missing a deck. No Japanese knotweed has been observed, however it is expected that there is some bittersweet and possibly some other invasive species along the corridor.

Mr. Cameron asked if there is a public right-of-way for this trail and Mr. Picard & Mr. Bishop indicated that there is. He also asked if the Pelham Trails Committee would like help with the work, if approved – the Pelham members indicated that the likely would appreciate help.

Mr. Morin confirmed that no action was needed by the Conservation Commission to allow this work to occur, however it was noted that the members of the Pelham Trails Committee should obtain the proper insurance if working on trails in Hudson.

II. Old Business

a. Conditional Use Permit/Site Plan Review – 256 Lowell Rd (T-Bones)

Mr. Walter made a motion, seconded by Mr. Cameron, to go out of the regular order of business and review the updates on the site plan and conditional use permit application for the prospective T-Bones restaurant development at 256 Lowell Rd. No discussion. Motion carried 4-0-0.

Introduction:

The applicant, Tom Boucher, co-owner and CEO of T-Bones Restaurant, gave a brief overview of his background and the history of the restaurant, including his ties to Hudson and the reasons for moving from the current site, along with the desire to keep the restaurant in Hudson. Sam Foisie, Engineer for Meridian Land Services, Inc., presented the updates to the site plan for the proposed development at 256 Lowell Rd, in response to comments received from the Conservation Commission at the monthly meeting on 2/10/2025 and at the subsequent site walk on 2/12/2025, as well as comments from the Planning Board meeting on 2/26/2025.

Changes presented:

-Updated the wetland buffer to the current 75 foot offset, which resulted in increased wetland buffer impacts from those previously shown.

-Increased the exterior sideslopes of the stormwater retention pond and provided details for a proposed U-Wall (universal wall) retaining wall system.

-Added right-turn lane into the driveway from Lowell Rd, which increased wetland buffer impacts to 20,648 square-feet (SF) (approximately 0.47 acres)

-Proposing native plantings, including high bush blueberry, holly, and pine, to re-establish some of the vegetation within the wetland buffer area impacted by construction. Invasive species to be removed from within the wetlands and within the 100 foot residential buffer, as well as within the rest of the site, without impacting non-invasive plants and trees outside of the limits of clearing on the site plan (pending approval).

Discussion:

Mr. Foisie: Regarding placing some of the stormwater treatment areas beneath the parking lot, the only feasible location would be beneath the western portion of the parking area and the upper part of the driveway from Lowell Rd, however this location is problematic. Mr. Dhima indicated that there is a thinner guardrail type for constrained areas that is still crashworthy for up to 50-55 mph – to provide specifications for this product to the designer. Mr. Foisie addressed the recommendation on reducing the parking lot aisle widths and mentioned that it does not align with the applicant’s business model and priorities of making the site easy to access and prioritize safety, including emergency response. Provision of approximately 5.5 feet of separation between the edge of the parking lot and the stormwater basins to accommodate guardrail where needed – guardrail to be provided along any altered slope with a 4+ foot vertical drop.

Comments:

Mr. Cameron expressed continued concern with the overall size of the parking lot and driveway area, which was not reduced at all from the last submittal as requested, as well as the need for, and location of, the proposed driveway from Lowell Rd. He expressed that there were concerns raised at the planning board meeting regarding visual and noise impacts to abutters and that consideration should be given to providing a fence and/or plantings along the parking lot where it abuts the 100 foot residential buffer, however the site plan does not leave any room for anything beyond the parking lot limits that does not encroach on the buffer. Removing trees from within the buffer to install anything would be counter-productive to conservation efforts.

Mr. Cameron pointed out that reducing the number of parking spaces, reducing the parking lot aisle widths, and/or making the parking lot aisles one-way would reduce the overall footprint, allow the parking area and stormwater pond to be moved away from the wetland buffer and residential buffer, reducing impacts and also allowing for plants/trees/fencing to be provided along the edge of the parking lot. Reducing the footprint would also reduce overall wetland buffer impacts and associated required mitigation.

Mr. Boucher indicated strong opposition to reducing the aisle widths or making them one-way, referencing safety concerns and emergency response as justification. A café in Bedford was specifically mentioned as an example of a “disaster” where drivers do not follow the one-way restrictions and there is general confusion and recurring collisions. Mr. Foisie mentioned that the one

location where one-way aisles might work would be the outer-most aisles, however they were not recommended there due to the locations of the driveways and overall traffic flow. Additionally, Mr. Cameron suggested that the applicant could look into placing some of the parking beneath the building. Mr. Boucher countered that it would be prohibitively expensive to place parking below and referenced condos being constructed in Laconia as an example. Mr. Cameron suggested that some alternative solutions for reducing the footprint of the parking lot could include counting the same parking spaces for both seasonal patio use and snow storage, as these uses would not occur during the same times of year as they are factored in to the total required number of parking spaces. Mr. Boucher reiterated the need for snow storage and acknowledged this, however did not offer to re-evaluate the number of parking spaces requested.

Mr. Cameron also expressed concern with the driveway location from Lowell Rd and asked for clarification for this being required. Mr. Foisie replied that it was required as a stipulation from Walmart in order to approve the permit to share their primary access driveway. The location was dictated by the slope and also by the NHDOT general preference that driveways not be located within a turn lane. It was suggested that having the driveway opening within the turn lane might actually be safer than having it located so close to the taper to the turn lane. Mr. Cameron asked Mr. Dhima if he thought NHDOT would ask the applicant to connect the driveway exit from T-Bones onto Lowell Rd to the right-turn lane into Walmart. Mr. Dhima replied that they might but that any significant increase to wetland buffer impacts would require the applicant to return to the commission for re-approval. Mr. Cameron followed up to ask how that would impact the wetland buffer, and verified on the plans that it would increase wetland buffer impacts slightly due to the location of the driveway opening as shown on the plan.

Mr. Morin indicated that the conservation commission comments should be focused on the wetland buffer impacts and other concerns should be raised by the planning board. Mr. Cameron countered that the overall footprint of the driveways and parking lots is directly related to the wetland buffer impact. Mr. Dhima recommended that the commission determine if the applicant has made sufficient efforts to address their concerns and provide the best possible plan given the economic and geometric constraints.

Mr. Dickinson recognized the need for the right turn lane from Lowell Rd but indicated concern with the tight (15 foot) turning radius into the driveway but was otherwise prepared to make a favorable recommendation on the conditional use permit application.

There was discussion on the culvert across the driveway from Lowell Rd and the fact that all water drains away from the upper (eastern) part of the site, closer to the adjacent residential areas, toward Lowell Rd and the River. Mr. Murphy asked about the sheet flow from the Lowell Rd driveway and Mr. Foisie indicated the driveway is not curbed and that the water would sheet flow from the driveway equally into the stormwater basin and into the swale area along Lowell Rd that would then drain through a large culvert across Lowell Rd.

Mr. Dhima asked for the final amount of the permanent wetland buffer impact area from the revised conditional use permit. Mr. Foisie provided the updated value of 20,648 square feet. It was indicated that a recently approved conditional use permit had significantly higher wetland buffer impact.

Motion:

Mr. Dickinson made a motion, seconded by Mr. Walter, to recommend to the Planning Board the approval of the conditional use permit for the construction of driveway access and stormwater control related to the proposed construction at 256 Lowell Rd with the following stipulations:

1. During construction and restoration erosion control barriers shall be installed and maintained to the satisfaction of the Town Engineer.

2. Construction and restoration shall comply with “Best Management Practices to Control Non-Point-Source Pollution: A Guide for Citizens and Town Officials” (NH Department of Environmental Services – Current Issue).

3. It is recommended that the applicant create and implement a wetland buffer restoration plan for the disturbed buffer area as part of the site plan approval. The details and implementation of said restoration plan shall be added to the “General Notes and Legend” found on sheet 2 of 23 of the plan set.

4. It is recommended to have the applicant install approved “do not cut/do not disturb” town conservation markers along the conservation district boundaries. Furthermore, post & rail fence sections could be erected and maintained to aid in delineating the wetland buffer boundary as is typical on other accepted developments. If this recommendation is accepted by the Planning Board, details of the “do not cut/do not disturb” markers and post & rail fencing shall be added to the “General Notes and Legend” found on sheet 2 of 23 of the plan set.

5. It is recommended that the applicant shall not store any snow in or on the detention basin(s) during winter operations, to minimize salt pollution.

Discussion:

Mr. Cameron asked if the language should indicate that the “do not cut/do not disturb” markers should be placed all along the approved limits of clearing. Another large “unnamed” recent project was referenced where a number of trees were cut beyond the approved limits of clearing. It was indicated that the stipulations from the Conservation Commission should focus on the wetland buffer area impacts specifically, so the language in the stipulations was correct.

Vote:

The motion carried 4-0-0.

The Chairman called for a 5 minute recess.

After a brief recess, Mr. Cameron made a motion, seconded by Mr. Walter, to return to the regular order of business. The motion carried 4-0-0.

b. Hudson Hikers Volunteer Stewardship Program

Mr. Walter presented a display board that he made with various maps, trail information, trail history, and hiking-related items. He suggested giving a presentation at the Hudson Senior Center, adjacent to Benson Park, on a date to be determined. It was decided to try to hold this presentation on 4/8/2025, with 4/22/2025 as an alternate date. Kathy ? was in attendance and suggested that the program could promote the Field Maps GIS mobile app and social media to try to engage with a younger demographic as well.

c. Gumpus Pond Bridge Update

Discussion on the need for coordination with Pelham Conservation Commission and Pelham Trails Committee. No response received to date but will follow up.

d. Open Space Report (2012) – Update Table 2, Page 13 (Prioritized list of properties)

Mr. Cameron mentioned that he had created a Google spreadsheet of potential properties to be conserved, based on the Hudson town GIS map, focusing on sizable properties that are either undeveloped or only partially developed. The list has been partially populated but will require additional time and effort to fully populate. It would also need to be updated according to the list from the Open Space Report and vice-versa. The prioritized list(s) should be updated to indicate which properties have been developed or approved for development and which have already been conserved.

III. Other Business

a. Trail Work Day for March and April

Dates: Sat 3/22 at 8am at Robinson Pond boat ramp, Sat 4/12 at 8am at Musquash Pond trailhead.

Work items: Fallen trees at Coburn, Kimball Hill Town Forest, Pelham Rd Town Forest, and at Robinson Pond; marking a potential new trail at the Tiger Rd property; re-blazing the recently marked trails in the eastern part of the Musquash property with the correct colors to correspond with the map colors.

IV. Financial Status

a. Current Report

No discussion to note.

V. Correspondence

a. Forest Society

Thank-you letter from Society for the Protection of NH Forests (Forest Society) for the recently received donation

b. NH Lakes Quarterly publication

c. Industrial Drive Park (Proposed)

Letter from the Town Engineer regarding a proposed park at the formerly contaminated town-owned site on Industrial Drive. Mr. Dhima read the letter and gave an overview of the site, along with its history and the proposed plan.

One parcel of the site is paved and is proposed to be used as a training area for truck drivers. Another adjacent parcel is a flat, grassy field, capped site of asbestos contamination so no activities or construction can occur on that parcel that penetrate the ground (digging, fence posts, foundations, etc.) but it is capped with a foot of soil and is completely safe as long as the ground is not penetrated by a foot or more. That parcel could be used in the future for a community garden with raised beds or another use that doesn't required digging into the ground. The third parcel abuts a small pond and wooded area and it is not contaminated. A conceptual plan was prepared for the third parcel that includes pickleball courts and a small a basketball court. In the future the plan would hopefully be expanded to include tennis courts, a splash pad, and other desired uses. This parcel could also include shade trees, and possibly bathrooms in the future, depending on need and available funding. It was mentioned that the site already has convenient access to town water and electricity. Warrant articles could potentially be used to fund incremental improvements to the park year by year.

d. Letter from Zookeeper

Mr. Dhima to ask if the zookeeper could attend the next meeting to provide overview of the ongoing work. Discussion on the assessment being performed of wildlife in the area. Mr. Dickinson mentioned projects being undertaken in surrounding communities such as parks and other recreational facilities.

VI. Approval of Minutes

- a.** Motion made by Mr. Dickinson, seconded by Mr. Walter, to accept the minutes from the 2/10/2025 meeting and the 2/12/2025 meeting. The motion carried 4-0-0.

VII. Chairman Comments

- a. Discussion on the upcoming warrant article for the proposed Robinson Pond improvements.

VIII. Motion to Adjourn

- a. Mr. Cameron made a motion, seconded by Mr. Dickinson, to adjourn the regular meeting at 9:36pm. The motion carried 4-0-0.

Next Regular Meeting: Monday, April 14, 2025 at 7:00 p.m.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Chris Cameron", written in a cursive style.

Christopher Cameron, Clerk