



TOWN OF HUDSON

Planning Board

Glenn Della-Monica, Chairman

David Morin, Selectmen Liaison



12 School Street · Hudson, New Hampshire 03051 · Tel: 603-886-6008 · Fax: 603-594-1142

PUBLIC MEETING TOWN OF HUDSON, NH SEPTEMBER 12, 2018

The Town of Hudson Planning Board will hold a regularly scheduled meeting on Wednesday, September 12, 2018 at 7:00 p.m. in the “Buxton Community Development Conference Room” at Town Hall. The following items will be on the agenda:

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES

V. MINUTES OF PREVIOUS MEETING(S)

- 8 August 18 Meeting Minutes – Decisions
- 22 August 18 Meeting Minutes – Decisions

VI. CASES REQUESTED FOR DEFERRAL

VII. CORRESPONDENCE

A. Street Acceptance “Rolling Woods Subdivision”.

1. Rolling Woods Drive
2. York Road Extension

Reference Memo dated 24 August 18 from Elvis Dhima, Town Engineer, to Jay Minkarah, Interim Town Planner.

B. Release of Surety Bond for Bradley Tree Service Site Plan.

Reference Memo dated 08-24-18 from Tim Bradley, Bradley Commercial Properties, to Jay Minkarah, Town Planner.

- VIII. PERFORMANCE SURETIES
- IX. ZBA INPUT ONLY
- X. OLD BUSINESS/PUBLIC HEARINGS
- XI. DESIGN REVIEW PHASE
- XII. CONCEPTUAL REVIEW ONLY
- XIII. NEW BUSINESS/PUBLIC HEARINGS

A. Laurel Landing Subdivision (Extension)
SB# 10-18

50 Speare Road
Map 186/Lot 013

Purpose of Plan: to request a one-year extension to the Planning Board approved Subdivision Plan on 08/16/17, which expired on 08/16/18. Application Acceptance & Hearing.

B. Wason Road 2-Lot Subdivision
SB# 09-18

Wason Road
Map 206/Lot 001

Purpose of Plan: To subdivide Map 206/Lot 001 into two parcels. Application Acceptance & Hearing.

C. Wason Road Site Plan
SP# 13-18

Wason Road
Map 206/Lot 001

Purpose of Plan: to establish a residential design of 3 duplex buildings on a private road, septic, and well, with underground utilities. Application Acceptance & Hearing.

D. Highland Street Site Plan
SP# 12-18

3 Highland Street
Map 174/Lot 168

Purpose of Plan: to remove an existing two-family dwelling & construct a 3-unit (3-story) multi-family condex building with drive under garages. Application Acceptance & Hearing.

E. Rebel Square Garage Site Plan
SP# 15-18

1 Rebel Road
Map 101/Lot 030

Purpose of Plan: to propose a 5-stall garage in the existing parking area. Application Acceptance & Hearing.

XIV. OTHER BUSINESS

A. Zoning Amendment Workshop: Sign Ordinance.

XV. ADJOURNMENT

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting. The public is invited to attend.



Jay Minkarah
Interim Town Planner

POSTED: Town Hall, Library & Post Office – 08-31-18

MINUTES/DECISIONS OF THE PLANNING BOARD
MEETING DATE: AUGUST 8, 2018

In attendance = X; Alternates Seated = S; Partial Attendance = P; Excused Absence = E

Glenn Della-Monica Chairman <u> X </u>	Timothy Malley Vice-Chair <u> E </u>	William Collins Secretary <u> X </u>	Charles Brackett Member <u> A </u>
Jordan Ulery Member <u> E </u>	Dillon Dumont Member <u> X </u>	Ed Van der Veen Alternate <u> X </u>	Elliott Veloso Alternate <u> X </u>
David Morin Select. Rep. <u> X </u>	Roger Coutu Alt. Select. Rep. <u> E </u>		

Meeting called to order at approximately 7:00 p.m.

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL

IV. SEATING OF ALTERNATES

Mr. Van der Veen seated for Mr. Malley.
Mr. Veloso seated for Mr. Ulery.

V. ELECTION OF OFFICERS

VI. MINUTES OF PREVIOUS MEETING(S)

- 25 JULY 18 Meeting Minutes – Decisions.

Mr. Dumont moved to approve the 25 JULY 18 Meeting Minutes (as written/amended).

Motion seconded by Mr. Van der Veen. Motion carried 5/0/1 (Veloso)

VII. CASES REQUESTED FOR DEFERRAL

- VIII. CORRESPONDENCE
- IX. PERFORMANCE SURETIES
- X. ZBA INPUT ONLY
- XI. PUBLIC HEARINGS
- XII. OLD BUSINESS/PUBLIC HEARINGS
- XIII. DESIGN REVIEW PHASE
- XIV. CONCEPTUAL REVIEW ONLY

- XV. NEW BUSINESS/PUBLIC HEARINGS

- A. Pelham Yards Amended Site Plan 122 Lowell Road
SP# 10-18 Map 204/Lot 009

Purpose of Plan: to amend the previously approved site plan to allow all permitted uses in the business zone other than retail and restaurant. Application Acceptance & Hearing.

Mr. Veloso moved to accept the Site Plan application for Pelham Yards, 122 Lowell Road, Hudson, NH, Map 204/Lot 009.

Motion seconded by Mr. Van der Veen. All in favor – motion carried.

Mr. Veloso moved to approve the Site Plan entitled: Amended Non-Residential Site Plan, Pelham Yards, Map 204, Lot 009, 122 Lowell Road, prepared for Nottingham Square Corp., by Keach-Nordstrom Associates, Inc., dated June 15, 2018 and consisting of one Sheet with Notes 1 – 20, subject to the following conditions:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Site Plan-of-Record.
2. The purpose of this plan is to amend the previously approved Site Plan to allow additional uses as allowed by right in Table §334-21 (Table of Permitted Uses), with prohibited exceptions as noted in note 17.
3. No retail sales, save incidental retail sales, will be allowed on the site for any of the businesses occupying the individual units.

Motion seconded by Mr. Van der Veen. All in favor – motion carried.

- B. Reeds Ferry Small Buildings Site Plan 3, 5, & 7 Tracy Lane
SP# 09-18 Map 101/Lots 017, 015, & 014

Purpose of Plan: to redevelop and connect the three properties with internal roads to the rear of each site. These properties are bisected by the Hudson/Londonderry Town line, and the portion subject to development in Hudson includes construction of 11,000 square-feet of new outdoor display areas for sheds; Construction of 4 new employee parking spaces; Restriping of the existing parking lot; Construction of a 24,000 square-

foot paved parking area; and construction of a new stormwater management area; all located on Lot 14. In addition, Lot 15 will include a new slide gate and security fence. Application Acceptance & Hearing.

Mr. Dumont moved to accept the Site Plan application for Reeds Ferry Small Building at 3, 5, & 7 Tracy Lane – Map 101/Lots 017, 015, & 014.

Motion seconded by Mr. Veloso. All in favor – motion carried.

WAIVER MOTIONS:

- 1) HR 275-8. (7)(a) & [(b)] – Interior parking landscaping

Mr. Van der Veen moved to grant the requested waiver of HR 275-8. (7)(a) & [(b)] – Interior parking landscaping, based on the testimony of the Applicant's representative, and in accordance with the language included in the submitted waiver request.

Motion seconded by Mr. Veloso. All in favor – motion carried.

- 2) HR 276-11.1.B (12) – [Display area in front setback] and HR 276-11.1.B. (12) – [Display area within 35 foot green frontage area]
- 3) Mr. Dumont moved to grant the requested waiver of HR 276-11.1.B (12) – [Display area in front setback] and HR 276-11.1.B. (12) – [Display area within 35 foot green frontage area], based on the testimony of the Applicant's representative, and in accordance with the language included in the submitted waiver request.

Motion seconded by Mr. Veloso. All in favor – motion carried.

Mr. Veloso moved to approve the Site Plan entitled: Reeds Ferry Small Buildings, 3, 5, 7 Tracy Lane, Hudson, NH, prepared by TFMoran, Inc., 48 Constitution Drive, Bedford, NH, dated June 22, 2018 (last revised July 25, 2018), consisting of Sheets 1 – 17 and Notes 1 – 11 on Sheet 2 and Notes 1 – 34 on Sheet 6 subject to the following conditions:

1. Town of Londonderry Planning Board approval of the Site Plan entitled: Reeds Ferry Small Buildings, 3, 5, 7 Tracy Lane, Hudson, New Hampshire, prepared by TFM, 48 Constitution Drive, Bedford, NH, dated June 22, 2018, (last revised July 25, 2018), consisting of Sheets 1 - 17 and Notes 1 – 11 on Sheet 2 and Notes 1 – 34 on Sheet 6.
2. All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record.

3. All improvements shown on the Site Plan-of-Record, including Notes 1-11 on Sheet 2 and Notes 1–34 on Sheet 6, shall be completed in their entirety and at the expense of the Applicant or his assigns.
4. Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Land Use Department, confirming that the site conforms to the Planning Board approved site plan.
5. The onsite drainage system shall be constructed and maintained in compliance with NHDES requirements for such systems.
6. The Site Plan shall be amended to include a catch basin or shallow concrete chamber with mechanical separator and the addition of a Note 14 on Sheet 9 to affirmatively state that the Applicant will comply new MS4 rules and regulations per memo from Town Engineer Elvis Dhima dated June 28, 2018.
7. Prior to Planning Board endorsement of the plan, it shall be subject to final review by the Town Engineer and CLD.
8. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M. No exterior construction activities shall be allowed on Sundays. Note 19 on Sheet 6 shall be revised to match this stipulation.
9. Hours of refuse removal shall be exclusive to the hours between 7:00 A.M. and 7:00 P.M. Monday through Saturday only. A new Note shall be added to Sheet 6 to match this stipulation.

Motion seconded by Mr. Dumont. All in favor – motion carried.

C. Fairview Nursing Home (Extension)	203 Lowell Road
SP# 11-18	Map 216/Lot 002

Purpose of Plan: to request a one-year extension to the Planning Board approved Site Plan on 07/19/17, which expired on 07/19/18. Application Acceptance & Hearing.

Mr. Dumont moved to grant a two-year extension (from July 19, 2018 to July 19, 2019) for the Amended Non-Residential Site Plan, Fairview Nursing Home dated May 18, 2016, located at 205 & 203 Lowell Road, Hudson, NH, Map 216/Lot 002.

Motion seconded by Mr. Veloso. All in favor – motion carried.

XVI. OTHER BUSINESS

A. Interim Town Planner Input – Jay Minkarah – Overlay Zone for affordable housing.

Discussion of interest in new Zoning Regulation to allow work force housing in an Industrial Zone.

Planning Board members want a presentation with more details.

XVII. ADJOURNMENT

Motion to adjourn by Mr. Dumont. Seconded by Mr. Veloso. All in favor – motion carried.

Meeting adjourned at 8:14 p.m.

William Collins
Secretary

**MINUTES/DECISIONS OF THE PLANNING BOARD
MEETING DATE: AUGUST 22, 2018**

In attendance = X; Alternates Seated = S; Partial Attendance = P; Excused Absence = E

Glenn Della-Monica Chairman <u> X </u>	Timothy Malley Vice-Chair <u> E </u>	William Collins Secretary <u> E </u>	Charles Brackett Member <u> E </u>
Jordan Ulery Member <u> X </u>	Dillon Dumont Member <u> X </u>	Ed Van der Veen Alternate <u> X </u>	Elliott Veloso Alternate <u> E </u> (Seated at 7:57 p.m.)
David Morin Select. Rep. <u> E </u>	Roger Coutu Alt. Select. Rep. <u> E </u>		

Meeting called to order at approximately 7:03 p.m.

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES
- V. ELECTION OF OFFICERS
- VI. MINUTES OF PREVIOUS MEETING(S)
- VII. CASES REQUESTED FOR DEFERRAL
- VIII. CORRESPONDENCE

A. Partial Release of Surety Bond for Bradley Tree Service Site Plan.

Reference Memo dated 08-07-18 from Timothy Bradley, Bradley Tree Service, to Jay Minkarah, Interim Town Planner, requesting the release of \$21,891.00 for paving completion.

Mr. Veloso moved to partially release the established surety in the amount of \$21,891.00 for Bradley Commercial Properties, LLC for improvements completed at 30 Constitution Drive, Hudson, NH.

Motion seconded by Mr. Ulery. All in favor – motion carried 5/0/0.

- IX. PERFORMANCE SURETIES
- X. ZBA INPUT ONLY
- XI. PUBLIC HEARINGS
- XII. OLD BUSINESS/PUBLIC HEARINGS
- XIII. DESIGN REVIEW PHASE

- XIV. CONCEPTUAL REVIEW ONLY

- A. BAE Systems – Proposed Equipment Yard 65 River Road
CSP# 06-18 Map 251/Lot 001

Purpose of Plan: to construct an exterior concrete equipment pad with appurtenant site improvements. No new building or parking is proposed. Application & Hearing.

Mr. Van der Veen moved to grant the requested waiver from HR 275-4 to allow Administrative Approval of the plan entitled: Master Site Plan (Lot 1, Hudson Tax Map 251) – Proposed Equipment Yard – 65 River Road, Hudson, NH, prepared for BAE Systems Information and Electronics Systems Integration, Inc., by HIS, Three Congress St., Nashua, NH, dated 29 June 2018, and consisting of Sheets 1 – 5 and Notes 1 – 9 on Sheet 1.

Motion seconded by Mr. Ulery. All in favor – motion carried 4/0/0.

XV. NEW BUSINESS/PUBLIC HEARINGS

- A. Abucewicz Subdivision Plan 63 Kimball Hill Road
SB# 07-18 Map 178/Lot 030

Purpose of Plan: to depict the subdivision of existing Map 178, Lot 030, into four separate lots. Application Acceptance & Hearing.

Mr. Ulery moved to accept the 4-lot subdivision application for 63 Kimball Hill Road, Map 178/Lot 030.

Motion seconded by Mr. Dumont. All in favor – motion carried 4/0/0.

WAIVER MOTIONS:

- 1) HR 193 – 10.g – Only one Driveway per parcel

Mr. Dumont moved to grant the requested waiver of HR 193 – 10.G – Only one Driveway per parcel, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said Waiver.

Motion seconded by Mr. Van der Veen. All in favor – motion carried 4/0/0.

2) HR 193 – 10.I – Shared Driveways Not Allowed

Mr. Van der Veen moved to grant the requested waiver of HR 193-10.I – Shared Driveways Not Allowed, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion seconded by Mr. Ulery. All in favor – motion carried 4/0/0.

3) HR 193 – 10.H – Driveways are not permitted in side or rear setbacks

Mr. Van der Veen moved to grant the requested waiver HR 193 – 10.H – Driveways are not permitted in side or rear setbacks, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion seconded by Mr. Ulery. All in favor – motion carried 4/0/0.

4) Checklist Item “c” – Plan Scale

Mr. Dumont moved to grant the requested waiver of Checklist Item “c” Plan Scale, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion seconded by Mr. Ulery. All in favor – motion carried 4/0/0.

5) Checklist Item “o” – Septic/well locations within 200’

Mr. Dumont moved to grant the requested waiver of Checklist Item “c” Septic/Well locations within 200’, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion seconded by Mr. Van der Veen. All in favor – motion carried 4/0/0.

MOTION TO APPROVE:

Mr. Van der Veen moved to approve the subdivision plan entitled: Abucewicz Subdivision Plan, Map 178, Lot 030, 63 Kimball Hill Road, Hudson, NH, prepared for Abucewicz Family Revocable Trust, by Edward N. Herbert Associates, Inc., dated: February 19, 2018. November 15, 2017, consisting of Sheets 1-10 and Notes 1-7:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Plan.

2. A cost allocation procedure (CAP) amount of \$5,759.00 per residential lot shall be paid prior to the issuance of a Certificate of Occupancy for the new house lot.
3. All monumentation shall be set or bonded for prior to the Planning Board endorsing the Plan-of-Record.
4. The proposed shared driveway shall be labeled as a “private way” and assigned a street name to be approved by the Hudson Fire Department.
5. Proposed Map/Lot numbers to be renumbered per Assistant Assessor’s memorandum of July 31, 2018.
6. State driveway permit to be provided prior to construction.
7. Applicant to submit a profile of proposed shared driveway to Town Engineer for approval prior to construction with grade not to exceed 10%.
8. Note to be added to the plan confirming compliance with MS4 requirements.
9. The existing septic system on proposed lot 178-34 shall be shown on the plan.
10. Approval of this plan shall be subject to final engineering review.
11. Construction activities involving the proposed undeveloped lots shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.

Motion seconded by Mr. Ulery. All in favor – motion carried 4/0/0.

B. Stable Road Lot Line Relocation
SB# 08-18

4 & 6 Stable Road
Map 236/Lot 018 & Map 230/Lot 002

Purpose of Plan: to relocate the existing lot line between Map 236/Lot 018 & Map 230/Lot 002 respectively, to relieve each lot from a driveway encroachment issue. Application Acceptance & Hearing.

Mr. Ulery moved to accept the Lot Line Relocation Plan for 4 and 6 Stable Road – Map 236/Lot 18, and Map 230/Lot 2.

Motion seconded by Mr. Dumont. All in favor – motion carried 5/0/0.

WAIVER MOTIONS:

1) HR 193 – 10.H – Driveway Setback

Mr. Dumont moved to grant the requested waiver of HR 193 – 10.H – Driveway Setback – “Driveways are not permitted in side or rear setback areas...” based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion seconded by Mr. Veloso. All in favor – motion carried 5/0/0.

MOTION TO APPROVE:

Mr. Veloso moved to approve the Lot Line Relocation Plan, #4 & #6 Stable Road, Hudson, NH 03051, Prepared for Steven & Donna Mithen and Helmut F. and Karen E. Boml, by Dane Land Surveying, dated 7/30/2018 subject to the following stipulations:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Lot Line Relocation Plan.
2. All monumentation shall be set or bonded for prior to the Planning Board endorsing the Lot Line Relocation Plan-of-Record.

Motion seconded by Mr. Ulery. All in favor – motion carried 5/0/0.

C. Peter DeSalvo Contracting, LLC Amended Site Plan 15 Central Street
SP# 14-18 Map 182/Lot 050

Purpose of Plan: to amend the previously approved site plan to reflect a portion of the parking area located within the side-yard setback, and request a waiver to allow the parking spaces to remain. Application Acceptance & Hearing.

Mr. Ulery moved to accept the Amended Site Plan application for 15 Central St., Hudson, NH, Map 182/Lot 50.

Motion seconded by Mr. Veloso. All in favor – motion carried 5/0/0.

WAIVER MOTIONS:

- 1) HR 276.11.1b (25) – No parking area within side yard setback.

Mr. Dumont moved to grant the requested waiver – HR 276.11.1B (25) - No parking area within side yard setback, based on the testimony of the Applicant’s representative here this evening, and in accordance with the language included in the submitted Waiver Request Form.

Motion seconded by Mr. Veloso. All in favor – motion carried 5/0/0.

MOTION TO APPROVE:

Mr. Van der Veen moved to approve the Site Plan entitled: Amended Non-Residential Site Plan, Peter DeSalvo Contracting, LLC, Map 182, Lot 050, 15 Central Street, Hudson, NH, prepared by Keach-Nordstrom Associates, Inc. dated: July 26, 2018, consisting of one sheet, subject to the following conditions:

1. Amended Site Plan-of-Record shall be recorded at the HCRD.

Motion seconded by Mr. Veloso. All in favor – motion carried 5/0/0.

XVI. OTHER BUSINESS
XVII. ADJOURNMENT

Motion to adjourn by Mr. Ulery. Seconded by Mr. Veloso. All in favor – motion carried 5/0/0.

Meeting adjourned at 8:16 p.m.

Dillon Dumont
Member

Rolling Woods Drive Street Acceptance

STAFF REPORT

September 6, 2018

SITE: Rolling Woods OSD Subdivision - Map 144/Lot 021

ATTACHMENTS:

- 1) Memo from Elvis Dhima, Town Engineer, to Jay Minkarah, Interim Planner with recommendation for acceptance – Attachment “A”
- 2) Memo from Elvis Dhima, Town Engineer, to Kevin Burns, Road Agent with recommendation for acceptance – Attachment “B”
- 3) Memo from Elvis Dhima, Town Engineer, to Jason Lavoie, Police Chief, with recommendation for acceptance – Attachment “C”
- 4) Memo from Elvis Dhima, Town Engineer, to Rob Buxton, Fire Chief, with recommendation for acceptance – Attachment “D”

RECOMMENDATION: Staff recommends acceptance of Rolling Woods Drive per recommendation of the Town Engineer in concurrence with the Road Agent, Fire Chief and Police Chief. A DRAFT MOTION is provided below:

MOTION TO RECOMMEND ACCEPTANCE:

I move to recommend acceptance of Rolling Woods Drive per recommendation of the Town Engineer.

Motion by: _____ Second: _____ Carried/Failed: _____

"A"



TOWN OF HUDSON

Engineering Department



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

INTEROFFICE MEMORANDUM

TO: Kevin Burns, Road Agent
 Rob Buxton, Fire Chief
 Jason Lavoie, Police Chief
 Jay Minkarah, Interim Town Planner ✓

FROM: Elvis Dhima, P.E., Town Engineer

DATE: July 27, 2018

RE: Street Acceptance – York Road (Extension)

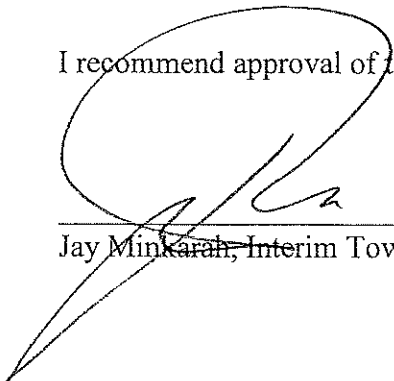
Attached please find the Application for Street Acceptance for the York Road extension on behalf of Stinson Hills, LLC. I am also attaching a copy of the Warranty Deed and Road As-Built Plan for your review.

Please review this application and indicate your approval by initialing this memo below and returning it to the Engineering Department.

I have reviewed this application on behalf of the Engineering Department, and I support the acceptance of this road.

Thank you.

I recommend approval of this street acceptance:



Jay Minkarah, Interim Town Planner

"B"



TOWN OF HUDSON

Engineering Department



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

INTEROFFICE MEMORANDUM

TO: Kevin Burns, Road Agent ✓
 Rob Buxton, Fire Chief
 Jason Lavoie, Police Chief
 Jay Minkarah, Interim Town Planner

FROM: Elvis Dhima, P.E., Town Engineer

DATE: July 27, 2018

RE: Street Acceptance – York Road (Extension)

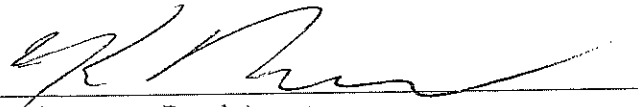
Attached please find the Road As-Built Plan for the street acceptance for the York Road extension on behalf of Stinson Hills, LLC for your review.

Please review this plan and indicate your approval by initialing this memo below and returning it to the Engineering Department.

I have reviewed this application on behalf of the Engineering Department, and I support the acceptance of this road.

Thank you.

I recommend approval of this street acceptance:



Kevin Burns, Road Agent

"C"



TOWN OF HUDSON

Engineering Department



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

INTEROFFICE MEMORANDUM

TO: Kevin Burns, Road Agent
 Rob Buxton, Fire Chief
 Jason Lavoie, Police Chief ✓
 Jay Minkarah, Interim Town Planner

FROM: Elvis Dhima, P.E., Town Engineer

DATE: July 27, 2018

RE: Street Acceptance – Rolling Woods Drive

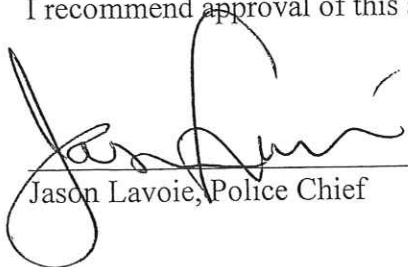
Attached please find the Road As-Built Plan for the street acceptance of Rolling Woods Drive on behalf of Stinson Hills, LLC for your review.

Please review this plan and indicate your approval by initialing this memo below and returning it to the Engineering Department.

I have reviewed this application on behalf of the Engineering Department, and I support the acceptance of this road.

Thank you.

I recommend approval of this street acceptance:



 Jason Lavoie, Police Chief

"D"



TOWN OF HUDSON

Engineering Department



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

INTEROFFICE MEMORANDUM

TO: Kevin Burns, Road Agent
 Rob Buxton, Fire Chief ✓
 Jason Lavoie, Police Chief
 Jay Minkarah, Interim Town Planner

FROM: Elvis Dhima, P.E., Town Engineer

DATE: July 27, 2018

RE: Street Acceptance – York Road (Extension)

Attached please find the Road As-Built Plan for the street acceptance for the York Road extension on behalf of Stinson Hills, LLC for your review.

Please review this plan and indicate your approval by initialing this memo below and returning it to the Engineering Department.

I have reviewed this application on behalf of the Engineering Department, and I support the acceptance of this road.

Thank you.

I recommend approval of this street acceptance:

Rob Buxton, Fire Chief

Bradley Tree Surety Release

Staff Report
September 6, 2018

SITE: Bradley Tree, 30 Constitution Drive, Map 170/Lot 035

PURPOSE OF PETITION: To release remaining surety of \$20,109 for completion of site improvements at 30 Constitution Drive.

ATTACHMENTS:

- 1) Memo from Tim Bradley dated August 24, 2018 – Attachment “A”.
- 2) Letter of Credit from St. Mary’s Bank in the amount of \$42,000 Attachment “B”
- 3) Invoices for work completed – Attachment “C”.
- 4) Planning Board Notice of Decision dated August 23, 2018 – Attachment “D”.

RECOMMENDATION: Per field verification of work completed, staff recommends release of remaining for site work at 30 Constitution Drive.

DRAFT MOTION:

I move to release the remaining site improvements surety for Bradley Tree, 30 Constitution Drive, Map 170/Lot 035 in the amount of \$20,109.

Motion by: _____ Second: _____ Carried/Failed: _____.

"A"

8-24-2018

To: Town of Hudson Planning Board / Jay Minkarah

From: Tim Bradley / Bradley Commercial Properties

This letter and attachments is to inform you that all work has been completed at Bradley Tree and Landscape building and site at 30 Constitution Dr. Hudson NH.

The final paving, granite curbing & sidewalk paving were completed by Tate Bros. Paving.

Work completed includes : parking areas delineated including handicap parking sign – installation of outside business sign – topsoil, seeding & mulching of embankments – landscaping/plant installation at building .

This completes the improvements for the property.

Thank you,

Tim Bradley

"B"

Letter of Credit No.20180306
Irrevocable Standby Letter of Credit
Expiration Date of September 6, 2018

March 6, 2018

Planning Board
Town of Hudson
12 School Street
Hudson, NH 03051

Account Party: Bradley Commercial Properties, LLC.
Beneficiary: Town of Hudson NH
Amount: \$42,000.00
RE: Site Plan in Hudson NH for Bradley Commercial Properties, LLC.

Dear Planning Board:

By this document, St. Mary's Bank hereby issues an irrevocable Letter of Credit in the amount of \$42,000.00 to the Town of Hudson on behalf of Bradley Commercial properties, LLC. This irrevocable Letter of Credit is issued to guarantee completion of all improvements required by the Hudson Planning Board and the Town of Hudson *Subdivision and/or Site Plan Review Regulations in conjunction with a plan entitled Site Plan in Hudson NH for Bradley Commercial Properties, LLC prepared by Holden Engineering and approved by the Hudson Planning Board on May 16, 2017.*

It is understood that the improvements guaranteed by this irrevocable letter of credit include, but are not limited to the following: Final paving, parking area painting, landscaping, granite curbing, sidewalk paving and seeding of embankments.

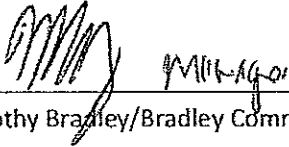
It is agreed and understood by the issue of this Letter of Credit that it shall be issued for a period of 6 months. If all improvements guaranteed by this Letter of Credit are not completed by September 6, 2018 (6 months) and if a certificate indicating completion of all improvements have not been issued by the Town Engineer or such other individuals as the Town of Hudson designates, then this Letter of Credit shall be automatically considered to have been called and without further action of the Town of Hudson or its Planning Board, St. Mary's Bank shall forward a check in the amount of \$42,000.00 to the Treasurer of the Town of Hudson. The funds so forwarded to the Town Treasurer shall be used exclusively for the purpose of completing the improvements which are guaranteed by this Letter of Credit. Any funds not needed by the Town to complete improvements required by the site plan indicated above shall be returned to St. Mary's Bank.

Sincerely,



Steven Scheiner
VP, Commercial Lending
St. Mary's Bank

I have read this Letter of Credit and agree to its terms.



3/6/18

Timothy Bradley/Bradley Commercial Properties, LLC DATE

WC 11

Bill to

Bradley Tree
21 Pinecrest Rd
Litchfield, NH 03052

Terms

Due on receipt

Brown Mulch

\$680.00

Dark Brown Mulch

20 X \$34.00

Delivery:Hudson

\$25.00

Delivery Fee

1 X \$25.00

Balance due \$705.00

Print or save

Nashua Sand & Gravel LLC

P.O. Box 331 Hudson, NH 03051 US

(603) .45-9.86 sales@nashuasandandgravel.com nashuasandandgravel.com

If you receive an email that seems fraudulent, please check with the business owner before paying, or you can forward the email to spoof@intuit.com so we can look into it. Your security is important to us. Read more at security.intuit.com.

Bill to

Bradley Tree
21 Pinecrest Rd
Litchfield, NH 03052

Terms

Due on receipt

Brown Mulch

\$340.00

Dark Brown Mulch

10 X \$34.00

Delivery:Hudson

\$25.00

Delivery Fee

1 X \$25.00

Balance due \$365.00

Print or save

Nashua Sand & Gravel LLC

P.O. Box 331 Hudson, NH 03051 US

603.459.8662 sales@nashuasandandgravel.com nashuasandandgravel.com

If you receive an email that seems fraudulent, please check with the business owner before paying, or you can forward the email to spoof@intuit.com so we can look into it. Your security is important to us. Read more at security.intuit.com.

Marshall Signs, Inc.
 51 Lowell Street
 Nashua, NH 03064

Invoice

Date	Invoice #
11/8/2017	17-16143

Phone #603-882-1958 Fax#

Bill To
Bradley Tree & Landscape LLC 21 Pinecrest Road Litchfield, NH 03052

Ship To

P.O. No.	Due Date	Terms	Project
	12/8/2017	Net 30	

Quantity	Description	Unit Price	Amount
1	1 2'x3' MDO sign <i>PAID 11-14-17 CK # 3425 \$ 245.00</i>	245.00	245.00
		Total	\$245.00
		Payments/Credits	\$0.00
		Balance Due	\$245.00



Tim Bradley <bradleytreenh@gmail.com>

Invoice 5752 from Nashua Sand & Gravel LLC

1 message

Nashua Sand & Gravel LLC <quickbooks@notification.intuit.com>
Reply-To: sales@nashuasandandgravel.com
To: bradleytreenh@gmail.com

Fri, Jun 29, 2018 at 6:17 PM

Nashua Sand & Gravel LLC

Dear Bradley Tree,

Here's your invoice! We appreciate your prompt payment.

Thanks for your business!
Nashua Sand & Gravel LLC

INVOICE 5752 DETAILS

DUE 06/29/2018

\$705.00

Print or save

Powered by QuickBooks



Tim Bradley <bradleytreenh@gmail.com>

Invoice 5784 from Nashua Sand & Gravel LLC

1 message

Nashua Sand & Gravel LLC <quickbooks@notification.intuit.com>

Sat, Jul 7, 2018 at 7:47 PM

Reply-To: sales@nashuasandandgravel.com

To: bradleytreenh@gmail.com

Nashua Sand & Gravel LLC

Dear Bradley Tree,

Here's your invoice! We appreciate your prompt payment.

Thanks for your business!

Nashua Sand & Gravel LLC

INVOICE 5784 DETAILS

DUE 07/07/2018

\$365.00

Print or save

Powered by QuickBooks

pd 6-26-18
 CK # 1095
 \$ 2705.⁰⁰

840949

Statement		DATE	June 21/18	TERMS
TO	Bradly Free Service Commercial Properties			
IN ACCOUNT WITH	Cherica Construction 40 Marsh Rd Hudson NH 03051			
June 1/18	Move Big Ex			200 ⁰⁰
	Move Small Ex			100 ⁰⁰
	Big Excavator 3hr	150 ⁰⁰		450 ⁰⁰
	Small Excavator 2hr	100 ⁰⁰		250 ⁰⁰
	Trucking 4 yard Screen load			100 80 ⁰⁰
June 2/18	Big Excavator 4 1/2 hr			675 ⁰⁰
	Small Excavator 4 1/2 hr			450 ⁰⁰
	Trucking 25 yards load			500 ⁰⁰
THANK'S TIM				
CURRENT	OVER 30 DAYS	OVER 60 DAYS	TOTAL AMOUNT	2705 ⁰⁰

G-FORCE Parking Lot Striping
 3 Executive Park Dr, Suite 281
 Bedford, NH 03110 US
 info@gogforce.com
 www.gogforce.com



ADDRESS:

Kate Bradley
 Bradley Tree & Landscape
 30 Constitution Drive
 Hudson, NH 03051

ESTIMATE 1789

DATE 07/15/20

EXPIRATION DATE 08/31/20

DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE
New Layout using Customer-provided plans (or G-FORCE suggestions). Includes up to 15 stalls with one Handicapped Parking space with blue background and white symbol with Van. Accessible markings per ADA requirements. Project subject to minimum pricing	1	650.00	650.00

TOTAL \$650.00

Accepted By

Accepted Date

Payment due upon completion.

"D"



TOWN OF HUDSON

LAND USE DEPARTMENT

Planning

Zoning

Engineering



12 SCHOOL STREET, HUDSON, NEW HAMPSHIRE 03051

Business 603-886-6008
Fax 603-594-1142

George Theborge AICP
Director

August 23, 2018

Timothy Bradley
Bradley Commercial Properties LLC
21 Pinecrest Road
Litchfield, NH 03052

Re: Letter of Credit for Improvements at 30 Constitution Drove, Hudson, NH

Dear Mr. Bradley:

Please be advised that at its meeting of August 22, 2018, the Hudson Planning Board voted to release \$21,891 of the established surety to reflect paving work completed at the above referenced site as requested in your letter of August 7, 2018. A copy of the notice of decision is attached. Please let me know if you have any questions or concerns.

Sincerely,

Jay Minkarah
Interim Town Planner

cc: Steven Scheiner
VP, Commercial Loan Officer
St. Mary's Bank

Laurel Landing OSD Subdivision Extension request

Staff Report

August 23, 2018

SITE: Laurel Landing -- 50 Speare Rd. -- Map 186/Lot 013 -- SB #10-18

ZONING: G - General

PURPOSE OF PETITION: to approve a one-year extension for the approved Laurel Landing Open Space Development Subdivision Plan pursuant to RSA 674:39. Application Acceptance & Hearing.

PLANS UNDER REVIEW ENTITLED: Open Space Development "Laurel Landing" Approved as "Brookview" Tax Map 186 Lot 13, Speare Road, Hudson, New Hampshire, prepared by Jones & Beach Engineers, Inc. 85 Portsmouth Ave., PO Box 219, Stratham, NH, last revised 6/13/2017, consisting of Sheets 1 – 23 and Conditions of Approval 1 – 14 on Sheet CS, with existing Note 4 amended (said plans are attached hereto).

ATTACHMENTS:

1. NOTICE OF APPROVAL for "Brookview Subdivision", dated August 18, 2017 – "A"

STAFF COMMENTS:

Laurel Landing was originally **approved** as "Brookview" in 2016. On 8/16/17, the Planning Board approved an amended subdivision plan, (SB# 04-16) renaming "Brookview" to "Laurel Landing", relocating and enlarging the fire cistern from 15,000 gallons to 30,000 gallons and removing a condition of approval that required all dwelling units have sprinkler systems. Since more than a year has passed without development activity, the amended subdivision approval has expired.

APPLICATION TRACKING:

- July 30, 2018 – Application to extend the previously approved OSD "Brookview" Subdivision submitted.
- September, 12, 2018 – Public Hearing scheduled.

RECOMMENDATION: Staff recommends that the Board review the current project status and accept testimony from the applicant and the public. At the end of that comment period, the Board can deliberate on whether to grant the requested one-year extension request. The Board can also defer making a decision until the next Planning Board meeting if more information is needed.

DRAFT MOTION TO DEFER ACTION ON THE APPLICATION:

I move to defer action on the applicant's request for a one-year extension of the subdivision approval for the Laurel Landing Open Space Development Subdivision Plan, located at 50 Speare Rd. -- Map 186/Lot 013 to a date certain, the October 10 Planning Board meeting.

Motion by: _____ Second: _____ Carried/Failed: _____

DRAFT MOTION TO GRANT THE EXTESION:

I move to grant a one-year extension (i.e., from August 16, 2018 to August 16, 2019) of the subdivision approval for the Laurel Landing Open Space Development Subdivision Plan, located at 50 Speare Rd. - Map 186/Lot 013.

Motion by: _____ Second: _____ Carried/Failed: _____

"A"



**TOWN OF HUDSON
PLANNING BOARD**

NOTICE OF APPROVAL



12 School Street Hudson, New Hampshire 03051 603/886-6005

August 18, 2017

Owner or Applicant: Douglas Sanderson LaMontagne Builders, Inc.
11 Neresian Way 317 South River Road
Hampton, NH 03842 Bedford, NH 03110

On Wednesday, August 16, 2017, the Hudson Planning Board heard subject case SB# 07-17 "Laurel Landing (F.K.A. Brookview Subdivision & Breckenridge Estates)"

SUBJECT: PURPOSE OF PLAN: TO AMEND THE APPROVED SUBDIVISION, SB# 04-16 DATED JULY 15, 2016, BY RELOCATING THE FIRE CISTERN AND ENLARGING THE CISTERN FROM 15,000 GALLONS TO 30,000 GALLONS, AND REMOVING CONDITION OF APPROVAL #4, WHICH STATES THAT ALL DWELLING UNITS HAVE SPRINKLER SYSTEMS. APPLICATION ACCEPTANCE & HEARING.

LOCATION: 50 SPEARE ROAD- MAP 186/LOT 013

You are hereby notified of the subject plat presented before the Planning Board and the following action:

The Planning Board moved to accept the Subdivision application to amend the Laurel Landing (F.K.A. Brookview Subdivision & Breckenridge Estates), 50 Speare Road.

The Planning Board moved to approve the subdivision plan entitled: Open Space Development "Laurel Landing" Approved as "Brookview" Tax Map 186 Lot 13, Speare Road, Hudson, New Hampshire, prepared by Jones & Beach Engineers, Inc. 85 Portsmouth Ave., PO Box 219, Stratham, NH, last revised 6/13/2017, consisting of Sheets 1 – 19 (CS, Y1 -Y2, OV1, A1 – A3, C1 – C4, N1, P1, H1, X1 – X2, F1 – F3, D1 – D3 & E1) and Conditions of Approval 1 – 14 on Sheet CS (with existing Note 4 amended as cited-below), in accordance with the following terms and conditions:

- 1) All stipulations of approval shall be incorporated into the Amended Development Agreement, which, after the favorable review of Town Counsel, shall be recorded at the HCRD, together with the above-cited Amended Plan-of-Record (hereafter referred to as the Plan).
- 2) As inscribed on the Plan, this OSD Subdivision shall now and forever be known as: "Laurel Landing" (i.e., unless otherwise amended by the Hudson Planning Board, per action of same at a regular meeting thereof).
- 3) The fire cistern shall be enlarged from 15,000 gallons to 30,000 gallons, and located in the OSD Subdivision as depicted on the Plan.

4) Note #4 on the Plan shall be amended to read:

"4. The fire cistern shall have a capacity of 30,000 gallons, be installed as shown on this Plan and in accordance with the requirements of the Hudson Fire Dept., to include but not limited to, a cistern easement and agreement for the cistern's perpetual maintenance and bonding being established between the Applicant or his assigns and the Hudson Fire Dept."

5) All previously approved terms and conditions of approval for the Brookview Subdivision, shall remain in full force and effect, via this approval, and said terms and conditions shall be fully provided for in the Development Agreement for this Amended OSD Subdivision, now known as above-cited "Laurel Landing".

All representations of fact or intention made by the applicant or any applicant's representative during testimony before the Planning Board, relative to the obtaining approval of this plan, shall be considered conditions of this approval regardless of the fact that such fact or intentions were not specifically stated as part of the motion to grant. Note: In addition to the above conditions of approval, and in accordance with the granting of the Waiver - HTC 289-18.Y - Street - the applicant has agreed to submit \$10,000 to the Town's sidewalk account # 2050-053. This sum is in lieu of a sidewalk being installed within the row of this subdivision.

Signed: John Cashell Date: 12-20-17
John M. Cashell
Town Planner 

cc: Jones & Beach Engineering, Inc.

CONDITIONS OF APPROVAL

ON 7/13/16 THE PLANNING BOARD MOVED TO APPROVE THE SUBDIVISION PLAN ENTITLED: OPEN SPACE DEVELOPMENT "BROOKVIEW", TAX MAP 186, LOT 13, SPEARE ROAD, HUDSON, NEW HAMPSHIRE, PREPARED BY JONES & BEACH ENGINEERS, INC. 85 PORTSMOUTH AVE., PO BOX 219, STRATHAM, NH, DATED 7 JUL 16 AND REVISED THRU 7 JUL 16, CONSISTING OF SHEETS 1-19 (CS, Y1-Y2, OV1, A1-A3, C1-C4, P1, H1, X1-X2, F1, D1-D3 & E1) AND NOTES 1-29 ON SHEET OV1, IN ACCORDANCE WITH THE FOLLOWING TERMS AND CONDITIONS:

- ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH, AFTER THE FAVORABLE REVIEW OF TOWN COUNSEL, SHALL BE RECORDED AT THE MCRD, TOGETHER WITH THE ABOVE-CITED PLAN-OF-RECORD (HEREAFTER REFERRED TO AS THE PLAN).
- THE PENDING HOMEOWNER'S ASSOCIATION BY-LAWS AND DECLARATION OF COVENANTS & RESTRICTIONS SHALL CITE THE LIMITATIONS AND RESTRICTIONS PERTAINING, BUT NOT LIMITED TO, THE PROPOSED "OPEN SPACE", CUL-DE-SAC LANDSCAPED ISLAND AND DRAINAGE POND/DETENTION BASIN. THE AFOREMENTIONED DOCUMENTS SHALL BE PROVIDED AND FAVORABLY REVIEWED BY TOWN COUNSEL PRIOR TO PLANNING BOARD ENDORSEMENT OF THE PLAN AND DEVELOPMENT AGREEMENT.
- THE WELL RADIUS EASEMENTS FOR LOTS 13 AND 13-1 THRU 13-6, WELL RADIUS HOLD HARMLESS AGREEMENTS FOR LOTS 13-5 & 13-6, AS WELL AS ALL OTHER EASEMENT DEEDS PERTAINING TO THIS PROPOSED OSD SUBDIVISION, MUST BE PROVIDED FOR AND FAVORABLY REVIEWED BY TOWN COUNSEL PRIOR TO PLANNING BOARD ENDORSEMENT OF THE PLAN AND DEVELOPMENT AGREEMENT.
- IN ACCORDANCE WITH DEPUTY FIRE CHIEF, JOHN O'BRIEN'S MEMORANDUM ON FILE, DATED 1 JUL 16, A 10,000 GALLON CISTERN SHALL BE INSTALLED WITHIN THIS SUBDIVISION, AND ALL DWELLING UNITS WILL HAVE SPRINKLER SYSTEMS INSTALLED. A CISTERN EASEMENT AND AGREEMENT FOR THE CISTERN'S PERPETUAL MAINTENANCE AND BONDING SHALL BE ESTABLISHED BETWEEN THE APPLICANT AND THE TOWN (FIRE DEPT.).
- PRIOR TO PLANNING BOARD ENDORSEMENT OF THE PLAN, THE ISSUE OF ALTERING SPEARE RD. FOR THE PURPOSES OF PROVIDING THE REQUIRED SAFE STOPPING DISTANCE IN ACCORDANCE WITH §193-10-E OF THE PLANNING BOARD'S DRIVEWAY REGULATIONS SHALL BE PROVIDED FOR.
- "NO CUT/NO DISTURB" CONSERVATION MARKERS SHALL BE INSTALLED ALONG THE PERIMETER OF THE CONSERVATION DISTRICT BOUNDARIES OF THIS DEVELOPMENT. SAID MARKERS SHALL BE PERMANENTLY AFFIXED TO 8 FT. SECTIONS OF SPLIT-RAIL FENCES, PLACED AT A MAXIMUM DISTANCE OF 200 FT. BETWEEN SECTIONS AND ALONG THE NEAREST PERIMETER OF EACH CONSERVATION DISTRICT AREA AND THE DEVELOPED LOTS. NOTE SHALL BE ADDED TO SHEET OV1, CITING SAID MARKERS.
- ALL MONUMENTATION SHALL BE SET OR BONDED PRIOR TO THE PLANNING BOARD ENDORSING THE PLAN.
- CONSTRUCTION ACTIVITIES INVOLVING THE PROPOSED UNDEVELOPED LOTS SHALL BE LIMITED TO THE HOURS BETWEEN 7:00A.M. AND 7:00P.M., MONDAY THROUGH SATURDAY. NO EXTERIOR CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAY. A NOTE TO THE AFFECT OF THE FOREGOING SHALL BE INSCRIBED ON SHEET OV1.
- A COST ALLOCATION PROCEDURE (CAP) AMOUNT OF \$1,664.00, PER RESIDENTIAL UNIT SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- A PUBLIC SCHOOL IMPACT FEE IN THE AMOUNT OF \$3,578.00, PER RESIDENTIAL UNIT SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- A RECREATION CONTRIBUTION IN THE AMOUNT OF \$400.00, PER RESIDENTIAL UNIT SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- APPROVAL OF THIS PLAN SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW, INCLUDING THE LOCATION OF THE DRIVEWAYS FOR EACH LOT.
- UPON COMPLETION OF THE SUBDIVISION, AND PRIOR TO THE ESTABLISHMENT OF THE TWO-YEAR MAINTENANCE SURETY, THE APPLICANT SHALL SUBMIT AN "AS-BUILT" PLAN OF THE SUBDIVISION IN ITS ENTIRETY, TOGETHER WITH THE ROW DEED DEDICATING THE ROW AS A PUBLIC STREET.
- BLASTING OR RAMMING ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 9:00A.M. AND 5:00 P.M. MONDAY THROUGH FRIDAY. SAID BLASTING ACTIVITIES ARE PROHIBITED ON SATURDAY AND SUNDAY, AND TO SHEET OV1 AS NOTE 29.

ALL REPRESENTATIONS OF FACT OR INTENTION MADE BY THE APPLICANT OR ANY APPLICANT'S REPRESENTATIVE DURING TESTIMONY BEFORE THE PLANNING BOARD, RELATIVE TO THE OBTAINING APPROVAL OF THIS PLAN, SHALL BE CONSIDERED CONDITIONS OF THIS APPROVAL REGARDLESS OF THE FACT THAT SUCH FACT OR INTENTIONS WERE NOT SPECIFICALLY STATED AS PART OF THE MOTION TO GRANT. NOTE: IN ADDITION TO THE ABOVE CONDITIONS OF APPROVAL, AND IN ACCORDANCE WITH THE GRANTING OF THE WAIVER-HTC 289-18.Y-STREET- THE APPLICANT HAS AGREED TO SUBMIT \$10,000 TO THE TOWN'S SIDEWALK ACCOUNT # 2050-053. THIS SUM IS IN LIEU OF A SIDEWALK BEING INSTALLED WITHIN THE ROW OF THIS SUBDIVISION.

APPLICANT
LAMONTAGNE BUILDERS
317 SOUTH RIVER ROAD
BEDFORD, NH 03110

TOTAL LOT AREA
1,447,050 SQ. FT.
33.22 ACRES

APPROVED BY THE HUDSON, NH PLANNING BOARD

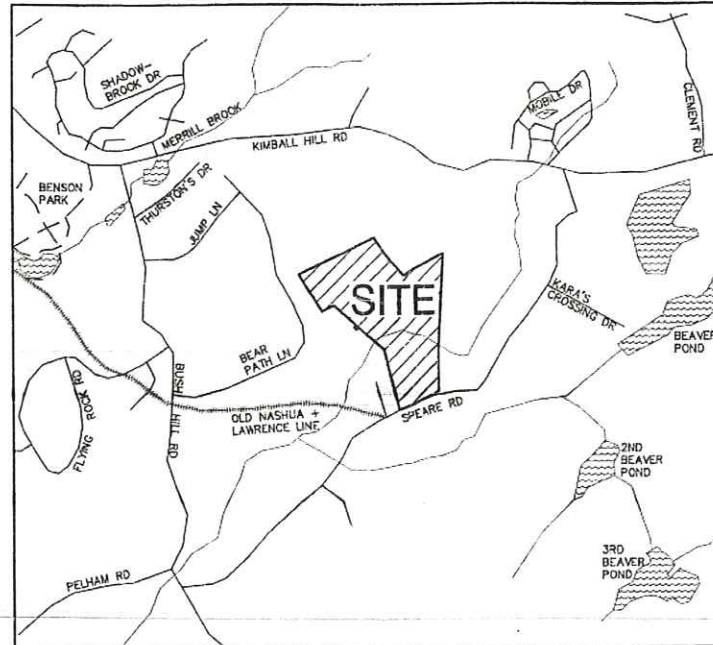
DATE OF MEETING: _____

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

OPEN SPACE DEVELOPMENT "LAUREL LANDING" APPROVED AS "BROOKVIEW" TAX MAP 186, LOT 13 SPEARE ROAD, HUDSON, NH



LOCUS MAP
SCALE 1" = 1000'

CIVIL ENGINEER AND SURVEYOR
JONES & BEACH ENGINEERS, INC.
85 PORTSMOUTH AVENUE
PO BOX 219
STRATHAM, NH 03885
(603) 772-4746
CONTACT: JOSEPH CORONATI
EMAIL: JCORONATI@JONESANDBEACH.COM

WETLAND CONSULTANT
GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DRIVE, UNIT H
EXETER, NH 03833
(603) 778-0644
CONTACT: JIM GOVE, CSS, CWS
JGOVE@GESINC.BIZ

ELECTRIC
PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE
74 OLD DOVER ROAD
ROCHESTER, NH 03867
(603) 332-4227

TELEPHONE
FAIRPOINT COMMUNICATIONS
1575 GREENLAND ROAD
GREENLAND, NH 03840
(603) 427-5525
CONTACT: JOE CONSIDINE

TELEPHONE
FAIRPOINT COMMUNICATIONS
100 TRI CITY ROAD
SOMERWORTH, NH 03878
ATTN: DAVE KESTNER
(603) 743-1114

CABLE TV
COMCAST COMMUNICATION CORPORATION
334-B CALEF HIGHWAY
EPPING, NH 03042-2325
(603) 679-5695

SHEET INDEX

- CS COVER SHEET
- Y1-Y2 YIELD PLANS
- OV1 OVERVIEW SUBDIVISION PLAN
- A1-A3 SUBDIVISION PLAN
- C1-C3 EXISTING CONDITIONS PLAN
- C4 GRADING, DRAINAGE AND UTILITY PLAN
- N1 TEST PIT LOGS
- P1 PLAN AND PROFILE
- H1 HIGHWAY PLAN
- X1-X2 CROSS SECTIONS
- F1-F3 30,000 GALLON FIRE CISTERN DETAILS
- D1-D3 DETAIL SHEETS
- E1 EROSION AND SEDIMENT CONTROL DETAILS

GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FRESHWATER WETLANDS LINE
---	---	TIDAL WETLANDS LINE
---	---	STREAM CHANNEL
---	---	TREE LINE
---	---	STONEWALL
---	---	BARBED WIRE
---	---	FENCE
---	---	STOCKADE FENCE
---	---	SOIL BOUNDARY
---	---	AQUIFER PROTECTION LINE
---	---	FLOOD PLAIN LINE
---	---	ZONELINE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	SLOPE GRANITE CURB
---	---	CAPE COD BERM
---	---	POURED CONCRETE CURB
---	---	SILT FENCE
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	SEWER FORCE MAIN
---	---	GAS LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	QUADRIL
---	---	UNDERDRAIN
---	---	FIRE PROTECTION LINE
---	---	THRUST BLOCK
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	IRON ROD/DRILL HOLE
---	---	STONE/GRAVITE BOUND
---	---	SPOT GRADE
---	---	PAVEMENT SPOT GRADE
---	---	CURB SPOT GRADE
---	---	BENCHMARK (TBM)
---	---	DOUBLE POST SIGN
---	---	SINGLE POST SIGN
---	---	WELL
---	---	TEST PIT
---	---	FAILED TEST PIT
---	---	MONITORING WELL
---	---	PERC TEST
---	---	PHOTO LOCATION
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	LIGHT POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	REDUCER
---	---	SINGLE GRATE CATCH BASIN
---	---	DOUBLE GRATE CATCH BASIN
---	---	TRANSFORMER
---	---	CULVERT W/WINGWALLS
---	---	CULVERT W/FLARED END SECTION
---	---	CULVERT W/STRAIGHT HEADWALL
---	---	STONE CHECK DAM
---	---	DRAINAGE FLOW DIRECTION
---	---	4K SEPTIC AREA
---	---	WETLAND IMPACT
---	---	VEGETATED FILTER STRIP
---	---	RIPRAP
---	---	OPEN WATER
---	---	FRESHWATER WETLANDS
---	---	TIDAL WETLANDS
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CONCRETE
---	---	GRAVEL
---	---	SNOW STORAGE
---	---	RETAINING WALL



F:\Main Projects\15031-HUDSON-SPEARE-ROAD-FORTER\dwg\15031-PLAN SET.dwg 7/11/2017 2:32:34 PM EDT

"LAUREL LANDING"-HUDSON, NH REVISION: 07/13/17

Design: JAC	Draft: PSL	Date: 7/10/15
Checked: JAC	Scale: AS NOTED	Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL

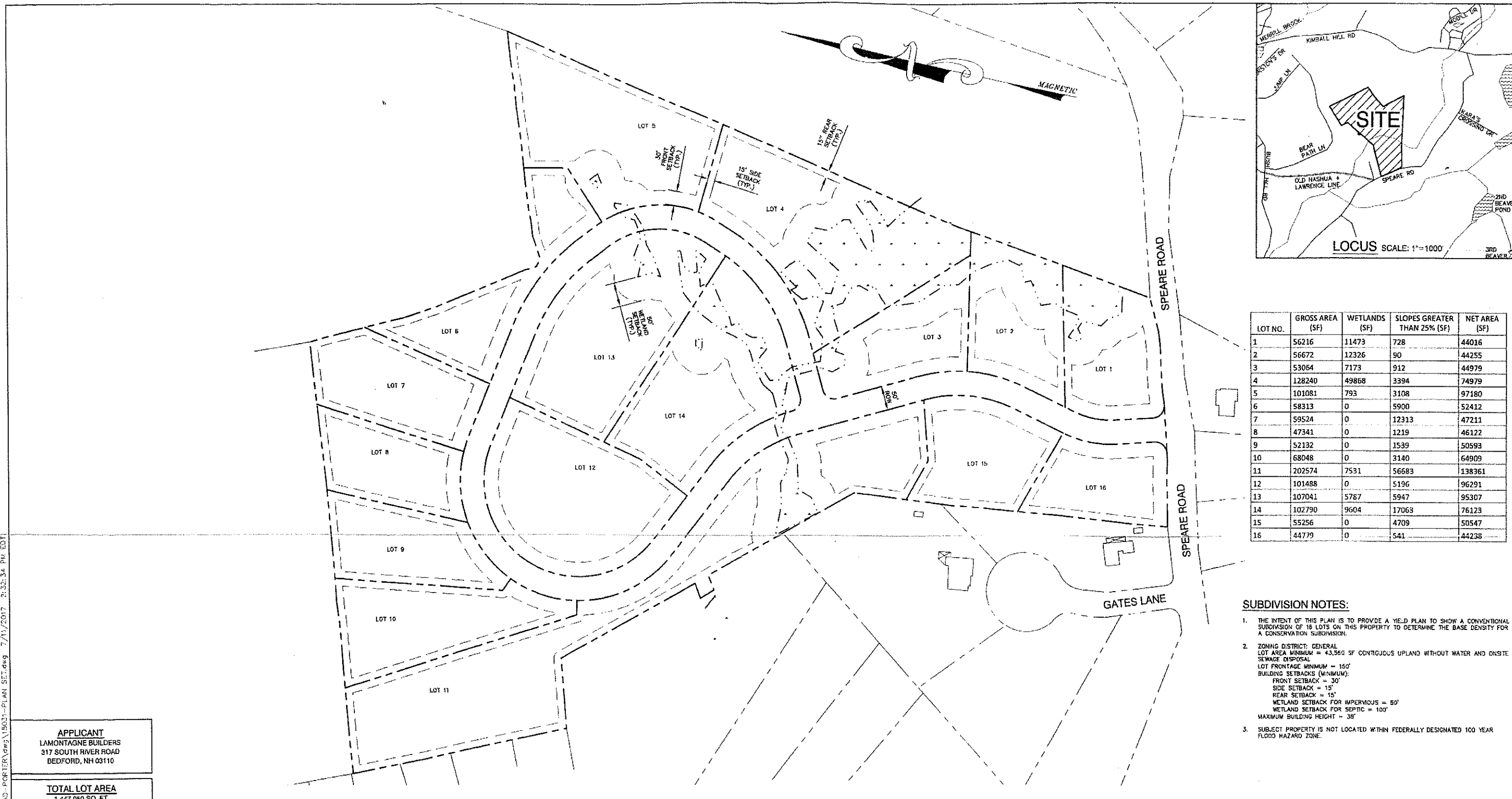
Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

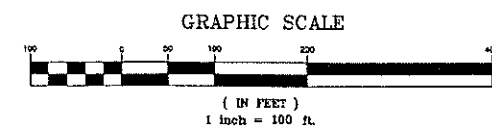
Plan Name:	COVER SHEET
Project:	LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051
Owner of Record:	DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842

DRAWING No.	CS
SHEET 1 OF 23	JBE PROJECT NO. 15031



LOT NO.	GROSS AREA (SF)	WETLANDS (SF)	SLOPES GREATER THAN 25% (SF)	NET AREA (SF)
1	56216	11473	728	44016
2	56672	12326	90	44255
3	53054	7173	912	44979
4	128240	49868	3394	74979
5	101081	793	3108	97180
6	58313	0	5900	52412
7	59524	0	12313	47211
8	47341	0	1219	46122
9	52132	0	1539	50593
10	68048	0	3140	64909
11	202574	7531	56683	138361
12	101488	0	5196	96291
13	107041	5767	5947	95307
14	102790	9604	17063	76123
15	55256	0	4709	50547
16	44779	0	541	44238

- SUBDIVISION NOTES:**
- THE INTENT OF THIS PLAN IS TO PROVIDE A YIELD PLAN TO SHOW A CONVENTIONAL SUBDIVISION OF 16 LOTS ON THIS PROPERTY TO DETERMINE THE BASE DENSITY FOR A CONSERVATION SUBDIVISION.
 - ZONING DISTRICT: GENERAL
 LOT AREA MINIMUM = 43,560 SF CONTIGUOUS UPLAND WITHOUT WATER AND ONSITE SEWAGE DISPOSAL
 LOT FRONTAGE MINIMUM = 150'
 BUILDING SETBACKS (MINIMUM):
 FRONT SETBACK = 30'
 SIDE SETBACK = 15'
 REAR SETBACK = 15'
 WETLAND SETBACK FOR IMPERVIOUS = 50'
 WETLAND SETBACK FOR SEPTIC = 100'
 MAXIMUM BUILDING HEIGHT = 38'
 - SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE.



APPLICANT
 LAMONTAGNE BUILDERS
 317 SOUTH RIVER ROAD
 BEDFORD, NH 03110

TOTAL LOT AREA
 1,447,050 SQ. FT.
 33.22 ACRES

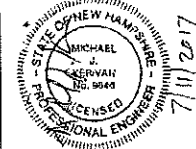
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____
 SIGNATURE: _____ DATE: _____

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

Design: JAC | Draft: PSL | Date: 7/10/15
 Checked: JAC | Scale: AS SHOWN | Project No.: 15031
 Drawing Name: 15031-PLAN SET.dwg
 THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL
REV.	DATE	REVISION	BY

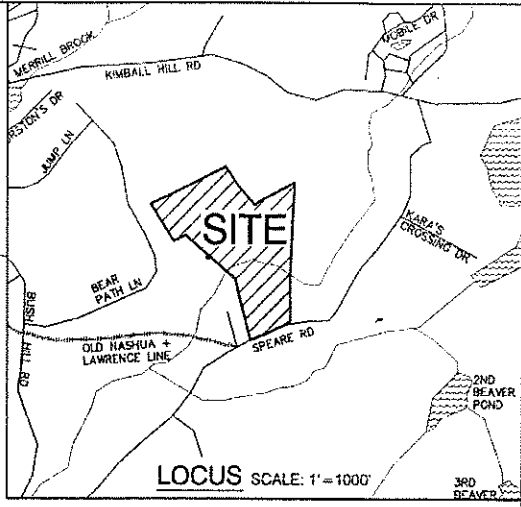
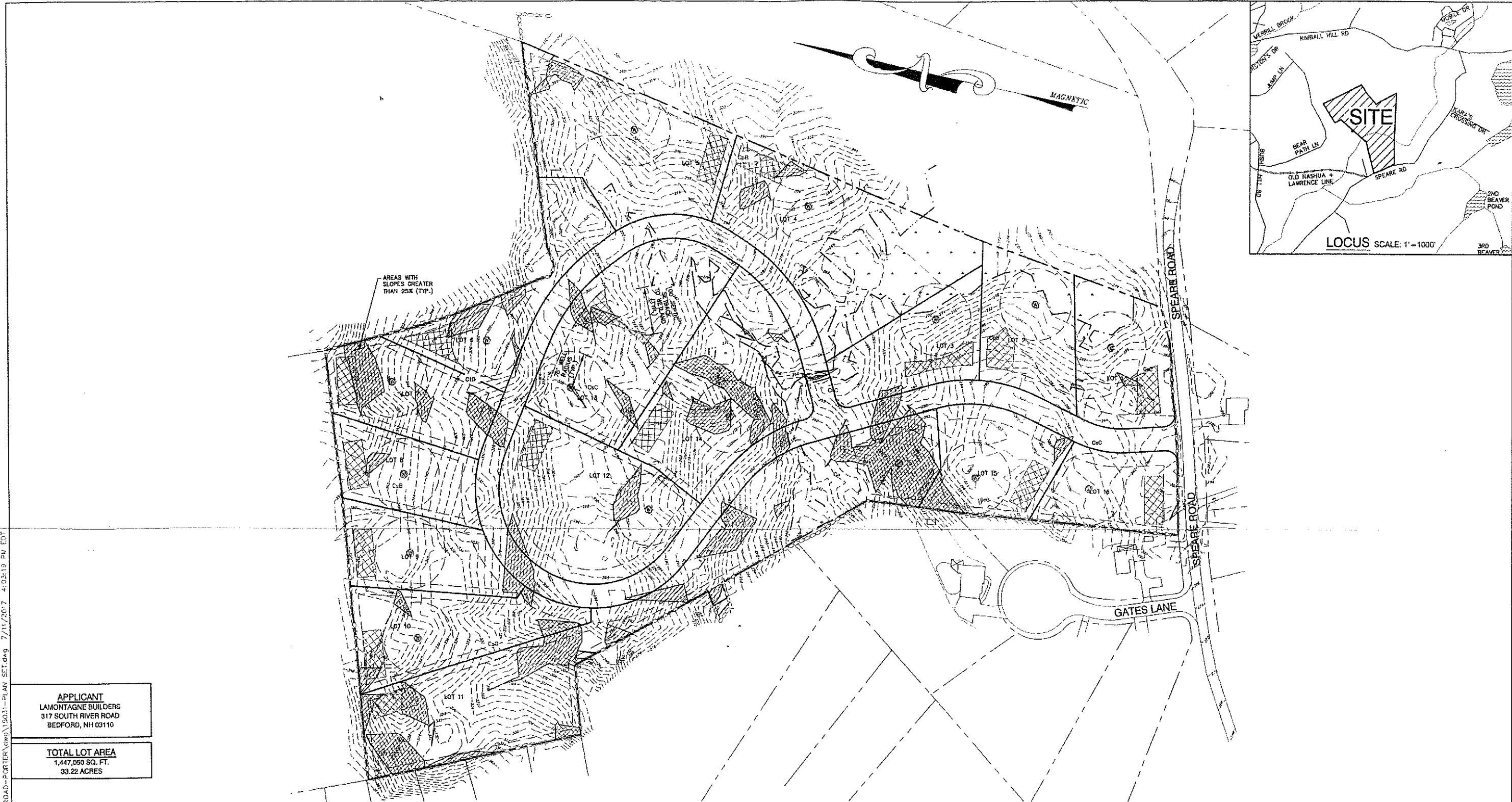
Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **YIELD PLAN**
 MAP 186, LOT 13
 Project: **LAUREL LANDING**
 SPEARE ROAD, HUDSON, NH 03051
 Owner of Record: **DOUGLAS S. SANDERSON**
 11 NERSESIAN WAY, HAMPTON, NH 03842

DRAWING No. **Y1**
 SHEET 2 OF 23
 JBE PROJECT NO. 15031

F:\Load Projects\15031-HUDSON-SPEARE-ROAD-PORTER.dwg\15031-PLAN SET.dwg 7/11/2017 3:32:34 PM EDT



APPLICANT
 LAMONTAGNE BUILDERS
 317 SOUTH RIVER ROAD
 BEDFORD, NH 03110

TOTAL LOT AREA
 1,447,050 SQ. FT.
 33.22 ACRES

APPROVED BY THE HUDSON, NH PLANNING BOARD

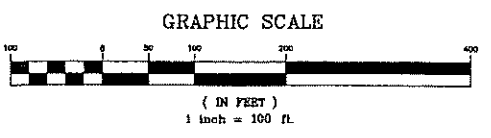
DATE OF MEETING: _____

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.



Design: JAC	Draft: FSL	Date: 7/10/15
Checked: JAC	Scale: AS SHOWN	Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg		
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REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-1746
 PO Box 219 Stratham, NH 03895 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	YIELD PLAN MAP 186, LOT 13
Project:	LAUREL LANDING SPEARIE ROAD, HUDSON, NH 03051
Owner of Record:	DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842

DRAWING No.: **Y2**
 SHEET 3 OF 23
 JBE PROJECT NO. 15031

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LOT NO.	GROSS AREA (SF)	WETLANDS (SF)	SLOPES GREATER THAN 25% (SF)	NET AREA (SF)
13-1	25959	1769	589	23601
13-2	31743	2593	182	28968
13-3	29592	0	0	29592
13-4	30247	351	0	29896
13-5	29600	0	0	29600
13-6	39190	0	17367	21823
13-7	21945	0	0	21945
13-8	22567	0	0	22567

TAX MAP 178/LOT 26
STATE OF NEW HAMPSHIRE
DEPT. OF TRANSPORTATION
PO BOX 483
CONCORD, NH 03302-0483

TAX MAP 186/LOT 14
STATE OF NEW HAMPSHIRE
DEPT. OF TRANSPORTATION
PO BOX 483
CONCORD, NH 03302-0483

TAX MAP 186/LOT 74
EAGLES NEST ESTATES LLC
4 POWDERHORN DR
PELHAM, NH 03076-1267
BK 8221/PG 0189

TAX MAP 194/LOT 5
STATE OF NEW HAMPSHIRE
DEPT. OF TRANSPORTATION
PO BOX 483
CONCORD, NH 03302-0483
BK 2100/PG 0002

TAX MAP 186/LOT 27
STEVEN A. & TRISHA
H. GAGNON
51 SPEARE ROAD
HUDSON, NH 03051
BK 5921/PG 0788

TAX MAP 186/LOT 12
AMHER M. & DAVID P. SEGATTO
1 GATES LANE
HUDSON, NH 03051
BK 6263/PG 1502

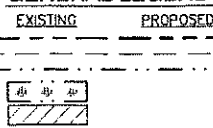
TAX MAP 186/LOT 5
JAMES D. & KRISTIE M.
PACLETTE
2 GATES LANE
HUDSON, NH 03051
BK 7303/PG 0438

TAX MAP 186/LOT 6
JAMES E. & KIM M. NORMAND
4 GATES LANE
HUDSON, NH 03051
BK 7329/PG 0942

ABUTTERS NOT SHOWN:

- TAX MAP 177 LOT 51
KANSTANTIN AUSIANNIKAU
47 BEAR PATH LANE
HUDSON, NH 03051
BK 8009/PG 1795
- TAX MAP 177 LOT 52
TODD J. & KATHRYN H. COPPI
45 BEAR PATH LANE
HUDSON, NH 03051
BK 7008/PG 1938
- TAX MAP 185/LOT 66
MATTHEW H. MEDeiros
LAURIE MEDEIROS
43 BEAR PATH LANE
HUDSON, NH 03051
BK 8801/PG 1037
- TAX MAP 185/LOT 67
ROBERT J. FLOHR, SR.
JEANNE A. FLOHR
41 BEAR PATH LANE
HUDSON, NH 03051
BK 6377/PG 0216
- TAX MAP 185/LOT 68
CHARLES F. & USA D. ANDERSON
39 BEAR PATH LANE
HUDSON, NH 03051
BK 6871/PG 2001
- TAX MAP 185/LOT 69
MICHAEL PATRICK JOHNSTON
LAN L. NELSON-JOHNSTON
37 BEAR PATH LANE
HUDSON, NH 03051
BK 8660/PG 1747
- TAX MAP 185/LOT 70
LEE A. & JULIE A. SHAPPY
35 BEAR PATH LANE
HUDSON, NH 03051
BK 6186/PG 0569
- TAX MAP 186/LOT 28
NORMAN & RENDALL CALLER
47 SPEARE ROAD
HUDSON, NH 03051
BK 6007/PG 0333
- TAX MAP 186/LOT 29
MATTHEW & CHARLENE BROWN
45 SPEARE ROAD
HUDSON, NH 03051
BK 5809/PG 0039
- TAX MAP 186/LOT 30
TIMOTHY D. BURNELL
RACHEL R. GARDNER
41 SPEARE ROAD
HUDSON, NH 03051
BK 8766 /PG 2154
- TAX MAP 186/LOT 30-1
DAVID & KAREN BURNELL, TR.
41 SPEARE ROAD
HUDSON, NH 03051
BK 2791/PG 0105 (09/12/80)
- TAX MAP 186/LOT 30
WALTER S. ABUCEWICZ TR.
MURRAYANN ABUCEWICZ TR.
63 KIMBALL HILL ROAD
HUDSON, NH 03051
BK 8687/PG 1321
- TAX MAP 186/LOT 1
TOWN OF HUDSON
12 SCHOOL STREET
HUDSON, NH 03051
BK 8282/PG 0812
- TAX MAP 185/LOT 2
DAVID & THERESA
PATTERSON
31 BEAR PATH LANE
HUDSON, NH 03051
BK 8183/PG 1188

GENERAL LEGEND



DESCRIPTION
PROPERTY LINES
SETBACK LINES
FRESHWATER WETLANDS LINE
FRESHWATER WETLANDS
SLOPES OVER 25%

CERTIFICATION:

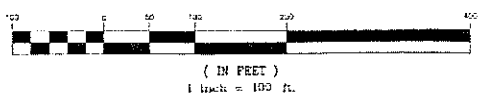
I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 7/11/17

GRAPHIC SCALE



PLAN REFERENCES:

- LOT LINE RELOCATION PLAN - SPEARE ROAD, HUDSON, N.H. FOR FR REALTY DATED JUNE 1985 AND RECORDED AT H.L.R.D. AS PLAN #18065
- MDOT R.O.W. PLAN - NASHUA - HUDSON CIRCUMFERENTIAL HIGHWAY, N.H. TURNPIKE PROJECT 10625-J, #10544A SOUTHERN SEGMENT, FILE 55139 APPROVAL DATE 5-14-91. PROJECT 10625-J, #10644A SOUTHERN SEGMENT, FILE 55139 APPROVAL DATE 5-14-91.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING:

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

Design: JAC Draft: PSL Date: 7/10/15
Check: JAC Scale: AS SHOWN Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg

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REV.	DATE	REVISION	BY
10	1/17/17	REVISED FOR RECORDING	MJS
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-S AND 13-6	PSL
6	5/31/16	REVISED PER TOWN COMMENTS	PSL
REV.	DATE	REVISION	BY

Designed and Produced In NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

Civil Engineering Services

603-778-4746
FAX: 603-778-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **OVERVIEW SUBDIVISION PLAN**
MAP 186/LOT 13

Project: **LAUREL LANDING**
SPEARE ROAD, HUDSON, NH 03051

Owner of Record: **DOUGLAS S. SANDERSON**
11 NERSESSAN WAY, HAMPTON, NH 03842

DRAWING No. **OV1**

SHEET 4 OF 23
JBE PROJECT NO. 16031

OWNER SIGNATURE: _____

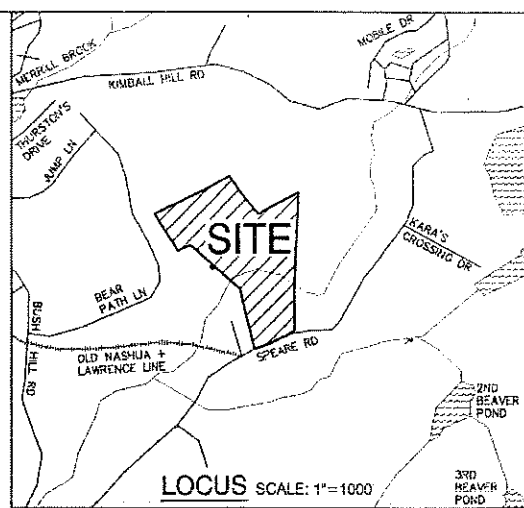
DATE: _____

FOR DOUGLAS S. SANDERSON, 11 NERSESSAN WAY, HAMPTON, NH 03842

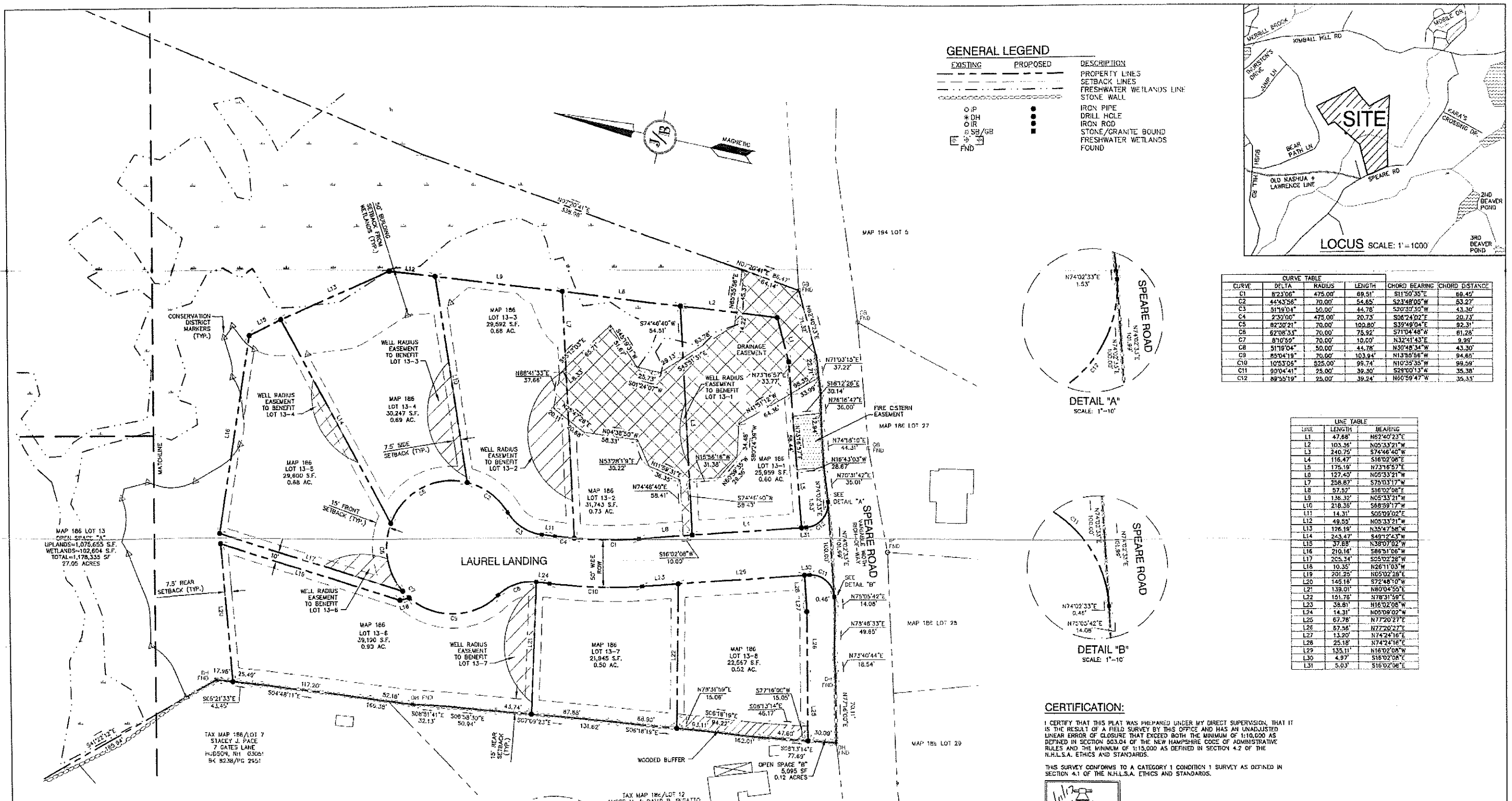
APPLICANT
LAMONTAGNE BUILDERS
317 SOUTH RIVER ROAD
BEDFORD, NH 03110

TOTAL LOT AREA
1,447,050 SQ. FT.
33.22 ACRES

- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE, REFERENCING FEMA COMMUNITY PANEL NO. 33011C0319D, DATED SEPTEMBER 25, 2009.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.), THIS DOCUMENT IS TO BE KEPT ON-SITE AT ALL TIMES AND UPDATED AS REQUIRED.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND/OR OWNER IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL CONSTRUCTION WILL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- GRANITE BOUNDS TO BE SET AT ALL ROADWAY POINTS OF CURVATURE AND TANGENCY. IRON RODS WITH SURVEY CAPS TO BE SET AT ALL PROPERTY CORNERS AND ANGLE POINTS, UNLESS OTHERWISE INDICATED. ALL MONUMENTS SET ARE 5/8" IRON RODS WITH ALUMINUM CAPS MARKED "JONES & BEACH ENGINEERS BOUNDARY, DO NOT DISTURB, STRATHAM, N.H." AS SHOWN.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
- LPD APPROVAL BY THE TOWN, THE PROPOSED ROAD WILL BE CONVEYED TO THE TOWN.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ALL BOOK AND PAGE NUMBERS REFER TO THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS AND ABUTTING OWNERS ARE BASED ON THE TOWN OF HUDSON TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE TOWN OF HUDSON ASSESSORS OFFICE AND THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- OPEN SPACE CALCULATION:
TOTAL PARCEL = 33.22 ACRES
50% OPEN SPACE = 16.61 ACRES REQUIRED
TOTAL OPEN SPACE PROVIDED = 27.17 ACRES (81.8%)
- ALL HOMES TO HAVE A CRUSHED STONE DRIP EDGE FOR INFILTRATION OF STORMWATER. A DETAIL IS PROVIDED ON SHEET D3 OF THIS PLAN SET AND NEEDS TO BE IN PLACE AND FAVORABLY INSPECTED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- A CERTIFICATE OF APPROVAL FROM THE BOARD OF HEALTH OF THE TOWN OF HUDSON AND FROM THE STATE OF NEW HAMPSHIRE SHALL BE REQUIRED FOR THE PROPOSED ON-LOT UTILITIES.
- ON 7/13/16, THE TOWN OF HUDSON PLANNING BOARD GRANTED THE FOLLOWING WAIVERS FROM CHAPTER 289 "SUBDIVISION OF LAND" OF THE "TOWN OF HUDSON CODE BOOK" AND THE "TOWN OF HUDSON, NH APPLICATION FOR SUBDIVISION PLAN REVIEW CHECKLIST":
A) CHAPTER 289-28.(G), REQUIREMENTS
B) CHAPTER 289-18.Y, STREETS
C) TOWN OF HUDSON, NH APPLICATION FOR SUBDIVISION PLAN REVIEW CHECKLIST ITEM O.
- EACH LOT OWNER WITHIN THE OPEN SPACE SUBDIVISION SHALL POSSESS AN EQUAL SHARE OF THE COMMON OPEN SPACE AREA ASSOCIATED WITH THIS DEVELOPMENT. THE STORMWATER MANAGEMENT POND SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- CONSERVATION MARKERS SHALL BE INSTALLED ALONG THE PERIMETER OF THE CONSERVATION DISTRICT BOUNDARIES OF THE DEVELOPMENT. SAID MARKERS SHOULD BE PERMANENTLY ATTACHED TO TREES, OR 6 FT. SECTIONS OF SPLIT-RAIL FENCING, PLACED AT A MAXIMUM DISTANCE OF 200 FT. BETWEEN SECTIONS AND ALONG THE NEAREST PERIMETER OF EACH CONSERVATION DISTRICT AREA AND THE DEVELOPED LOTS.
- CONSTRUCTION ACTIVITIES INVOLVING THE PROPOSED UNDERGROUND LOTS SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 A.M. AND 7:00 P.M., MONDAY THRU SATURDAY. NO EXTERIOR CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAY.
- A COST ALLOCATION PROCEDURE (CAP) AMOUNT OF \$1,664.00, PER SINGLE-FAMILY RESIDENTIAL UNIT SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- A RECREATION CONTRIBUTION IN THE AMOUNT OF \$400.00, PER RESIDENTIAL UNIT SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- BLASTING OR RAMMING ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 9:00 A.M. AND 5:00 P.M., MONDAY THROUGH FRIDAY. SAID BLASTING ACTIVITIES ARE PROHIBITED ON SATURDAY AND SUNDAY.

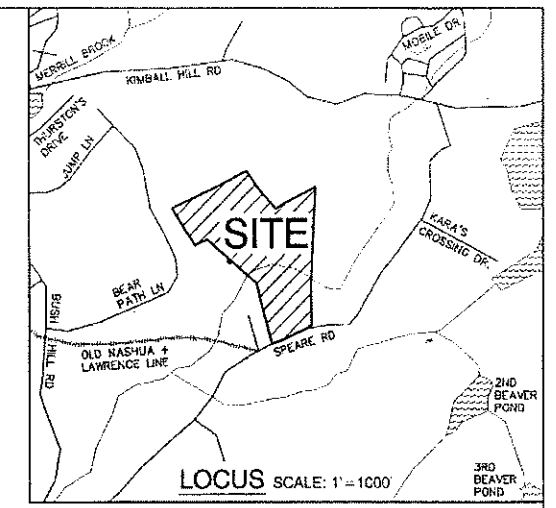


LOCUS SCALE: 1"=1000



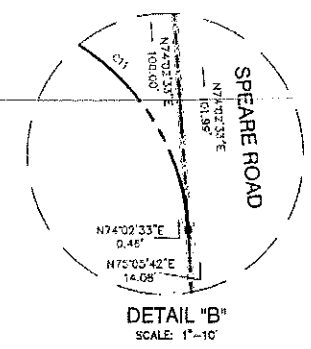
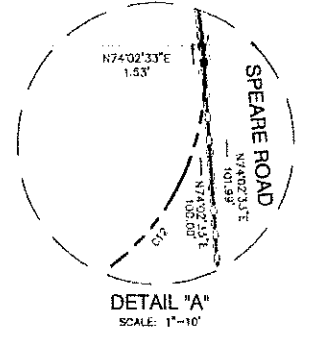
GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	FRESHWATER WETLANDS LINE
---	---	STONE WALL
○ P	●	IRON PIPE
○ DH	●	DRILL HOLE
○ IR	●	IRON ROD
○ SB/GB	●	STONE/GRANITE BOUND
○ FND	●	FRESHWATER WETLANDS FOUND



CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DISTANCE
C1	82°3'06"	475.00'	89.51'	S11°50'35"W	88.45'
C2	44°43'58"	70.00'	54.65'	S23°48'05"W	53.27'
C3	31°19'04"	50.00'	44.78'	S20°39'30"W	43.36'
C4	23°32'00"	475.00'	20.73'	S08°24'02"E	20.73'
C5	82°30'21"	70.00'	109.80'	S39°49'04"E	92.31'
C6	82°08'33"	70.00'	75.92'	S71°04'48"W	61.28'
C7	81°05'52"	70.00'	10.00'	N32°41'43"E	9.99'
C8	51°19'04"	50.00'	44.78'	N30°48'34"W	43.30'
C9	85°04'19"	70.00'	103.94'	N13°55'58"W	94.88'
C10	10°53'05"	525.00'	99.74'	N10°35'35"W	99.59'
C11	90°04'41"	25.00'	39.30'	S28°10'13"W	35.38'
C12	89°55'19"	25.00'	39.24'	N60°59'47"W	35.31'

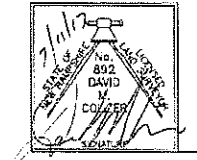


LINE TABLE

LINE	LENGTH	BEARING
L1	47.68'	N87°40'23"E
L2	103.35'	N05°33'21"W
L3	240.20'	S74°46'40"W
L4	116.47'	S16°02'06"E
L5	175.19'	N73°15'57"E
L6	127.40'	N05°33'21"W
L7	258.67'	S75°03'17"W
L8	57.52'	S16°02'06"E
L9	138.32'	N05°33'21"W
L10	218.35'	S68°59'17"W
L11	14.31'	S05°09'02"E
L12	49.55'	N05°33'21"W
L13	126.19'	N35°47'58"W
L14	243.47'	S49°12'43"W
L15	37.88'	N38°07'02"W
L16	210.16'	S88°51'06"W
L17	206.34'	S05°02'28"W
L18	10.35'	N26°11'03"W
L19	201.25'	N05°02'28"E
L20	145.18'	S72°48'10"W
L21	139.01'	N80°04'50"E
L22	151.78'	N78°31'59"E
L23	38.61'	N16°02'08"W
L24	14.31'	N05°09'02"W
L25	67.78'	N77°20'27"E
L26	57.56'	N77°20'27"E
L27	13.20'	N74°24'16"E
L28	25.18'	N74°24'16"E
L29	133.11'	N16°02'08"W
L30	4.97'	S16°02'08"E
L31	5.03'	S16°02'08"E

CERTIFICATION:
 I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODES OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



DAVID M. COLLIER, LLS 892
 ON BEHALF OF JONES & BEACH ENGINEERS, INC.

7/11/17
 DATE:

APPLICANT
 LAMONTAGNE BUILDERS
 317 SOUTH RIVER ROAD
 BEDFORD, NH 03110

TOTAL LOT AREA
 1,447,060 SQ. FT.
 33.22 ACRES

APPROVED BY THE HUDSON, NH PLANNING BOARD

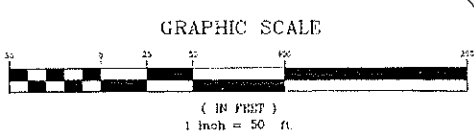
DATE OF MEETING:

SIGNATURE: _____ DATE: _____

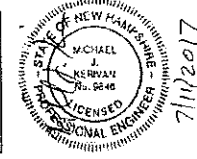
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SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.



Design: JAC	Draft: PSL	Date: 7/10/15
Checked: JAC	Scale: 1" = 50'	Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-6 AND 13-6	PSL
REV.	DATE	REVISION	BY

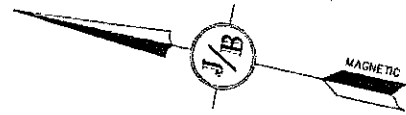
Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

65 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Strafford, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SUBDIVISION PLAN**
 MAP 186, LOT 13
 Project: **LAUREL LANDING**
 SPEARE ROAD, HUDSON, NH 03051
 Owner of Record: **DOUGLAS S. SANDERSON**
 11 NERSESIAN WAY, HAMPTON, NH 03842

DRAWING No
A1
 SHEET 5 OF 23
 JBE PROJECT NO. 15031



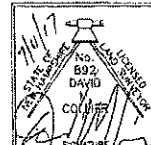
TAX MAP 176/LOT 30
WALTER S. ABUCEWICZ TR.
MURRAYASH ABUCEWICZ TR.
63 KIMBALL HILL ROAD
HUDSON, NH 03051
BK 8587/PG 1321

TAX MAP 186/LOT 1
TOWN OF HUDSON
12 SCHOOL STREET
HUDSON, NH 03051
BK 8787/PG 0812

CERTIFICATION:

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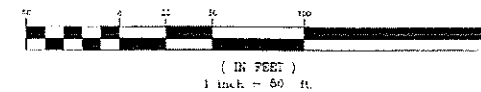
DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 7/11/17

GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	FRESHWATER WETLANDS LINE
---	---	STONE WALL
○ IP	●	IRON PIPE
⊗ DH	●	DRILL HOLE
○ IR	●	IRON ROD
□ SB/CB	■	STONE/GRANITE BOUND
□ FND	■	FRESHWATER WETLANDS FOUND

GRAPHIC SCALE



APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPLICANT
LAMONTAGNE BUILDERS
317 SOUTH RIVER ROAD
BEDFORD, NH 03110

TOTAL LOT AREA
1,447,050 SQ. FT.
33.22 ACRES

Design: JAC	Draft: PSL	Date: 7/10/15
Checked: JAC	Scale: 1" = 50'	Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg		
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REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL
REV.	DATE	REVISION	BY

Designed and Produced In NH

J/B Jones & Beach Engineers, Inc.

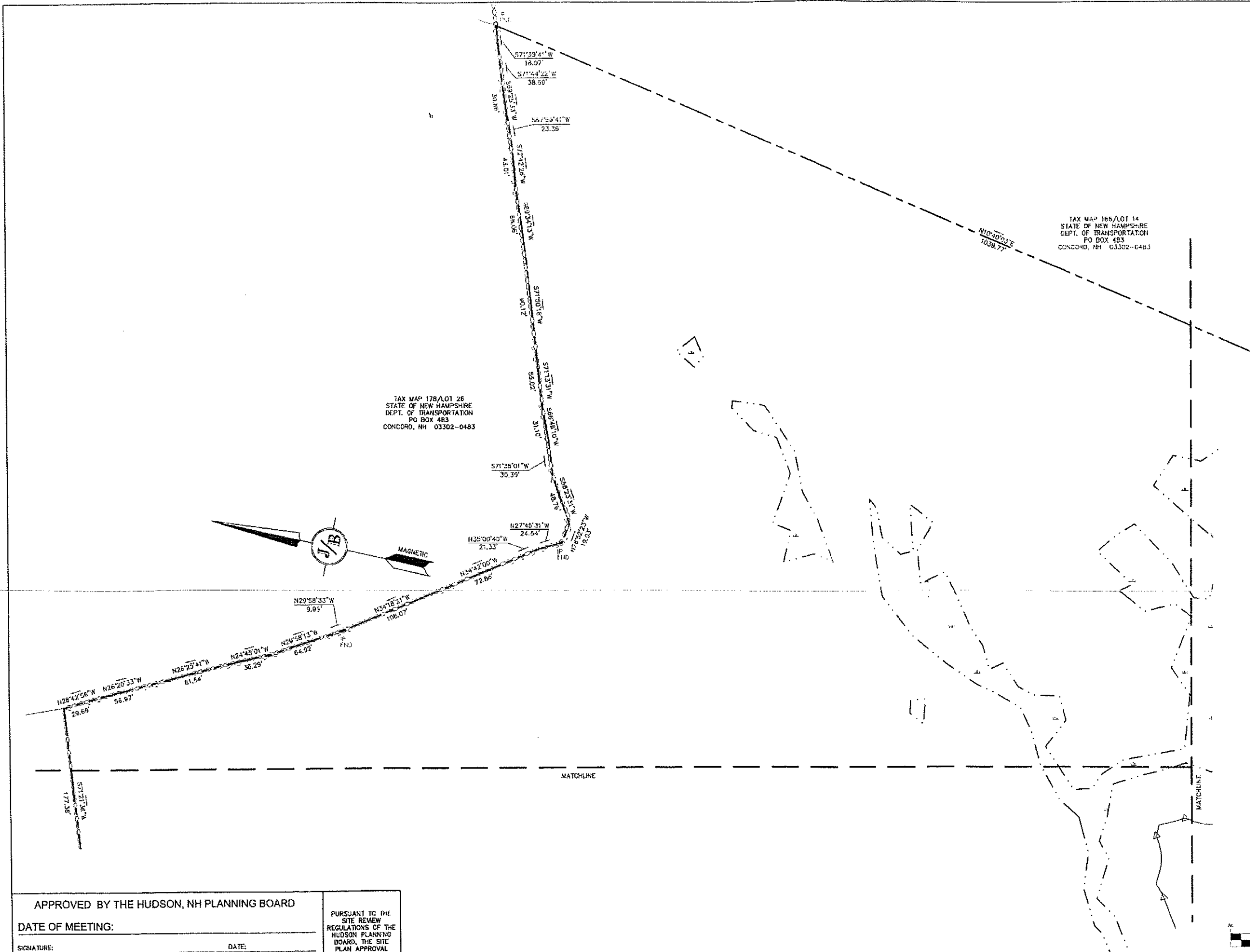
85 Portsmouth Ave. Civil Engineering Services 603-772-4746
PO Box 219 Stratford, NH 03865 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SUBDIVISION PLAN**
MAP 186, LOT 13

Project: **LAUREL LANDING**
SPEARE ROAD, HUDSON, NH 03051

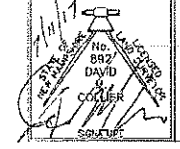
Owner of Record: **DOUGLAS S. SANDERSON**
11 NERSESIAN WAY, HAMPTON, NH 03842

DRAWING No.
A2
SHEET 6 OF 23
JBE PROJECT NO. 15031



- ABUTTERS NOT SHOWN:**
- TAX MAP 165/LOT 5
JAMES D. & KRISTIN M. PAQUETTE
2 GATES LANE
HUDSON, NH 03051
BK 7305/PG 0438
 - TAX MAP 106/LOT 6
JAMES E. & KIM M. NORMAND
4 GATES LANE
HUDSON, NH 03051
BK 7329/PG 0942
 - TAX MAP 177/LOT 51
KANSTANTIN AUSIANN-KAU
47 BEAR PATH LANE
HUDSON, NH 03051
BK 8000/PG 1755
 - TAX MAP 177/LOT 52
1000 1 & KATHRYN H. COPPI
45 BEAR PATH LANE
HUDSON, NH 03051
BK 7008/PG 1938
 - TAX MAP 185/LOT 66
MATTHEW H. MEDEROS
LAURE MEDEROS
43 BEAR PATH LANE
HUDSON, NH 03051
BK 6801/PG 1037
 - TAX MAP 185/LOT 67
ROBERT J. FLOHR, SR.
JEANNE A. FLOHR
41 BEAR PATH LANE
HUDSON, NH 03051
BK 6377/PG 0218
 - TAX MAP 185/LOT 68
CHARLES F. & LISA D. ANDERSON
39 BEAR PATH LANE
HUDSON, NH 03051
BK 6871/PG 2001
 - TAX MAP 185/LOT 69
MICHAEL PATRICK JOHNSTON
LANI L. NILSSON-JOHNSTON
37 BEAR PATH LANE
HUDSON, NH 03051
BK 8660/PG 1747
 - TAX MAP 185/LOT 70
LEE A. & JULIE A. SHAPPY
35 BEAR PATH LANE
HUDSON, NH 03051
BK 6186/PG 0560
 - TAX MAP 186/LOT 2
DAVID & THERESA PATTERSON
31 BEAR PATH LANE
HUDSON, NH 03051
BK 8763/PG 1188
 - TAX MAP 186/LOT 14
STATE OF NEW HAMPSHIRE
DEPT. OF TRANSPORTATION
PO BOX 483
CONCORD, NH 03302-0483
 - TAX MAP 186/LOT 24
EAGLES NEST ESTATES LLC
4 POWDERHORN DR
PELHAM, NH 03376-3387
BK 8221/PG 0169
 - TAX MAP 186/LOT 27
STEVEN A. & TRISHA H. GADNON
51 SPEARE ROAD
HUDSON, NH 03051
BK 6921/PG 0788
 - TAX MAP 186/LOT 28
NORMAN & KENDALL CALLER
47 SPEARE ROAD
HUDSON, NH 03051
BK 6007/PG 0333
 - TAX MAP 186/LOT 29
MATTHEW & CHARLENE BROWN
45 SPEARE ROAD
HUDSON, NH 03051
BK 5809/PG 0039
 - TAX MAP 186/LOT 30
TIMOTHY D. BURNELL
RACHEL R. CAREIDE
41 SPEARE ROAD
HUDSON, NH 03051
BK 8766/PG 2154
 - TAX MAP 186/LOT 30-1
DAVID & KAREN BURNELL, TR.
41 SPEARE ROAD
HUDSON, NH 03051
BK 2781/PG 0105 (08/12/80)
 - TAX MAP 194/LOT 5
STATE OF NEW HAMPSHIRE
DEPT. OF TRANSPORTATION
PO BOX 483
CONCORD, NH 03302-0483
BK 2100/PG 0002

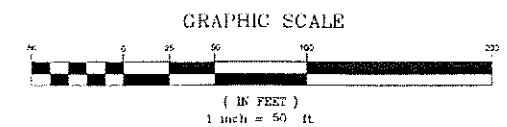
CERTIFICATION:
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DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC. DATE: 7/11/17

GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	FRESHWATER WETLANDS LINE
---	---	STONE WALL
○ IP	●	IRON PIPE
⊗ DI	●	DRILL HOLE
○ IR	●	IRON ROD
□ SB/CB	■	STONE/GRANITE BOUND
---	---	FRESHWATER WETLANDS FOUND



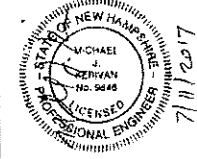
APPLICANT
LAMONTAGNE BUILDERS
317 SOUTH RIVER ROAD
BEDFORD, NH 03110

TOTAL LOT AREA
1,447,050 SQ. FT.
33.22 ACRES

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING:
SIGNATURE: _____ DATE: _____
SIGNATURE: _____ DATE: _____
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PURSUANT TO THE REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREON EXPIRES ONE YEAR FROM DATE OF APPROVAL.

Design: JAC	Draft: PSL	Date: 7/10/15
Checked: JAC	Scale: 1" = 50'	Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg		
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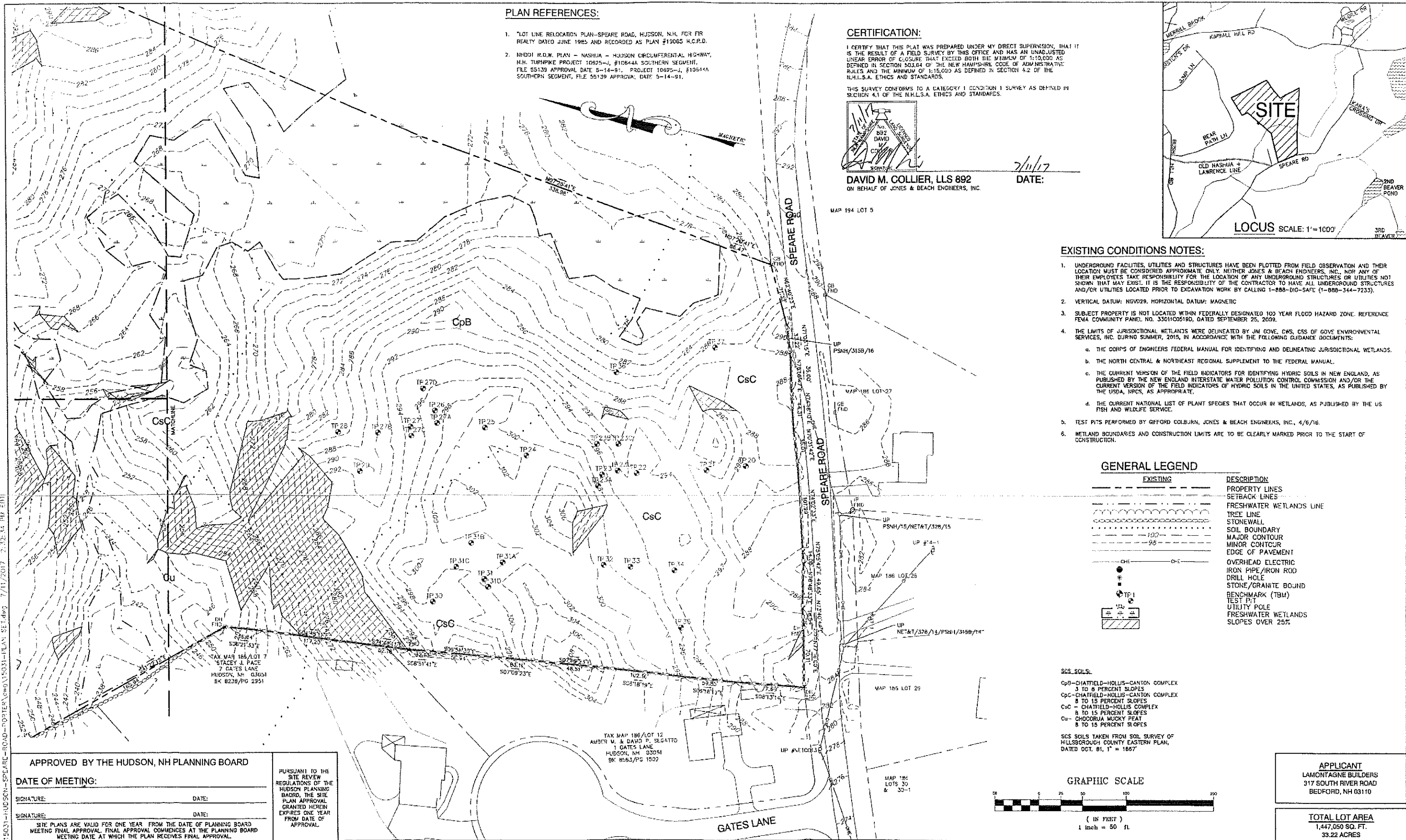


REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED HI PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL
REV.	DATE	REVISION	BY

Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	SUBDIVISION PLAN MAP 186, LOT 13
Project:	LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051
Owner of Record:	DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842

DRAWING NO:
A3
SHEET 7 OF 23
JBE PROJECT NO. 15031



PLAN REFERENCES:

1. LOT LINE RELOCATION PLAN-SPEARE ROAD, HUDSON, N.H. FOR FR REALTY DATED JUNE 1985 AND RECORDED AS PLAN #19065 H.C.P.D.
2. MIDDY R.O.W. PLAN - NASHUA - HUDSON CIRCUMFERENTIAL HIGHWAY, N.H. TURNPIKE PROJECT 10825-J, #10844A SOUTHERN SEGMENT, FILE 55139 APPROVAL DATE 5-14-91. PROJECT 10825-J, #10844A SOUTHERN SEGMENT, FILE 55139 APPROVAL DATE 5-14-91.

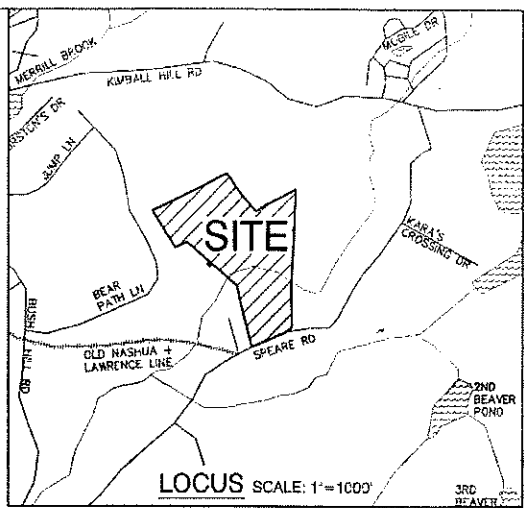
CERTIFICATION:

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THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

7/11/17
DATE:



- EXISTING CONDITIONS NOTES:**
1. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC. NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233).
 2. VERTICAL DATUM: NGVD29. HORIZONTAL DATUM: MAGNETIC
 3. SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 330100519D, DATED SEPTEMBER 25, 2009.
 4. THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY JIM COVE, CWS, CSS OF GOVE ENVIRONMENTAL SERVICES, INC. DURING SUMMER, 2015, IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
 - a. THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
 - b. THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
 - c. THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
 - d. THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
 5. TEST PITS PERFORMED BY GIFFORD COLBJORN, JONES & BEACH ENGINEERS, INC., 4/6/16.
 6. WETLAND BOUNDARIES AND CONSTRUCTION LIMITS ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION.

GENERAL LEGEND

EXISTING	DESCRIPTION
---	PROPERTY LINES
---	SETBACK LINES
---	FRESHWATER WETLANDS LINE
---	TREE LINE
---	STONEWALL
---	SOIL BOUNDARY
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	EDGE OF PAVEMENT
---	OVERHEAD ELECTRIC
---	IRON PIPE/IRON ROD
---	DRILL HOLE
---	STONE/GRANITE BOUND
---	BENCHMARK (TBM)
---	TEST PIT
---	UTILITY POLE
---	FRESHWATER WETLANDS SLOPES OVER 25%

SCS SOILS:

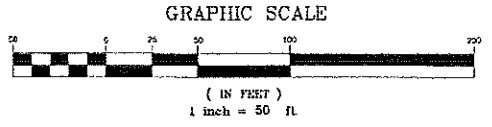
CpB-CHATFIELD-HOLLIS-CANTON COMPLEX
3 TO 6 PERCENT SLOPES

CpC-CHATFIELD-HOLLIS-CANTON COMPLEX
8 TO 15 PERCENT SLOPES

CsC - CHATFIELD-HOLLIS COMPLEX
8 TO 15 PERCENT SLOPES

Cu- CHOCORUA MUCKY PEAT
8 TO 15 PERCENT SLOPES

SCS SOILS TAKEN FROM SOIL SURVEY OF HILLSBOROUGH COUNTY EASTERN PLAN, DATED OCT. 61, 1" = 1667'



APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING:

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

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REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4745
P.O. Box 219 Stratham, NH 03885 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH1.COM

Plan Name: **EXISTING CONDITIONS PLAN**

Project: **LAUREL LANDING
SPEARE ROAD, HUDSON, NH 03051**

Owner of Record: **DOUGLAS S. SANDERSON
11 NERSESIAN WAY, HAMPTON, NH 03842**

DRAWING No. **C1**

SHEET 8 OF 23
JBE PROJECT NO. 15031

APPLICANT
**LAMONTAGNE BUILDERS
317 SOUTH RIVER ROAD
BEDFORD, NH 03110**

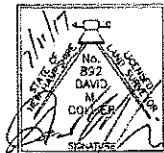
TOTAL LOT AREA
**1,447,050 SQ. FT.
33.22 ACRES**

F:\Land Projects\15031-HUDSON-SPEARE-ROAD-DORTIER\15031-PLAN-SET.dwg 7/11/2017 2:32:34 PM JBE

CERTIFICATION:

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DAVID M. COLLIER, L.L.S. 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 7/11/17

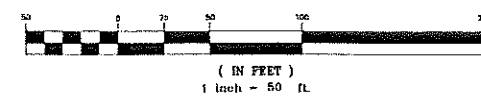
TAX MAP 178/LOT 30
WALTER S. ABUCENEGZ TR.
MURRAYAN ABUCENEGZ TR.
63 KIMBALL HILL ROAD
HUDSON, NH 03051
BK 6687/PG 1321

TAX MAP 185/LOT 1
TOWN OF HUDSON
12 SCHOOL STREET
HUDSON, NH 03051
BK 6292/PG 0812

GENERAL LEGEND

EXISTING	DESCRIPTION
---	PROPERTY LINES
---	SETBACK LINES
---	FRESHWATER WETLANDS LINE
---	TREE LINE
---	STONEWALL
---	SOIL BOUNDARY
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	EDGE OF PAVEMENT
---	OVERHEAD ELECTRIC
---	IRON PIPE/IRON ROD
---	DRILL HOLE
---	STONE/GRANITE BOUND
---	BENCHMARK (TBM)
---	TEST PIT
---	UTILITY POLE
---	FRESHWATER WETLANDS
---	SLOPES OVER 25%

GRAPHIC SCALE



APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

SIGNATURE: _____ DATE: _____

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APPLICANT
LAMONTAGNE BUILDERS
317 SOUTH RIVER ROAD
BEDFORD, NH 03110

TOTAL LOT AREA
1,447,050 SQ. FT.
33.22 ACRES

Design: JAC	Draft: PSL	Date: 7/10/15
Checked: JAC	Scale: AS SHOWN	Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg		
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REV.	DATE	REVISION	BY
11	8/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03385

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
Project:	LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051
Owner of Record:	DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842

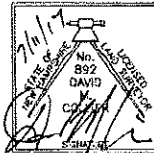
DRAWING No
C2
SHEET 9 OF 23
JBE PROJECT NO. 15031

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CERTIFICATION:

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

7/11/17
DATE:

TAX MAP 178/LOT 28
STATE OF NEW HAMPSHIRE
DEPT. OF TRANSPORTATION
PO BOX 483
CONCORD, NH 03302-0483

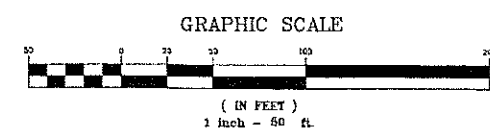
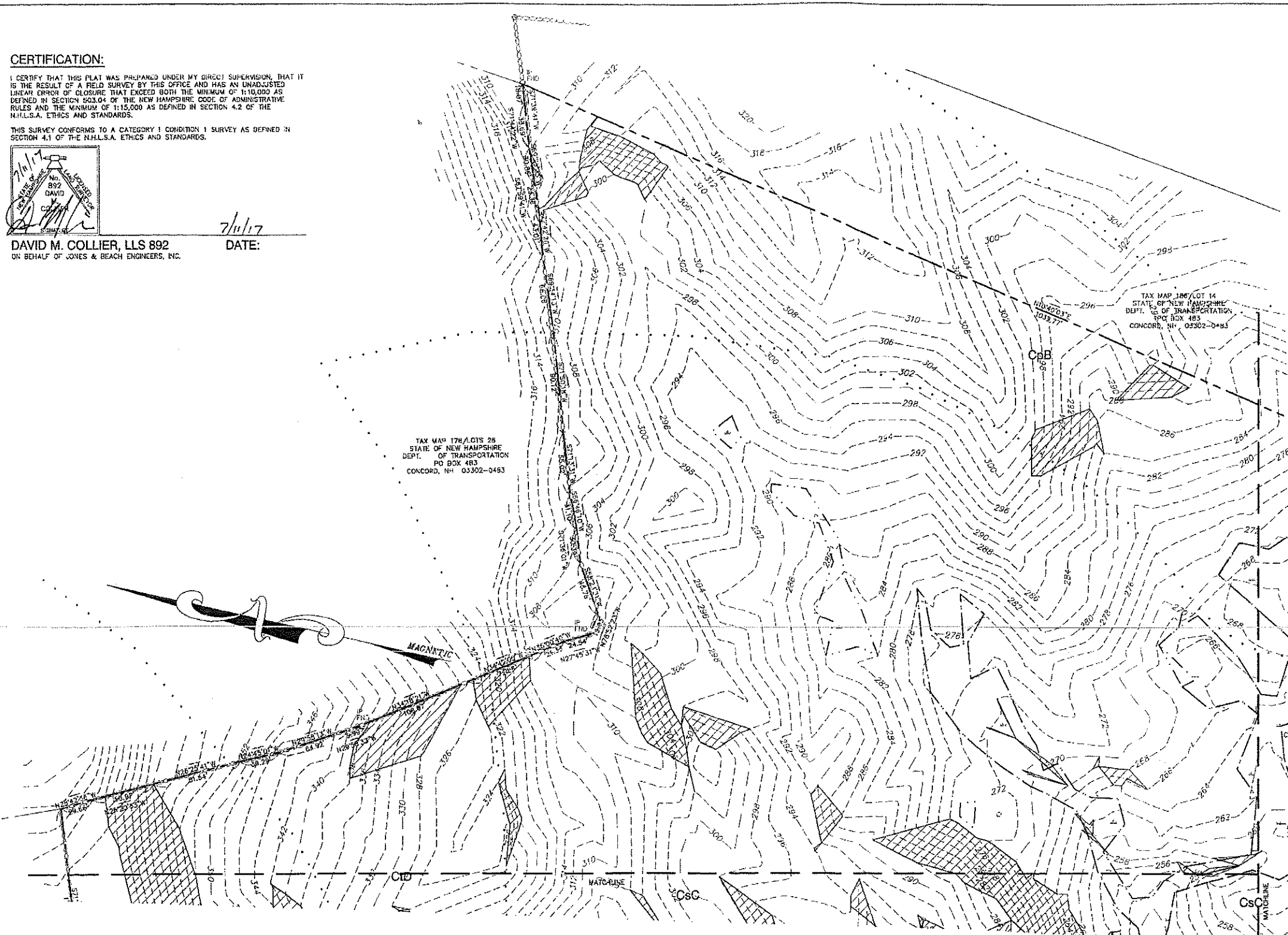
TAX MAP 186/LOT 14
STATE OF NEW HAMPSHIRE
DEPT. OF TRANSPORTATION
PO BOX 483
CONCORD, NH 03302-0483

ABUTTERS NOT SHOWN:

- TAX MAP 177 LOT 51
KANSTANTIN AUSANNIKAU
47 BEAR PATH LANE
HUDSON, NH 03051
BK 8039/PG 1785
- TAX MAP 186/LOT 5
JAMES E. & KIM M. NORMAND
4 GATES LANE
HUDSON, NH 03051
BK 7329/PG 0942
- TAX MAP 177 LOT 52
TODD J. & KATHRYN H. COPPI
45 BEAR PATH LANE
HUDSON, NH 03051
BK 7038/PG 1938
- TAX MAP 185/LOT 68
MATTHEW H. MEDEIROS
LAURIE MEDEIROS
43 BEAR PATH LANE
HUDSON, NH 03051
BK 8831/PG 1037
- TAX MAP 185/LOT 67
ROBERT J. FLOHR, SR.
JEANIE A. FLOHR
41 BEAR PATH LANE
HUDSON, NH 03051
BK 6377/PG 0216
- TAX MAP 185/LOT 68
CHARLES F. & LISA D. ANDERSON
38 BEAR PATH LANE
HUDSON, NH 03051
BK 6871/PG 2001
- TAX MAP 185/LOT 69
MICHAEL PATRICK JOHNSTON
LANE L. NILSSON-JOHNSTON
37 BEAR PATH LANE
HUDSON, NH 03051
BK 8060/PG 1747
- TAX MAP 185/LOT 70
LEE A. & JULIE A. SHAPPY
35 BEAR PATH LANE
HUDSON, NH 03051
BK 6186/PG 0380
- TAX MAP 185/LOT 2
DAVID & THERESA PATTERSON
31 BEAR PATH LANE
HUDSON, NH 03051
BK 8783/PG 1188
- TAX MAP 186/LOT 5
JAMES D. & KRISTIN M. PAQUETTE
2 GATES LANE
HUDSON, NH 03051
BK 7303/PG 0438
- TAX MAP 186/LOT 24
EAGLES NEST ESTATES LLC
4 POWDERHORN DR
PELHAM, NH 03078-3387
BK 8221/PG 0169
- TAX MAP 186/LOT 27
STEVEN A. & TRISHA H. GAGNON
51 SPEARE ROAD
HUDSON, NH 03051
BK 6921/PG 0788
- TAX MAP 186/LOT 28
NORMAN & KENDALL CAILLER
47 SPEARE ROAD
HUDSON, NH 03051
BK 6007/PG 0333
- TAX MAP 186/LOT 29
MATTHEW & CHARLENE BROWN
45 SPEARE ROAD
HUDSON, NH 03051
BK 6809/PG 0030
- TAX MAP 186/LOT 30
TIMOTHY D. BURRILL
RACHEL J. CARSOE
41 SPEARE ROAD
HUDSON, NH 03051
BK 8766/PG 2154
- TAX MAP 186/LOT 30-1
DAVID & KAREN BURRILL, TR.
41 SPEARE ROAD
HUDSON, NH 03051
BK 2791/PG 0105 (09/12/80)
- TAX MAP 194/LOT 5
STATE OF NEW HAMPSHIRE
DEPT. OF TRANSPORTATION
PO BOX 483
CONCORD, NH 03302-0483
BK 2100/PG 0002

GENERAL LEGEND

EXISTING	DESCRIPTION
---	PROPERTY LINES
---	SETBACK LINES
---	FRESHWATER WETLANDS LINE
---	TREE LINE
---	STONEWALL
---	SOIL BOUNDARY
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	EDGE OF PAVEMENT
---	OVERHEAD ELECTRIC
---	IRON PIPE/IRON ROD
---	DRILL HOLE
---	STONE/GRAVITE BOUND
---	BENCHMARK (TBM)
---	TEST PIT
---	UTILITY POLE
---	FRESHWATER WETLANDS
---	SLOPES OVER 25%



APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPLICANT
LAMONTAGNE BUILDERS
317 SOUTH RIVER ROAD
BEDFORD, NH 03110

TOTAL LOT AREA
1,447,050 SQ. FT.
33.22 ACRES

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Designed and Produced in NH

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PO Box 219 • FAX: 603-772-0227
Stratham, NH 03895 • E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
Project:	LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051
Owner of Record:	DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842

DRAWING No.
C3
SHEET 10 OF 23
JBE PROJECT NO. 15031

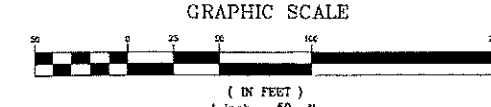
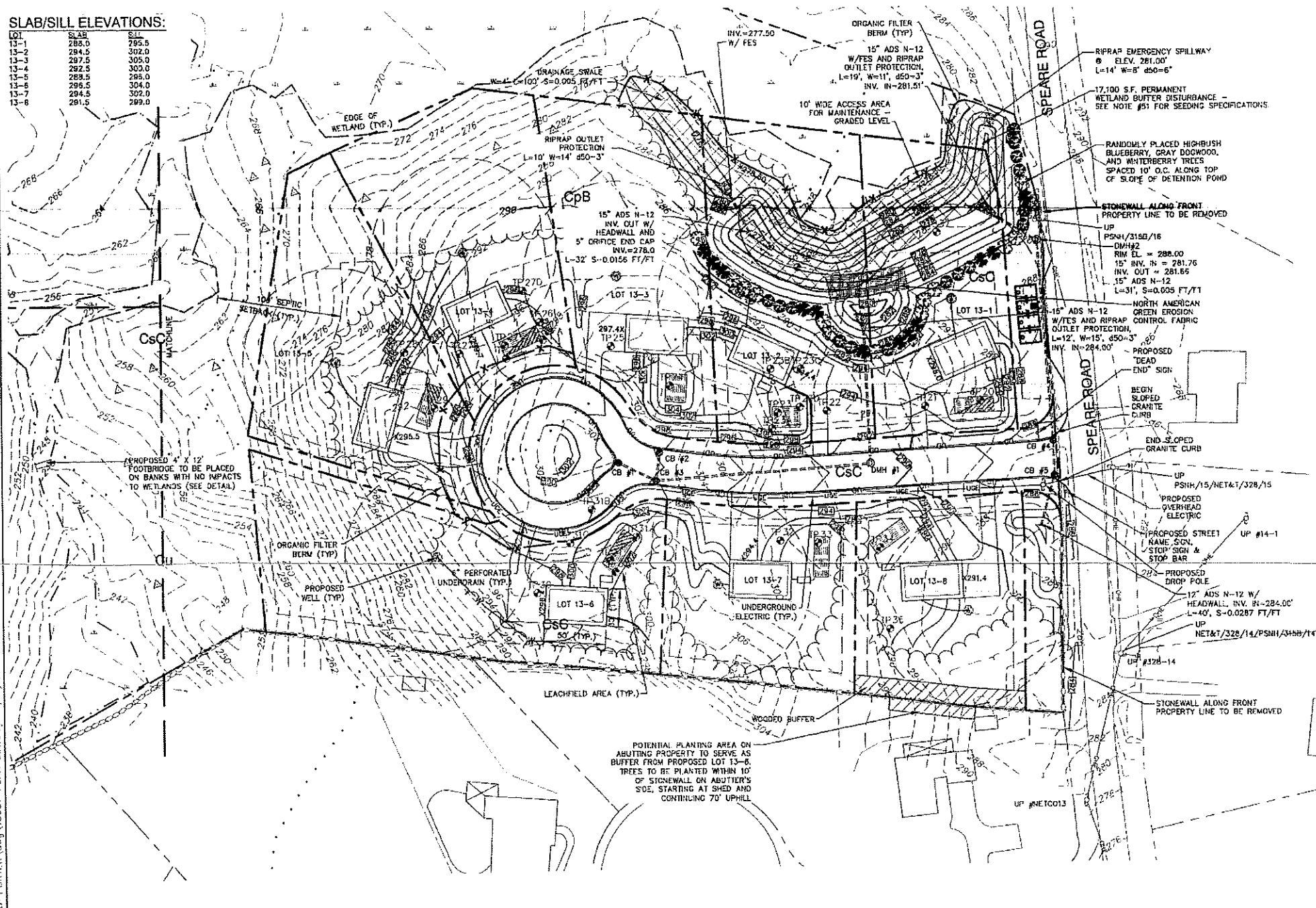
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GRADING, DRAINAGE AND UTILITY NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC. NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- VERTICAL DATUM: USGS. HORIZONTAL DATUM: MAGNETIC.
- ALL BENCHMARKS AND TOPOGRAPHY SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL ROOF DRAINS FROM BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT THE END. ALL EXTERIOR ROOF DOWNSPOUTS ARE TO BE INSTALLED WITH OVERFLOW DEVICES.
- THE SWALE AND DETENTION POND ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S78 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3" DEEP SUMP WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC W20 LOADINGS AND SHALL BE INSTALLED ACCORDINGLY.
- IMMEDIATELY APPLY AND COMPACT STONE BASE FOR BUILDING PAD TO $\pm 1/2$ " PRIOR TO EXCAVATING INTERIOR AND PERIMETER FOOTINGS.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ADJUTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE. AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
- THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
- A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, AND HIGHER STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- BUILDING TO BE SERVICED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STAKES PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
- AS-BUILT PLANS SHALL BE SUBMITTED TO THE HIGHWAY DEPARTMENT AND THE PLANNING BOARD.
- INVERTS AND SHELVES; MANHOLES SHALL HAVE A BRICK PAVED SHELVE AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT, AND SHELVE SHALL CONSIST OF BRICK MASONRY.
- FRAMES AND COVERS; MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" OR "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
- PROPOSED RIM ELEVATIONS OF DRAINAGE AND SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
- CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPlicate TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- EXISTING UTILITIES SHALL BE DISASSED BEFORE CONSTRUCTION.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- TOWN OF HUDSON ASSUMES NO RESPONSIBILITY FOR WATER QUALITY FOR ON-SITE WELLS WHICH MAY BE THE RESULT OF ROUTINE MAINTENANCE OF TOWN OR STATE ROADWAYS ADJACENT TO THE PROPERTY, SUCH AS SANDING, SALTING, PAVING, ETC.
- MUNICIPAL WATER SUPPLY IS NOT AVAILABLE IN THE VICINITY OF THIS SUBDIVISION FOR FIRE FIGHTING PURPOSES. TANKER TRUCKS WILL BE USED IN THE EVENT OF AN EMERGENCY SITUATION.
- ALL PROPOSED LOTS ARE TO BE ACCESSED FROM PROPOSED ROADWAY ONLY.
- ALL HOUSE, DRIVEWAY, AND LEACHFIELD LOCATIONS ARE CONCEPTUAL ONLY. THEY HAVE BEEN ADDED TO THE PLAN IN ORDER TO SERVE AS AN AID IN THE PLANNING PROCESS ONLY.
- CONTRACTOR IS TO INSTALL 12" ADS N-12 CHIMNEYS WITH FLARED END SECTIONS IN THE EXISTING DITCH LINE AT ALL PROPOSED DRIVEWAY LOCATIONS (IF NECESSARY).
- ADJUTING PROPERTIES AND INFRASTRUCTURE WILL FACE MINIMAL ADHERSITY FROM STORMWATER ASSOCIATED WITH THIS PROJECT.
- WETLAND BUFFER IMPACT AREAS TO BE SEEDED WITH NEW ENGLAND CONSERVATION/WILDLIFE MIX TO PROVIDE PERMANENT COVER OF GRASSES, WILDFLOWERS, AND LEGUMES. THIS SEED MIX PROVIDES FOR BOTH EROSION CONTROL AND WILDLIFE HABITAT VALUE FOR DISTURBED AREAS. THIS IS A NO MAINTENANCE SEED MIX AND SHOULD BE MOWED ONCE YEARLY IN THE FALL. APPLICATION RATE: 25LBS/ACRE @ 1750 SQ FT/LB
- A LIST OF FEDERALLY PROTECTED SPECIES RELEVANT TO THE PROJECT SITE WAS REQUESTED FROM USFWS THROUGH THE INFORMATION FOR PLANNING AND CONSULTATION (IFAC) PORTAL. THIS ORIGINAL SPECIES LIST INCLUDED A SINGLE THREATENED SPECIES, NORTHERN LONG EARED BAT (MYOTIS SEPTENTRIONALIS).
- THE PROJECT WILL NOT RESULT IN A PROHIBITED TAKE OF THIS SPECIES BASED ON THE FOLLOWING: THE NEW HAMPSHIRE DIVISION OF FOREST LANDS - NATURAL HERITAGE DATABASE WAS CONSULTED FOR THE PRESENCE OF KNOW HIBERNACULA OR ROOST TREES ON OR IN THE VICINITY OF THE PROJECT. NONE WERE IDENTIFIED. TREE CLEARING IS PROPOSED TO TAKE PLACE OUTSIDE OF THE PUP SEASON (JUNE 1 THROUGH JULY 31) AS SPECIFIED IN THE FINAL 4(D).

SLAB/SILL ELEVATIONS:

LOT	SLAB	SILL
13-1	288.0	295.5
13-2	284.5	302.0
13-3	287.5	305.0
13-4	282.5	303.0
13-5	288.5	295.0
13-6	296.5	304.0
13-7	284.5	302.0
13-8	281.5	299.0



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Design: JAC Draft: PSL Date: 7/10/15
 Checked: JAC Scale: AS SHOWN Project No.: 15031
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Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
 85 Portsmouth Ave. Civil Engineering Services 603-772-4748
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **GRADING, DRAINAGE AND UTILITY PLAN**
 Project: **LAUREL LANDING
SPEARE ROAD, HUDSON, NH 03051**
 Owner of Record: **DOUGLAS S. SANDERSON
11 NERSESIAN WAY, HAMPTON, NH 03842**

APPLICANT
 LAMONTAGNE BUILDERS
 317 SOUTH RIVER ROAD
 BEDFORD, NH 03110

TOTAL LOT AREA
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 33.22 ACRES

APPROVED - HUDSON, NH
 CONSERVATION COMMISSION

DATE: _____

DRAWING No.
C4
 SHEET 11 OF 23
 JBE PROJECT NO. 15031

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TEST PIT #	DEPTH	SOIL DESCRIPTION	TEST PIT #	DEPTH	SOIL DESCRIPTION	TEST PIT #	DEPTH	SOIL DESCRIPTION	TEST PIT #	DEPTH	SOIL DESCRIPTION
TEST PITS FOR SPEARE ROAD HUDSON, NEW HAMPSHIRE APRIL 5, 2016 JBE PROJECT NO. 15031 PERFORMED BY: GIFFORD COLBURN, JONES & BEACH ENGINEERS, INC., SSD #1839											
TEST PIT #20	0'-7'	TOPSOIL	TEST PIT #26	0'-8'	TOPSOIL	TEST PIT #42	0'-8'	TOPSOIL	TEST PIT #38	0'-8'	TOPSOIL
7'-32"	10YR 5/6	YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	8'-24"	10YR 5/6	YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	8'-16"	5YR 4/6	YELLOWISH RED FINE SANDY LOAM GRANULAR, FRIABLE	8'-16"	10YR 5/6	YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE
32'-60"	2.5Y 6/3	LIGHT YELLOWISH BROWN LOAMY SAND SINGLE GRAIN SAND	24'-48"	10YR 5/4	YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE COBBLES	16'-30"	10YR 6/4	LIGHT YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE	16'-30"	10YR 4/4	DARK YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE
SHWT = 32" ROOTS TO 32" NO H2O OBSERVED NO REFUSAL OBSERVED PERC RATE = 8 MIN/INCH			SHWT = 24" ROOTS TO 24" NO H2O OBSERVED REFUSAL @ 48" PERC RATE = 8 MIN/INCH			SHWT = 30" ROOTS TO 30" NO H2O OBSERVED REFUSAL @ 48" PERC RATE = 8 MIN/INCH			SHWT = 30" ROOTS TO 30" NO H2O OBSERVED REFUSAL @ 48" PERC RATE = 8 MIN/INCH		
TEST PIT #21	0'-8"	TOPSOIL	TEST PIT #27	0'-8"	TOPSOIL	TEST PIT #33	0'-12"	TOPSOIL	TEST PITS FOR SPEARE ROAD HUDSON, NEW HAMPSHIRE SEPTEMBER 22, 2016 JBE PROJECT NO. 15031		
8'-16"	10YR 5/6	YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	5'-12"	2.5Y 4/4	OLIVE BROWN FINE SANDY LOAM GRANULAR, FRIABLE	12'-24"	10YR 5/6	YELLOWISH BROWN SANDY LOAM	PERFORMED BY: GIFFORD COLBURN, JONES & BEACH ENGINEERS, INC., SSD #1839		
16'-48"	10YR 4/4	DARK YELLOWISH BROWN SANDY LOAM WITH REDOX	12'-24"	10YR 5/6	YELLOWISH BROWN SANDY LOAM	24'-48"	5Y 5/1	GRAY SAND GRAVEL / COBBLES	TEST PIT #21A	REFUSAL @ 52"	
SHWT = 16" ROOTS TO 16" NO H2O OBSERVED REFUSAL @ 48" PERC RATE = 8 MIN/INCH			SHWT = 24" ROOTS TO 24" NO H2O OBSERVED REFUSAL @ 36" PERC RATE = 8 MIN/INCH			SHWT = 24" ROOTS TO 24" NO H2O OBSERVED REFUSAL @ 48" PERC RATE = 8 MIN/INCH			TEST PIT #230	REFUSAL @ 68"	
TEST PIT #22	0'-8"	TOPSOIL	TEST PIT #28	0'-8"	TOPSOIL	TEST PIT #34	0'-8"	TOPSOIL	TEST PIT #23C	REFUSAL @ 56"	
8'-24"	10YR 5/6	YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	8'-16"	2.5Y 4/4	OLIVE BROWN FINE SANDY LOAM GRANULAR, FRIABLE	8'-16"	7.5Y 4/6	STRONG BROWN FINE SANDY LOAM GRANULAR, FRIABLE	TEST PIT #23D	REFUSAL @ 68"	
24'-48"	10YR 4/4	DARK YELLOWISH BROWN SANDY LOAM WITH REDOX	16'-30"	10YR 5/6	YELLOWISH BROWN SANDY LOAM	16'-26"	10YR 5/4	YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE	TEST PIT #23E	REFUSAL @ 56"	
SHWT = 24" ROOTS TO 24" NO H2O OBSERVED REFUSAL @ 48" PERC RATE = 8 MIN/INCH			SHWT = 30" ROOTS TO 30" NO H2O OBSERVED REFUSAL @ 48" PERC RATE = 8 MIN/INCH			SHWT = 26" ROOTS TO 24" NO H2O OBSERVED REFUSAL @ 54" PERC RATE = 8 MIN/INCH			TEST PIT #23F	REFUSAL @ 68"	
TEST PIT #23	0'-8"	TOPSOIL	TEST PIT #29	0'-8"	TOPSOIL	TEST PIT #35	0'-10"	TOPSOIL / FOREST MAT	TEST PIT #23G	REFUSAL @ 68"	
8'-20"	10YR 5/6	YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	8'-20"	7.5YR 4/4	BROWN FINE SANDY LOAM GRANULAR, FRIABLE	10'-24"	7.5Y 4/6	STRONG BROWN FINE SANDY LOAM GRANULAR, FRIABLE	TEST PIT #23H	REFUSAL @ 54"	
20'-33"	10YR 4/4	DARK YELLOWISH BROWN SANDY LOAM WITH REDOX	20'-30"	10YR 5/6	YELLOWISH BROWN SANDY LOAM	24'-32"	10YR 5/4	YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE	TEST PIT #23I	NO REFUSAL TO 72"	
SHWT = 24" ROOTS TO 24" NO H2O OBSERVED REFUSAL @ 48" PERC RATE = 8 MIN/INCH			SHWT = 30" ROOTS TO 30" NO H2O OBSERVED REFUSAL @ 48" PERC RATE = 8 MIN/INCH			SHWT = 32" ROOTS TO 32" NO H2O OBSERVED NO REFUSAL OBSERVED PERC RATE = 8 MIN/INCH			TEST PIT #23J	REFUSAL @ 68"	
TEST PIT #24	0'-8"	TOPSOIL	TEST PIT #30	0'-8"	TOPSOIL	TEST PIT #36	0'-8"	TOPSOIL	TEST PIT #23K	REFUSAL @ 68"	
8'-20"	10YR 5/6	YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	8'-20"	7.5YR 4/4	BROWN FINE SANDY LOAM GRANULAR, FRIABLE	8'-16"	5YR 4/6	YELLOWISH RED FINE SANDY LOAM GRANULAR, FRIABLE	6'-12"	2.5Y 4/4	OLIVE BROWN FINE SANDY LOAM GRANULAR, FRIABLE
20'-33"	10YR 4/4	DARK YELLOWISH BROWN SANDY LOAM WITH REDOX	20'-30"	10YR 5/6	YELLOWISH BROWN SANDY LOAM	16'-28"	10YR 6/4	LIGHT YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE	24'-84"	5Y 5/1	GRAY SAND GRAVEL / COBBLES
SHWT = 24" ROOTS TO 24" NO H2O OBSERVED REFUSAL @ 48" PERC RATE = 8 MIN/INCH			SHWT = 30" ROOTS TO 30" NO H2O OBSERVED REFUSAL @ 48" PERC RATE = 8 MIN/INCH			SHWT = 28" ROOTS TO 28" NO H2O OBSERVED REFUSAL @ 36" PERC RATE = 8 MIN/INCH			SHWT = 24" ROOTS TO 24" NO H2O OBSERVED REFUSAL @ 64" PERC RATE = 8 MIN/INCH		
TEST PIT #25	0'-8"	TOPSOIL	TEST PIT #31	0'-8"	TOPSOIL	TEST PIT #37	0'-8"	TOPSOIL	TEST PIT #23L	REFUSAL @ 55"	
8'-20"	10YR 5/6	YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	8'-14"	5YR 4/6	YELLOWISH RED FINE SANDY LOAM GRANULAR, FRIABLE	16'-60"	2.5Y 5/1	GRAY SAND FIRM WITH REDOX	TEST PIT #23M	REFUSAL @ 57"	
20'-33"	10YR 4/4	DARK YELLOWISH BROWN SANDY LOAM WITH REDOX	14'-24"	10YR 6/4	LIGHT YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE	SHWT = 16" ROOTS TO 16" NO H2O OBSERVED NO REFUSAL OBSERVED PERC RATE = 8 MIN/INCH			TEST PIT #23N	REFUSAL @ 72"	
SHWT = 24" ROOTS TO 24" NO H2O OBSERVED REFUSAL @ 48" PERC RATE = 8 MIN/INCH			SHWT = 26" ROOTS TO 26" NO H2O OBSERVED REFUSAL @ 36" PERC RATE = 8 MIN/INCH			TEST PIT #23O	REFUSAL @ 60"		TEST PIT #23P	REFUSAL @ 60"	
TEST PIT #26	0'-8"	TOPSOIL	TEST PIT #32	0'-8"	TOPSOIL	TEST PIT #38	0'-8"	TOPSOIL	TEST PIT #23Q	REFUSAL @ 60"	
6'-24"	10YR 5/6	YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	8'-14"	5YR 4/6	YELLOWISH RED FINE SANDY LOAM GRANULAR, FRIABLE	8'-32"	10YR 5/6	YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	8'-14"	5YR 4/6	YELLOWISH RED FINE SANDY LOAM GRANULAR, FRIABLE
24'-48"	5Y 5/1	GRAY SAND GRAVEL / BOULDERS WITH REDOX	14'-24"	10YR 6/4	LIGHT YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE	32'-48"	10YR 5/4	YELLOWISH BROWN LOAMY SAND GRAVELLY	14'-24"	10YR 6/4	LIGHT YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE
SHWT = 24" ROOTS TO 24" NO H2O OBSERVED REFUSAL @ 48" PERC RATE = 8 MIN/INCH			SHWT = 24" ROOTS TO 24" NO H2O OBSERVED REFUSAL @ 48" PERC RATE = 8 MIN/INCH			SHWT = 32" ROOTS TO 8" NO H2O OBSERVED REFUSAL @ 48" PERC RATE = 8 MIN/INCH			24'-54"	10YR 5/4	YELLOWISH BROWN SANDY LOAM FIRM GRAVELLY
TEST PIT #27	0'-8"	TOPSOIL	TEST PIT #33	0'-8"	TOPSOIL	TEST PIT #39	0'-8"	TOPSOIL	SHWT = 24" ROOTS TO 24" NO H2O OBSERVED REFUSAL @ 54" PERC RATE = 8 MIN/INCH		
6'-24"	10YR 5/6	YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	8'-14"	5YR 4/6	YELLOWISH RED FINE SANDY LOAM GRANULAR, FRIABLE	8'-14"	5YR 4/6	YELLOWISH RED FINE SANDY LOAM GRANULAR, FRIABLE			
24'-48"	5Y 5/1	GRAY SAND GRAVEL / BOULDERS WITH REDOX	14'-24"	10YR 6/4	LIGHT YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE	14'-24"	10YR 6/4	LIGHT YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE			
SHWT = 24" ROOTS TO 24" NO H2O OBSERVED REFUSAL @ 48" PERC RATE = 8 MIN/INCH			SHWT = 24" ROOTS TO 24" NO H2O OBSERVED REFUSAL @ 36" PERC RATE = 8 MIN/INCH								

Design: JAC	Draft: PSL	Date: 7/10/15
Checked: JAC	Scale: AS SHOWN	Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg		
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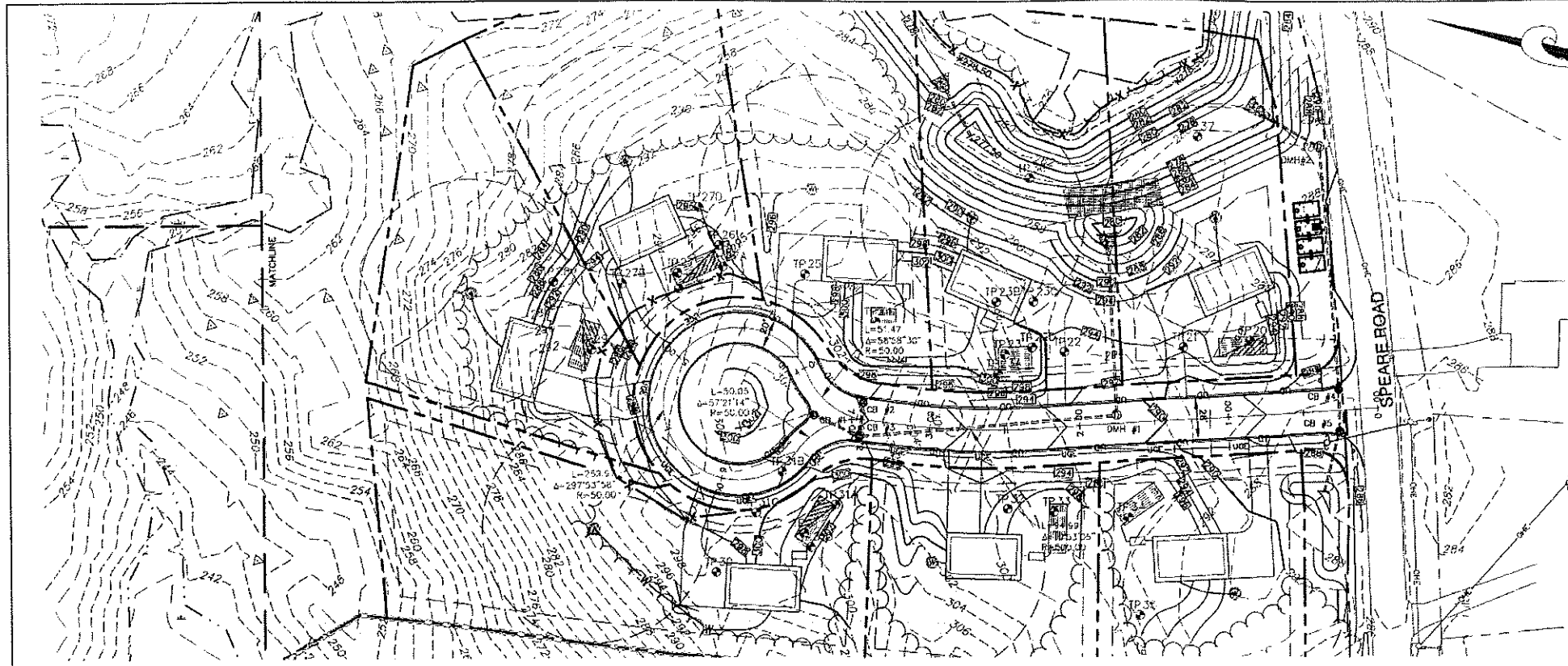


REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-S AND 13-B	PSL

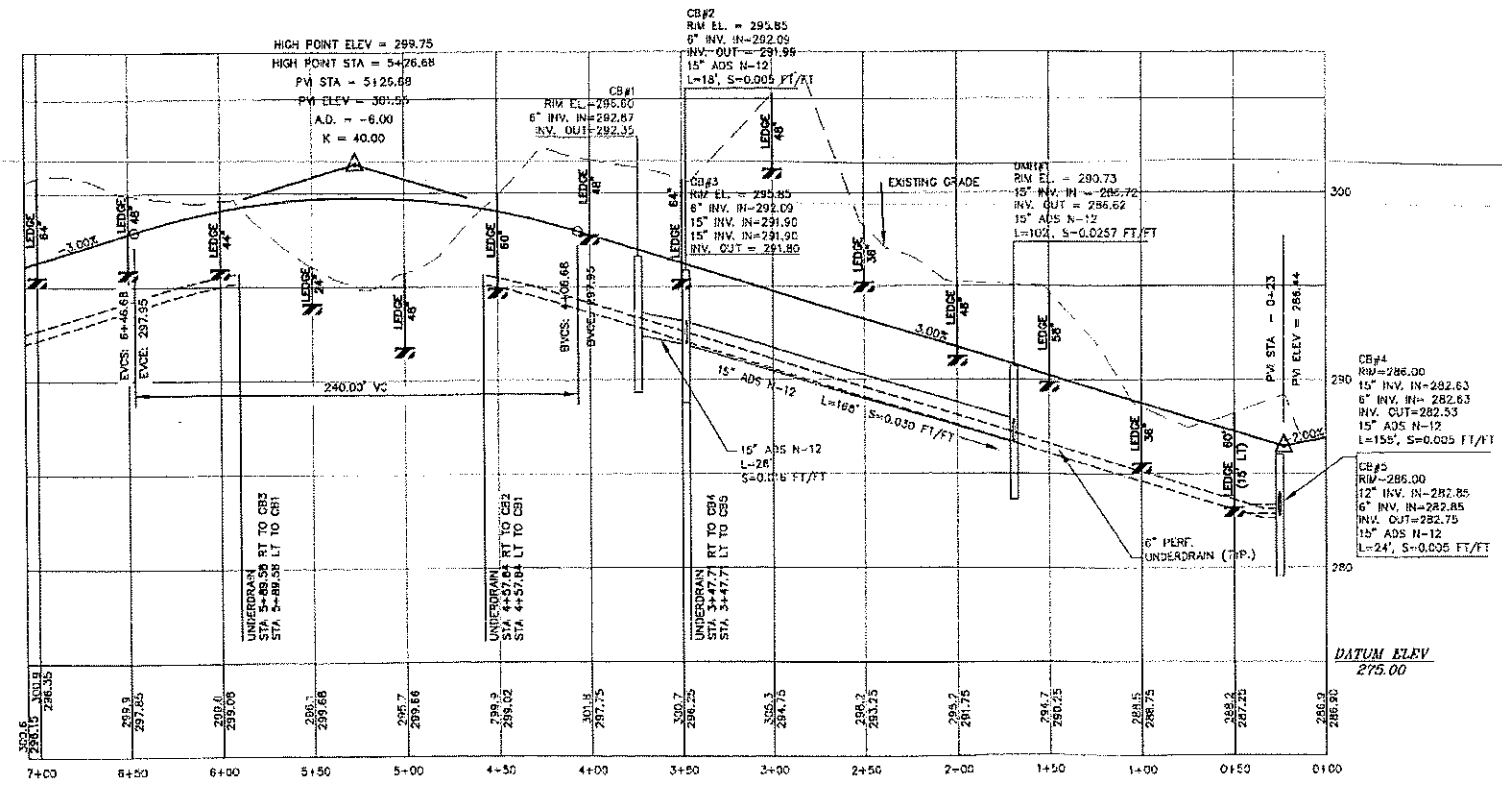
Designed and Produced in NH
J&B Jones & Beach Engineers, Inc.
 66 Portsmouth Ave. | Civil Engineering Services | 603-772-4746
 PO Box 219 | Stratham, NH 03885 | FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	TEST PIT LOGS
Project:	LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051
Owner of Record:	DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842

DRAWING No.
N1
 SHEET 12 OF 23
 JBE PROJECT NO. 15031

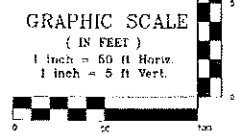


- NOTES:**
- THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE CONSTRUCTION SITE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND BE MADE ACCESSIBLE TO THE PUBLIC. THE CONSTRUCTION SITE OPERATOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA REGIONAL OFFICE SEVEN DAYS PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. EPA WILL POST THE NOI AT: [HTTP://CFPUB.EPA.GOV/NPDES/STORMWATER/NOI/NOISEARCH.CFM](http://cfpub.epa.gov/npdes/stormwater/noi/noisearch.cfm). AUTHORIZATION IS GRANTED UNDER THE PERMIT ONCE THE NOI IS SHOWN IN "ACTIVE" STATUS ON THIS WEBSITE. A COMPLETED NOTICE OF TERMINATION SHALL BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITEE IS RESPONSIBLE; OR
 - ANOTHER OPERATOR/PERMITEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED. PROVIDE DPW WITH A COPY OF THE NOTICE OF TERMINATION (NOT).
 - ALL ROAD AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE TOWN, AND RDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
 - AS-BUILT PLANS TO BE SUBMITTED TO THE TOWN PRIOR TO ACCEPTANCE OF THE ROADWAY.
 - DEVELOPER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
 - CONTRACTOR TO COORDINATE AND COMPLETE ALL WORK REQUIRED FOR THE RELOCATION AND/OR INSTALLATION OF ELECTRIC, CATV, TELEPHONE, AND FIRE ALARM PER UTILITY DESIGN AND STANDARDS. LOCATIONS SHOWN ARE APPROXIMATE. LOW PROFILE STRUCTURES SHALL BE USED TO THE GREATEST EXTENT POSSIBLE.
 - THIS PLAN HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE. FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
 - SILTATION AND EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN UNTIL SITE HAS BEEN STABILIZED WITH PERMANENT VEGETATION. SEE DETAIL SHEET E1 FOR ADDITIONAL NOTES ON EROSION CONTROL.
 - ALL DISTURBED AREAS NOT STABILIZED BY NOVEMBER 1st SHALL BE COVERED WITH AN EROSION CONTROL BLANKET. PRODUCT TO BE SPECIFIED BY THE ENGINEER.
 - FINAL DRAINAGE, GRADING AND EROSION PROTECTION MEASURES SHALL CONFORM TO REGULATIONS OF THE PUBLIC WORKS DEPARTMENT.
 - CONTRACTOR TO VERIFY EXISTING UTILITIES AND TO NOTIFY ENGINEER OF ANY DISCREPANCY IMMEDIATELY.
 - ROADWAY INTERSECTIONS WITH SLOPE GRANITE CURB SHALL EXTEND AROUND RADIUS WITH 6" SRAIGHT PIECE ALONG TANGENT.
 - 6" PERFORATED ADS UNDER DRAIN PLACEMENT TO BE DETERMINED BY THE ENGINEER DURING TIME OF SUBGRADE INSPECTION. CONTRACTOR TO ADJUST LOCATION IN THE FIELD ONLY WITH PRIOR APPROVAL OF PROJECT ENGINEER OR PUBLIC WORKS DEPARTMENT.
 - ALL DRIVEWAYS TO BE CONSTRUCTED MAXIMUM 10% SLOPE. SEE DETAIL SHEET. ALL DRIVEWAYS TO HAVE CULVERTS UNLESS APPROVED BY THE TOWN ROAD AGENT.
 - ENGINEER TO INSTALL PERMANENT BENCH-MARK (REINFORCED GRANITE MARKER) AT LOCATIONS SHOWN ON PLANS. BENCH MARKS TO BE TIED TO STATE PLANE COORDINATE SYSTEM.
 - DRAINAGE INSPECTION AND MAINTENANCE SCHEDULE. SILT FENCING WILL BE INSPECTED DURING AND AFTER STORM EVENTS TO ENSURE THAT THE FENCE STILL HAS INTEGRITY AND IS NOT ALLOWING SEDIMENT TO PASS. SEDIMENT BUILD UP IN SWALES WILL BE REMOVED IF IT IS DEEPER THAN SIX INCHES, AND IS TO BE REMOVED FROM SWALES BELOW THE BUILT OF CULVERTS SEMIANNUALLY, AS WELL AS FROM CATCH BASINS. FOLLOWING MAJOR STORM EVENTS, THE STAGE DISCHARGE OUTLET STRUCTURES ARE TO BE INSPECTED AND ANY DEBRIS REMOVED FROM THE ORIFICE, TRASH TRAP AND EMERGENCY SPILL WAY. INFREQUENTLY, SEDIMENT MAY ALSO HAVE TO BE REMOVED FROM THE SWAMP OF THE STRUCTURE.
 - CONTRACTOR MUST HAVE A VALID PIPE INSTALLER'S LICENSE FROM THE PUBLIC WORKS DEPARTMENT BEFORE WORKING ON ANY DRAINAGE AND/OR UTILITY CONSTRUCTION.
 - ALL DRAINAGE INFRASTRUCTURE SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING ANY RUNOFF TO IT.
 - DETENTION POND REQUIRES TIMELY MAINTENANCE AND SHOULD BE INSPECTED AFTER EVERY MAJOR STORM EVENT, AS WELL AS FREQUENTLY DURING THE FIRST YEAR OF OPERATION, AND ANNUALLY THEREAFTER. EVERY FIVE YEARS, THE SERVICES OF A PROFESSIONAL ENGINEER SHOULD BE RETAINED TO PERFORM A THOROUGH INSPECTION OF THE DETENTION POND AND ITS INFRASTRUCTURE. ANY DEBRIS AND SEDIMENT ACCUMULATIONS SHOULD BE REMOVED FROM THE OUTLET STRUCTURE(S) AND EMERGENCY SPILLWAYS) AND DISPOSED OF PROPERLY. THE DETENTION POND BERM SHOULD BE MOWED AT LEAST ONCE ANNUALLY SO AS TO PREVENT THE ESTABLISHMENT OF WOODY VEGETATION. TREES SHOULD NEVER BE ALLOWED TO GROW ON A DETENTION POND BERM AS THEY MAY DESTABILIZE THE STRUCTURE AND INCREASE THE POTENTIAL FOR FAILURE. AREAS SHOWING SIGNS OF EROSION OR THIN OR DYING VEGETATION SHOULD BE REPAIRED IMMEDIATELY BY WHATEVER MEANS NECESSARY, WITH THE EXCEPTION OF FERTILIZER. RODENT BORROWS SHOULD BE REPAIRED IMMEDIATELY AND THE ANIMALS SHOULD BE TRAPPED AND RELOCATED IF THE PROBLEM PERSISTS.
 - THE DETENTION POND IS TO BE CONSTRUCTED PRIMARILY THROUGH EXCAVATION IN THOSE AREAS WHERE THE BERM MUST BE CONSTRUCTED BY THE PLACEMENT OF FILL. THE ENTIRE EMBANKMENT AREA OF THE DETENTION POND SHALL BE EXCAVATED TO PROPOSED GRADE, STRIPPED OF ALL ORGANIC MATERIALS, COMPACTED TO AT LEAST 95% AND SCARIFIED TO THE PLACEMENT OF THE EMBANKMENT MATERIAL. IN THE EVENT THE FOUNDATION MATERIAL EXPOSED DOES NOT ALLOW THE SPECIFIED COMPACTION, AN ADDITIONAL ONE FOOT (1") OF EXCAVATION AND THE PLACEMENT OF A ONE FOOT (1") THICK, TWELVE FOOT (12") WIDE PAD OF THE MATERIAL DESCRIBED IN THE NOTE BELOW, COMPACTED TO 95% OF ASTM D-1557 MAY BE NECESSARY. PLACEMENT AND COMPACTION SHOULD OCCUR AT A MOISTURE CONTENT OF OPTIMUM PLUS OR MINUS 3%, AND NO FROZEN OR ORGANIC MATERIAL SHOULD BE PLACED WITHIN FOR ANY REASON.
 - EMBANKMENT MATERIAL FOR THE BERMS SHALL BE CLEAN MINERAL SOIL WITH A CLAY COMPONENT FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES, AND SHALL CONTAIN NO ROCKS OR LUMPS OVER FOUR INCHES (4") IN DIAMETER. THIS MATERIAL SHOULD BE INSTALLED IN 6" LIFTS AND COMPACTED TO 95% OF ASTM D-1557, AND SHOULD MEET THE FOLLOWING SPECIFICATIONS: 4" PASSING 100%, #4 SIEVE 25-70%, #200 SIEVE 10-25% (W TOTAL SAMPLE).
 - EMBANKMENT IS TO HAVE 3:1 SIDE SLOPES (MAX.) AND IS TO BE BROUGHT TO SPECIFIED GRADE PRIOR TO THE ADDITION OF LOAM (4" MINIMUM) SO AS TO ALLOW FOR THE COMPACTION OF THE STRUCTURE OVER THE WHILE MAINTAINING THE PROPER BERM ELEVATION.
 - COMPACTION TESTING SERVICES (I.E. NUCLEAR DENSITY TESTS) ARE TO BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE CONTRACTOR FOR ROADWAY CONSTRUCTION, AND ON THE FOUNDATION OF THE BERM AND ON EVERY LIFT OF NEWLY PLACED MATERIAL.
 - SLOPED GRANITE CURB TO BE TIPPED DOWN AT ALL DRIVEWAY ENTRANCES BY THE CONTRACTOR. ALL DRIVEWAY LOCATIONS SHALL BE REVIEWED AND APPROVED BY PUBLIC WORKS PRIOR TO ISSUANCE OF BUILDING PERMIT.
 - NO IRRIGATION PIPES OR SPRINKLER HEADS SHALL BE LOCATED WITHIN TOWN RIGHT OF WAY.
 - FILTER STRIP AREAS SHALL HAVE ALL Boulders REMOVED FROM THE ENTIRE LENGTH AND WIDTH AND SHALL BE IMMEDIATELY STABILIZED WITH VEGETATION, OR THE CONTRACTOR SHALL ORIENT THE FILTER STRIP AND LEVEL SPREADER SO AS TO ALLOW DRAINAGE FLOW OVER A BOULDER FREE AREA OF EQUAL LENGTH AND WIDTH. ENGINEER SHALL BE NOTIFIED TO INSPECT ALL LEVEL SPREADERS AND FILTER STRIP LOCATIONS AFTER ROAD SUBGRADE IS ESTABLISHED. NO STORMWATER SHALL BE DIRECTED TO THE LEVEL SPREADER AND FILTER STRIP UNTIL THE AREA HAS BEEN STABILIZED WITH VEGETATION.



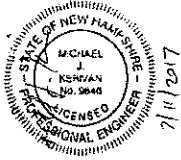
DRAINAGE TABLE

<p>CB#1 - 4" ID RIM EL. = 296.60 6" INV. IN = 292.87 INV. OUT = 292.35 15" ADS N-12 L=28' S=0.016</p>	<p>CB#5 - 4" ID RIM EL. = 286.00 6" INV. IN = 282.85 12" INV. IN = 282.85 INV. OUT = 282.75 15" ADS N-12 L=24' S=0.006</p>
<p>CB#2 - 4" ID RIM EL. = 295.85 6" INV. IN = 292.09 INV. OUT = 291.99 15" ADS N-12 L=18' S=0.005</p>	<p>CB#3 - 4" ID RIM EL. = 295.85 6" INV. IN = 292.00 15" INV. IN = 291.90 15" INV. IN = 291.90 INV. OUT = 291.80 L=188' S=0.030</p>
<p>CB#4 - 4" ID RIM EL. = 286.00 6" INV. IN = 282.63 15" INV. IN = 282.53 INV. OUT = 282.53 L=159' S=0.005</p>	<p>CB#6 - 4" ID RIM EL. = 286.00 6" INV. IN = 282.63 15" INV. IN = 282.53 INV. OUT = 282.53 L=159' S=0.005</p>



Design: JAC Draft: PSL Date: 7/10/15
 Checked: JAC Scale: AS SHOWN Project No.: 15031
 Drawing Name: 15031-PLAN SET.dwg

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REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

95 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03305 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

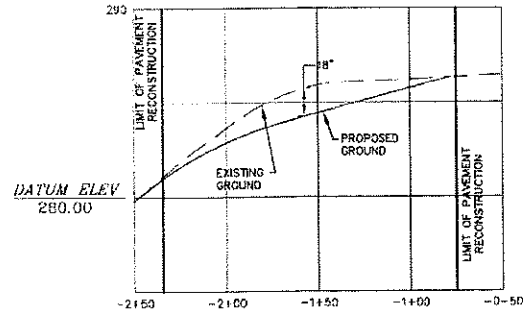
Plan Name: **PLAN AND PROFILE**

Project: **LAUREL LANDING
SPEARE ROAD, HUDSON, NH 03051**

Owner of Record: **DOUGLAS S. SANDERSON
11 NERSESIAN WAY, HAMPTON, NH 03842**

DRAWING No. **P1**

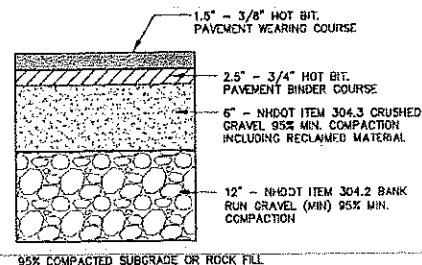
SHEET 13 OF 23
JBE PROJECT NO. 15031



SECTION AA
SCALE: 1"=50' HORIZ.
SCALE: 1"=5' VERT.

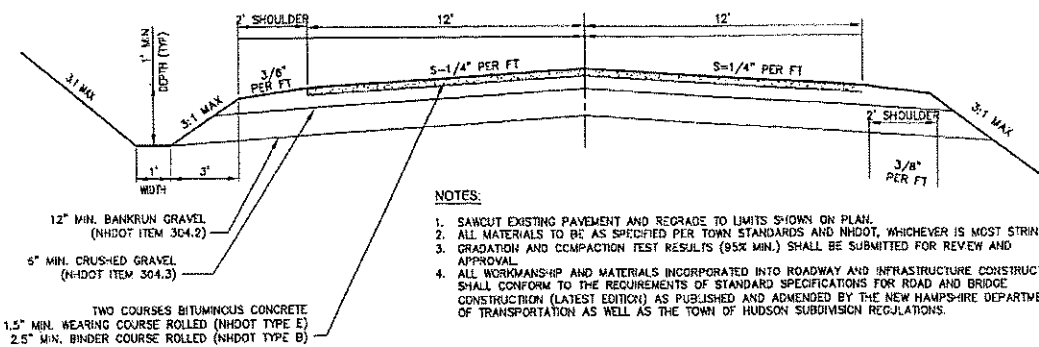
NOTES:

- SIGHT DISTANCE MEASURED FROM A HEIGHT OF 3.5' AT THE CENTERLINE OF THE PROPOSED ROAD TO AN OBJECT 4.35' IN HEIGHT 400' IN BOTH DIRECTIONS.
- SPEARE ROAD RECONSTRUCTION TO TAKE PLACE WHEN SCHOOL IS NOT IN SESSION.
- CONTRACTOR CAN REQUEST ROAD CLOSURE TO THE TOWN OF HUDSON FOR APPROVAL. CONTRACTOR WILL PROVIDE DETOUR SIGNAGE AND NECESSARY TRAFFIC CONTROL.
- PAVEMENT AND GRAVELS TO BE REMOVED AND REPLACED IN KIND, USE TYPICAL ROADWAY SECTION BELOW AS MINIMUM STANDARDS.
- SAWCUT SPEARE ROAD PAVEMENT AND THREE DRIVEWAYS TO BE RECONSTRUCTED.



DRIVEWAY RECONSTRUCTION DETAIL

NOT TO SCALE

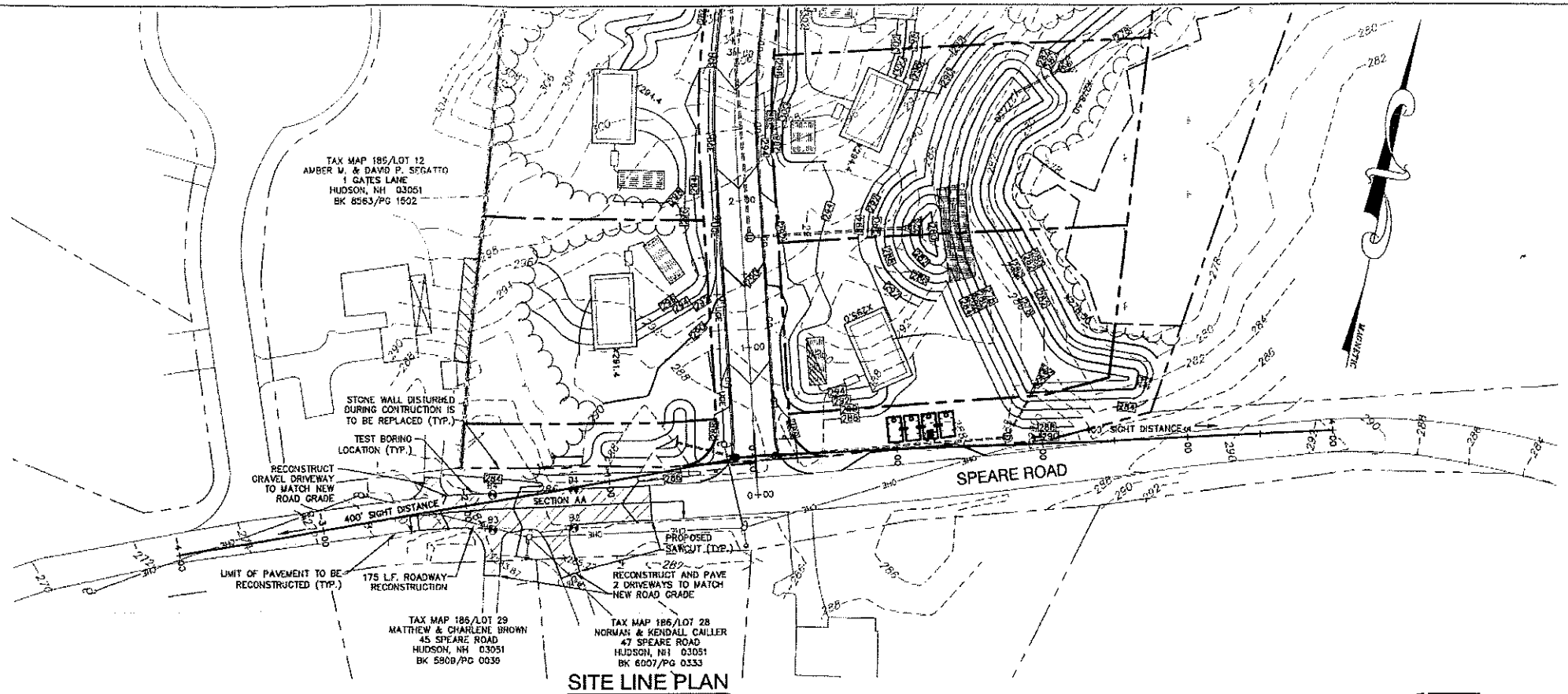


TYPICAL ROADWAY SECTION SPEARE ROAD

NOT TO SCALE

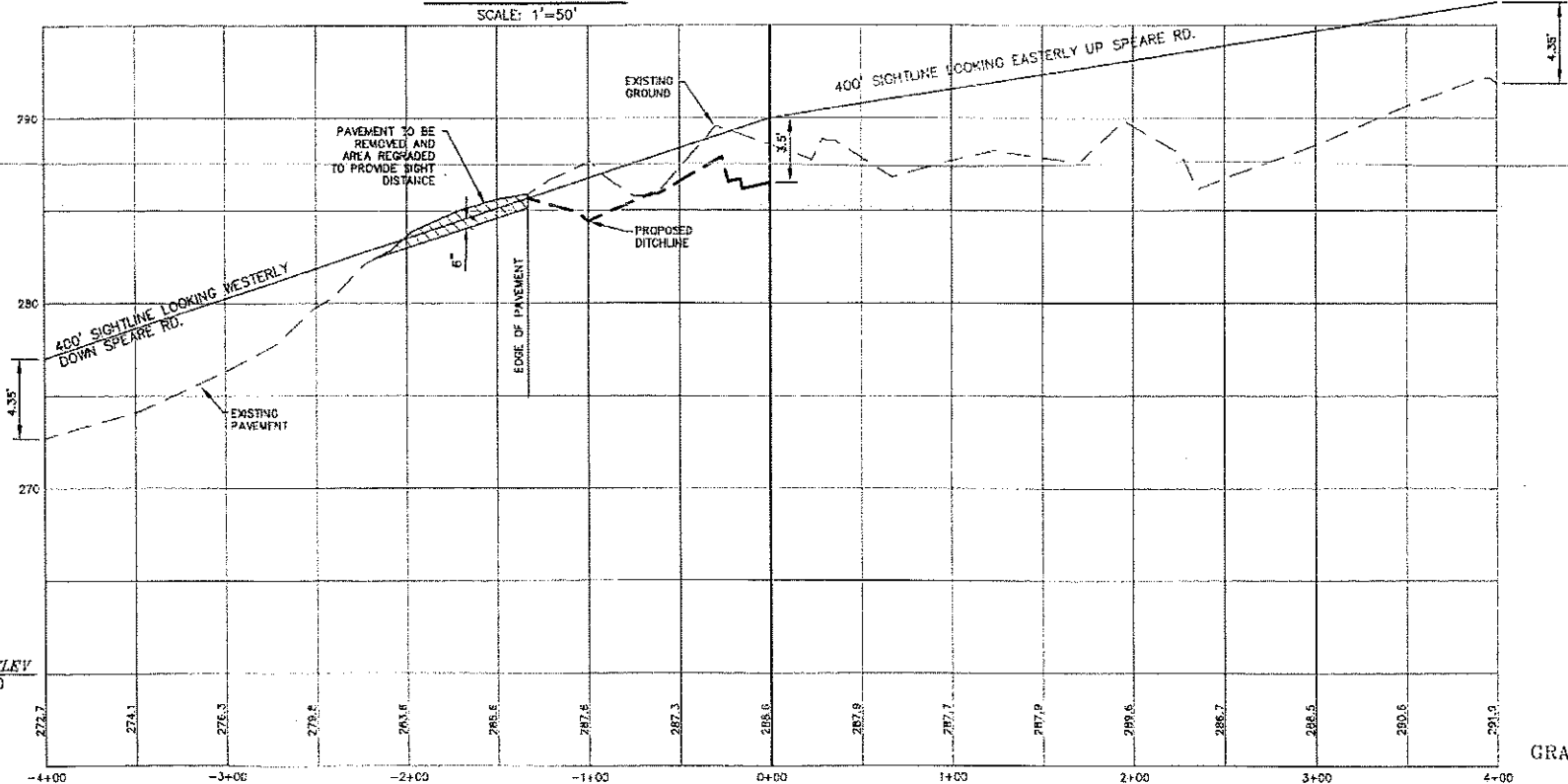
NOTES:

- SAWCUT EXISTING PAVEMENT AND REGRADE TO LIMITS SHOWN ON PLAN.
- ALL MATERIALS TO BE AS SPECIFIED PER TOWN STANDARDS AND NHDOT, WHICHEVER IS MOST STRINGENT.
- GRADATION AND COMPACTION TEST RESULTS (95% MIN.) SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
- ALL WORKMANSHIP AND MATERIALS INCORPORATED INTO ROADWAY AND INFRASTRUCTURE CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) AS PUBLISHED AND AMENDED BY THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION AS WELL AS THE TOWN OF HUDSON SUBDIVISION REGULATIONS.



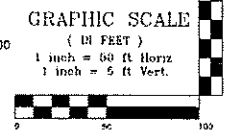
SITE LINE PLAN

SCALE: 1"=50'



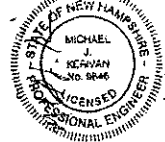
SIGHT LINE PROFILE

SCALE: 1"=50' HORIZ.
SCALE: 1"=5' VERT.



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Design: JAC	Draft: PSL	Date: 7/10/16
Checked: JAC	Scale: AS SHOWN	Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg		
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11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL.	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL
REV.	DATE	REVISION	BY

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Civil Engineering Services

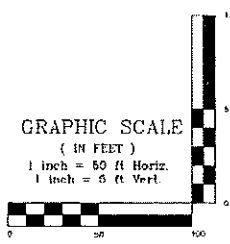
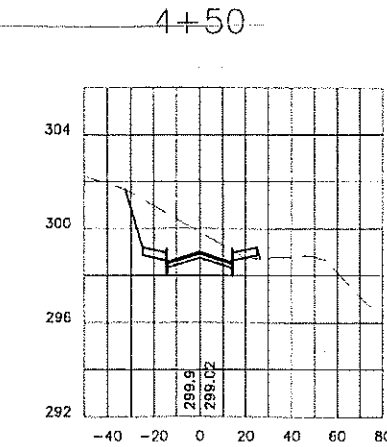
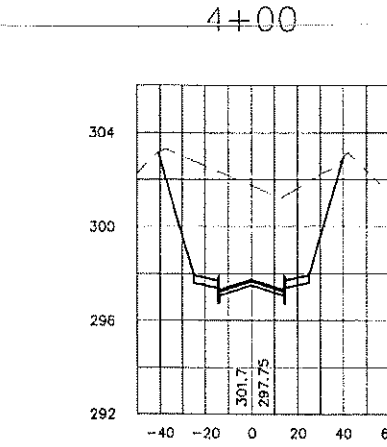
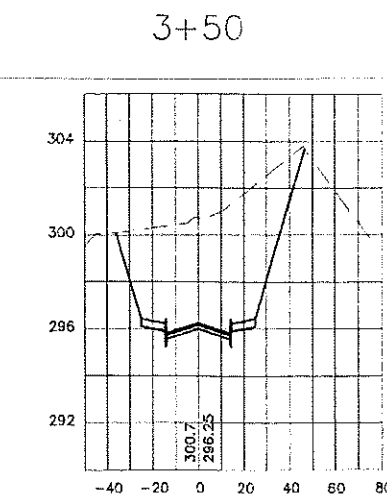
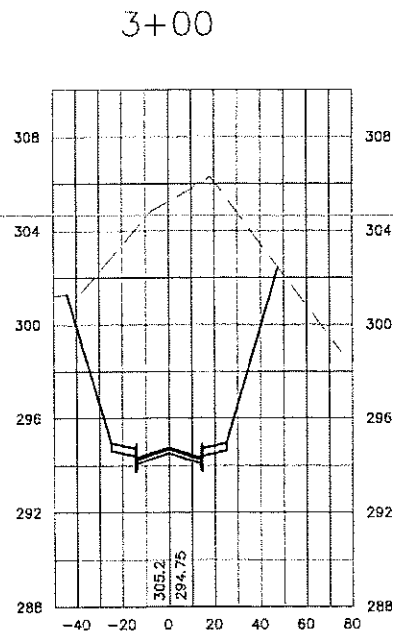
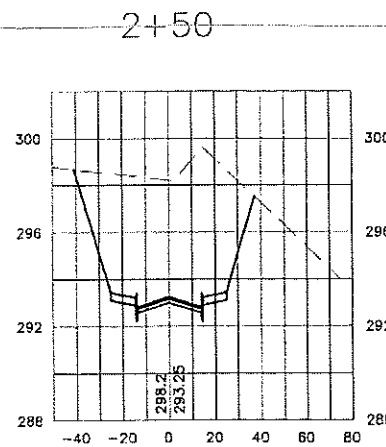
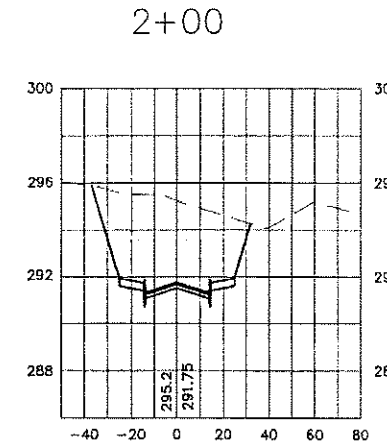
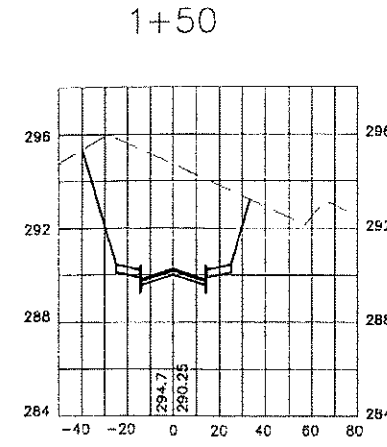
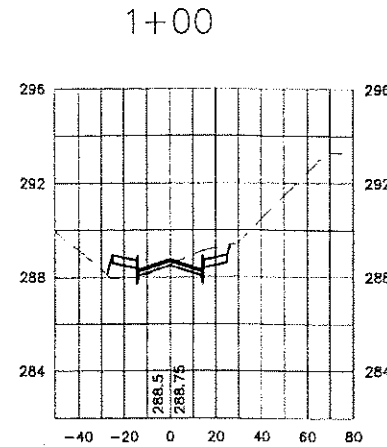
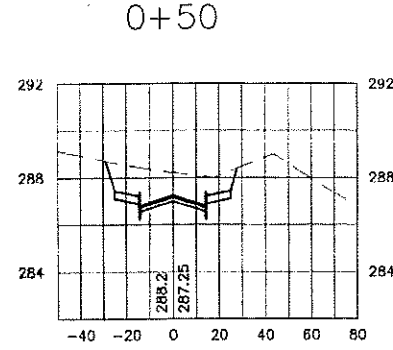
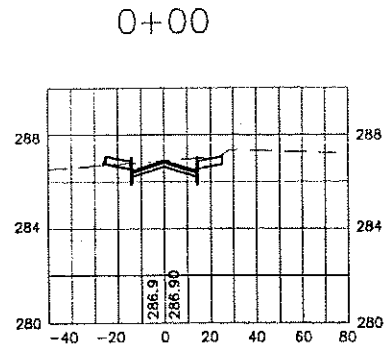
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

803-772-4748 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	HIGHWAY ACCESS PLAN
Project:	LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051
Owner of Record:	DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842

DRAWING No.	H1
SHEET 14 OF 23	JBE PROJECT NO. 15031

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Design: JAC Draft: PSL Date: 7/10/15
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9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL

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Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **CROSS SECTIONS STA 0+00 TO 4+50**

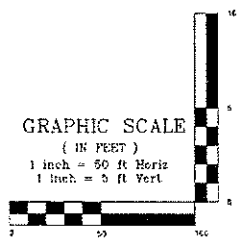
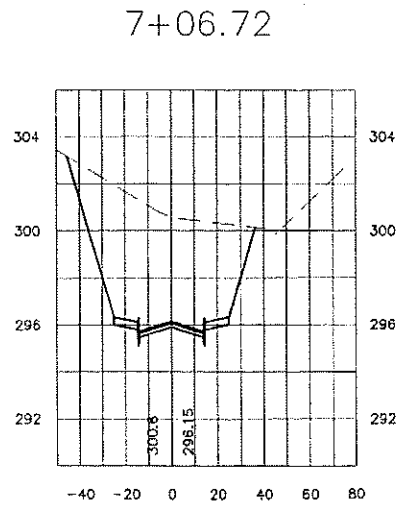
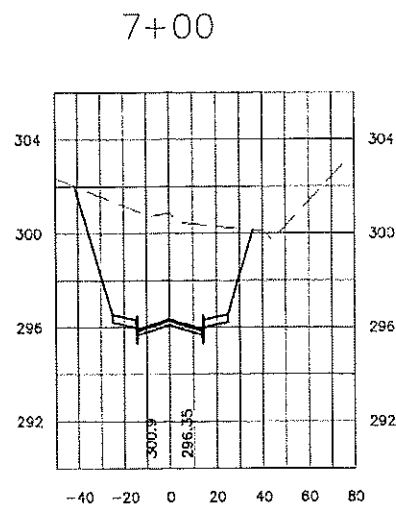
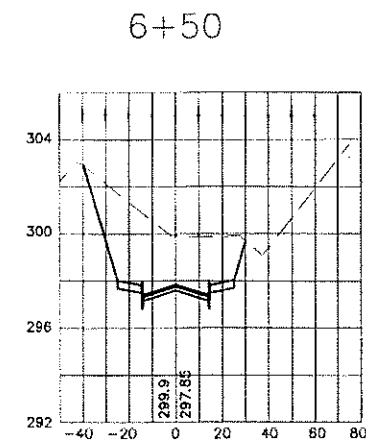
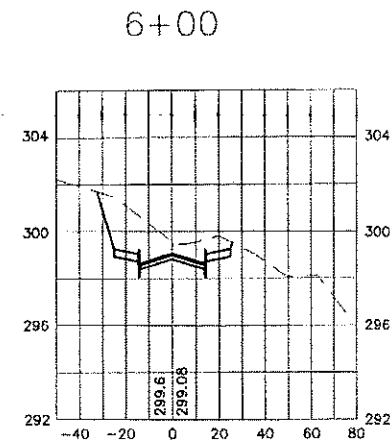
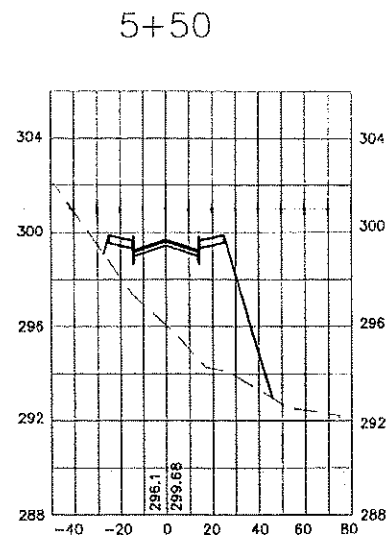
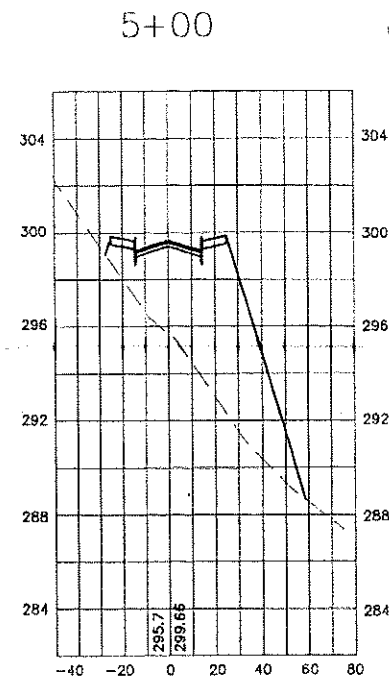
Project: **LAUREL LANDING
SPEARE ROAD, HUDSON, NH 03051**

Owner of Record: **DOUGLAS S. SANDERSON
11 NERSESIAN WAY, HAMPTON, NH 03842**

DRAWING No. **X1**

SHEET 15 OF 23
JBE PROJECT NO. 15031

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 Checked: JAC Scale: AS SHOWN Project No.: 15031
 Drawing Name: 15031-PLAN SET.dwg
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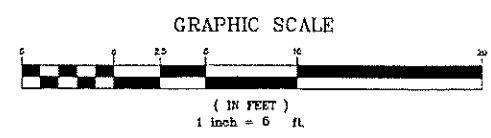
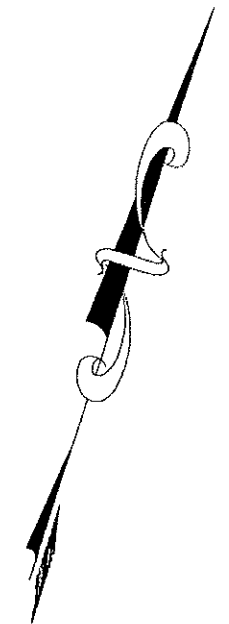
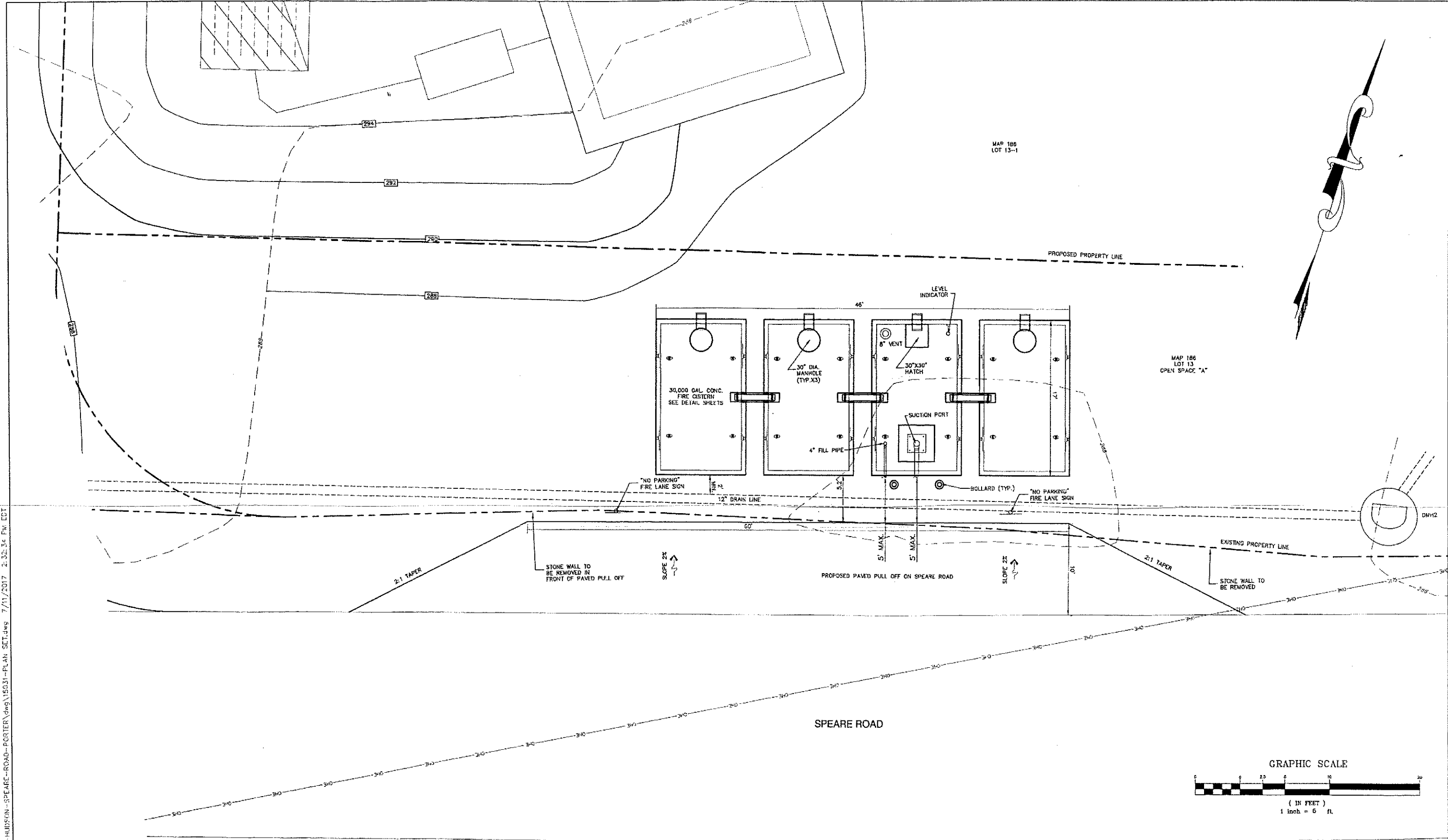
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10	6/7/17	REVISED H1 PLAN	PSL
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8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-0	PSL

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 Civil Engineering Services
 65 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **CROSS SECTIONS STA 5+00 TO 7+06.72**
 Project: **LAUREL LANDING
SPEAR ROAD, HUDSON, NH 03051**
 Owner of Record: **DOUGLAS S. SANDERSON
11 NERSESIAN WAY, HAMPTON, NH 03842**

DRAWING No.
X2
 SHEET 16 OF 23
 JBE PROJECT NO. 15031

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Design: JAC Draft: PSL Date: 7/10/15
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 Drawing Name: 15031-PLAN SET.dwg
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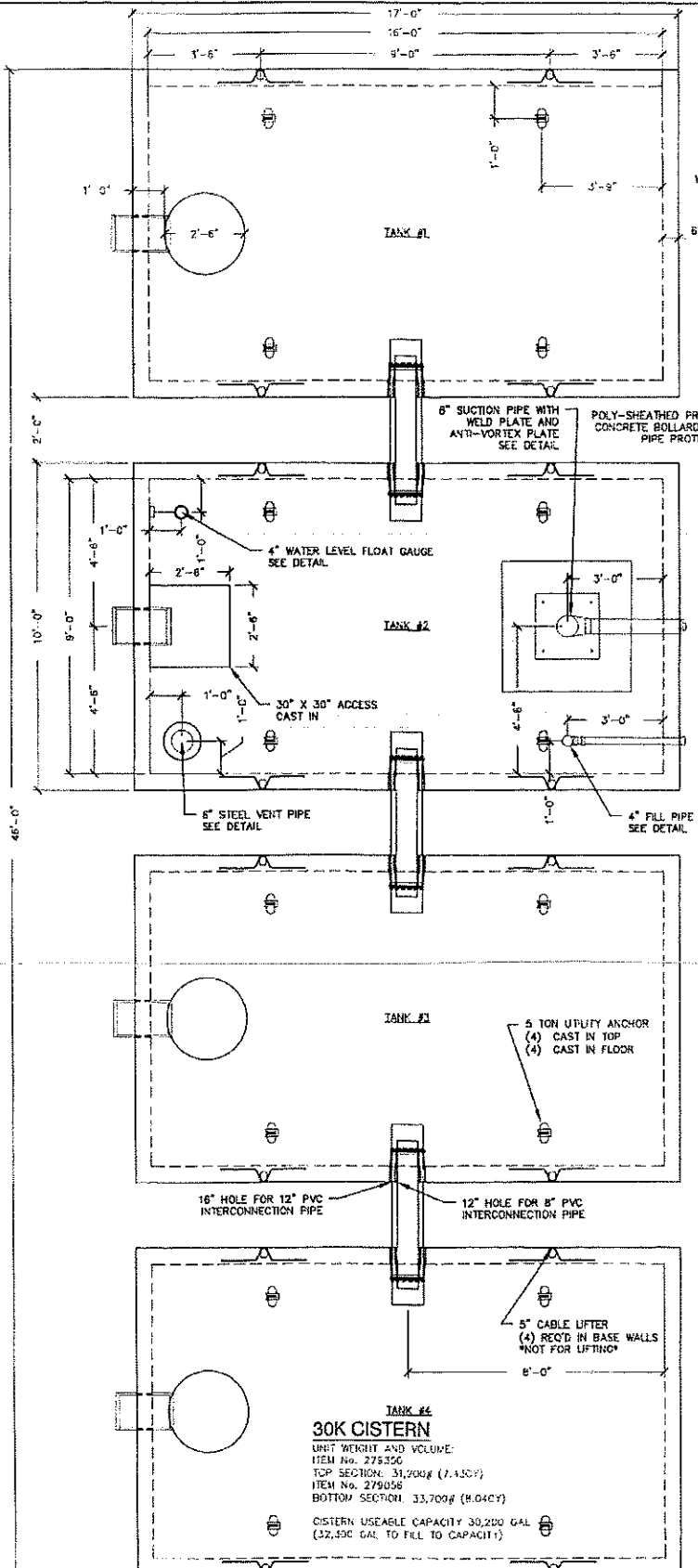
REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
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7	6/1/16	REVISED LOTS 13-6 AND 13-6	PSL

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 Civil Engineering Services
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 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	FIRE CISTERN PLAN VIEW
Project:	LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051
Owner of Record:	DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842

DRAWING No.
F1
 SHEET 17 OF 23
 JBE PROJECT NO. 15031

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30,000 GALLON CONCRETE CISTERN PLAN VIEW
SCALE: 3/8"=1'-0"

CISTERN SPECIFICATIONS

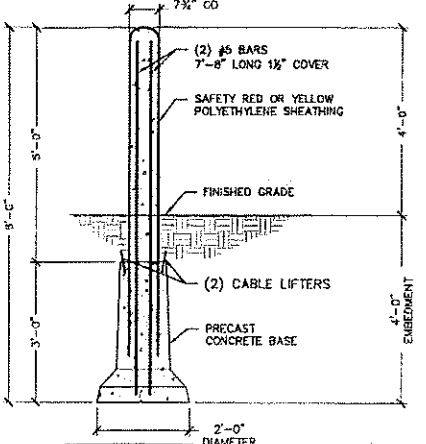
1. THE CISTERN SYSTEM SHALL BE DESIGNED FOR A 50 YEAR TROUBLE FREE LIFE EXPECTANCY.
2. THE ENTIRE CISTERN SYSTEM AND APPURTENANCES SHALL BE DESIGNED FOR H-20 HIGHWAY LOADING.
3. ALL SUCTION PIPING SHALL BE AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM) SCHEDULE 80 PVC WITH A DIAMETER OF 8 INCHES. ALL VENT PIPING SHALL BE ASTM SCHEDULE 80 PVC WITH A DIAMETER OF 6" WITH 1000 GPM MINIMUM CAPACITY. ALL PIPING LOCATED WITHIN THE TANK SHALL BE ASTM SCHEDULE 80 PVC WITH GLOUED JOINTS.
4. THE DISTANCE FROM THE BOTTOM OF THE SUCTION PIPE TO THE DRY HYDRANT SUCTION PIPE SHALL NOT EXCEED FIFTEEN (15) FEET VERTICALLY.
5. ALL HORIZONTAL SUCTION PIPES SHALL BE INSTALLED SLIGHTLY SLOPED TO PREVENT ANY WATER FROM REMAINING IN THE PIPES AFTER PUMPING.
6. BEDDING FOR THE CISTERN SHALL CONSIST OF A MINIMUM OF TWELVE (12) INCHES COMPACTED OF 3/8" TO 1/2" WASHED PEA STONE. NO FILL SHALL BE USED UNDER THE STONE. IN THE EVENT OF OVER EXCAVATION, THE ABOVE PEA STONE SHALL BE USED TO BRING UP TO PROPER GRADE.
7. THE TOP FOUR (4) FEET OF THE CISTERN SHALL BE BACKFILLED WITH A COMPACTED MATERIAL OF 120 PCF MINIMUM. INSULATION SHALL BE CLOSED CELL POLYURETHANE FOAM WITH AN INSULATION FACTOR OF R-7 PER INCH OR GREATER. ALL BACKFILL SHALL EXTEND TEN (10) FEET BEYOND THE EDGE OF PAVEMENT AND THEN HAVE A MAXIMUM SLOPE OF 3:1. ALL DISTURBED AREAS SHALL BE COVERED WITH LOAM AND SEEDED.
8. THE FIRE CHIEF SHALL INSPECT THE COMPLETED CISTERN PRIOR TO ANY BACKFILLING.
9. AFTER BACKFILLING IS COMPLETED, BOLLARDS WILL BE INSTALLED TO PROTECT THE CISTERN AND ALL APPURTENANCES.
10. ALL CONSTRUCTION, BACKFILL AND GRADING MATERIALS SHALL BE IN ACCORDANCE WITH PROPER CONSTRUCTION PRACTICES AND ACCEPTABLE BY THE FIRE CHIEF.
11. PRIOR TO THE START OF CONSTRUCTION THE FIRE CHIEF OR THE DESIGNATED REPRESENTATIVE OF THE FIRE DEPARTMENT SHALL BE NOTIFIED BY THE APPLICANT, FOR THE PURPOSE OF INSPECTION, THE DATES THAT:
 - A) SITEWORK WILL BEGIN.
 - B) EXCAVATION IS COMPLETED.
 - C) TANK IN PLACE PRIOR TO BACKFILLING.
 - D) BELOW GRADE PAINTING COMPLETE, PRIOR TO BACK FILLING.
 - E) BACKFILLING COMPLETED AFTER INSULATION IS INSTALLED.
 - F) START AND FINISH OF LEAKAGE TEST.
 - G) PIPING, MANWAYS AND BOLLARDS IN PLACE AND PAINTED.
 - H) ALL BACKFILLING, LOAM AND SEEDING IS COMPLETED.
 - I) PAVEMENT REPAIR AND ALL WORK 100% COMPLETED.
 - J) ACCEPTANCE TEST
12. ALL STONE MUST HAVE A MINIMUM DENSITY OF 120 PCF.
13. HOSE CONNECTIONS SHALL CONFORM TO TOWN FIRE DEPT. REQUIREMENTS.

PAINTING SCHEDULE

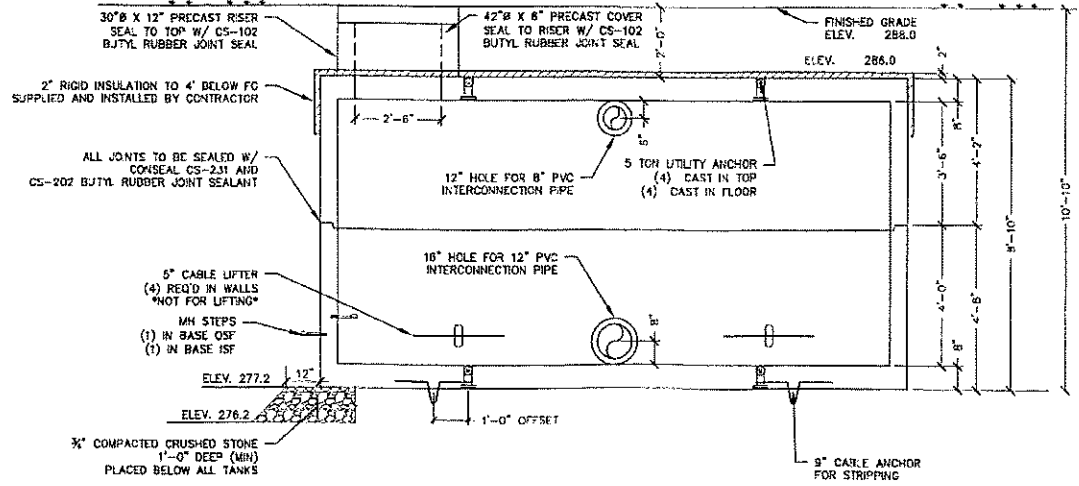
1. EXTERIOR FERROUS METALS AND PVC:
 - 1st COAT-EPOLON II MULTI-WIL 3-4 MILS
 - 2nd COAT-EPOLON II MULTI-WIL 3-4 MILS
 - 3rd COAT-IF SOLIDS POLYURETHANE 3-4 MILS
 - SURFACE PREP-SS PC SPG-COMMERIAL BLAST CLEANING
2. SUBMERGED FERROUS METALS:
 - 1st COAT-ZINC CLAD 5 ZINC PAINT 3-4 MILS
 - 2nd COAT-DUROPLATE 235 EPOXY 8 MILS

NOTES:

1. MAINTAIN MINIMUM 60 DEGREE SLING ANGLE WHEN HANDLING PRECAST COMPONENTS.
2. PRECAST COMPONENTS SHALL REACH A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI PRIOR TO STRIPPING, AND THE MINIMUM DESIGN COMPRESSIVE STRENGTH PRIOR TO SHIPPING, UNLESS OTHERWISE APPROVED.
3. CONCRETE SHALL BE SELF-CONSOLIDATING CONFORMING TO ASTM C260 WITH A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI. AGGREGATE SHALL CONFORM TO ASTM C-33 WITH A MAXIMUM DIAMETER OF 3/4". CEMENT SHALL CONFORM TO ASTM C150.
4. REINFORCING SHALL BE GRADE 60 DEFORMED BLACK BARS CONFORMING TO ASTM A-615. ALL BARS SHALL BE BENT COLD.
5. ALL JOINTS AND VOIDS SHALL BE FILLED WITH NON-SHINK GROUT. VERTICAL SURFACE VOIDS MAY BE FILLED WITH FOAM SEALANT.
6. TANK DESIGNED USING THE FOLLOWING PROPERTIES:
 - SEE REINFORCING PAGE FOR DESIGN DETAILS
 - ADEQUACY OF THE ABOVE INFORMATION SHALL BE REVIEWED FOR SITE SPECIFIC CONDITIONS BY QUALIFIED LICENSED PROFESSIONAL ENGINEER.
7. ALL EXCAVATED HOLES SHALL BE PREPARED PER OSHA STANDARDS; NOTHING IN THESE PLANS SHALL BE CONSTRUED TO PROVIDE EXCAVATION GUIDANCE. TANK EXCAVATION SHALL BE KEPT Dewatered THROUGHOUT INSTALLATION AND BACKFILL OPERATIONS.
8. STRUCTURE SHALL BE PLACED AT ELEVATIONS SHOWN ON THE DRAWINGS OR A MINIMUM OF 12" OF COMPACTED CRUSHED STONE WITH AN AGGREGATE SIZE OF 3/4" TO 1 1/2". ALL TOPSOIL, LOOSE FILL AND DELETERIOUS MATERIALS SHALL BE REMOVED BEFORE PLACING MATERIAL.
9. BACKFILL MATERIAL SHALL BE SCREENED GRAVEL OR SAND, FREE OF DELETERIOUS MATERIAL WITH A MAXIMUM AGGREGATE SIZE OF 1 1/2". BACKFILL SHALL EXTEND FOR A MINIMUM DISTANCE OF 3'-0" BEYOND THE HORIZONTAL LIMITS OF THE STRUCTURE. MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING 12" AND COMPACTED TO NOT LESS THAN 98% OF THE MAXIMUM DENSITY DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST). ALL COMPACTION SHALL BE DONE WITH HAND-OPERATED COMPACTION EQUIPMENT.
10. IF THERE IS ADDITIONAL INFORMATION PERTINENT TO THE FABRICATION AND INSTALLATION OF THESE UNITS THAT IS NOT CONTAINED WITHIN THE RESOURCES LISTED ABOVE IT SHALL BE BROUGHT TO THE ATTENTION OF MICHE CORPORATION. FAILURE TO MAKE SUCH ADDITIONAL INFORMATION AVAILABLE SHALL RELIEVE MICHE CORPORATION OF ALL LIABILITIES ARISING FROM ERRORS OR OMISSIONS RELATED TO THE OMITTED INFORMATION.



POLY SHEATHED PRECAST BOLLARD
SCALE: 1/2"=1'-0"

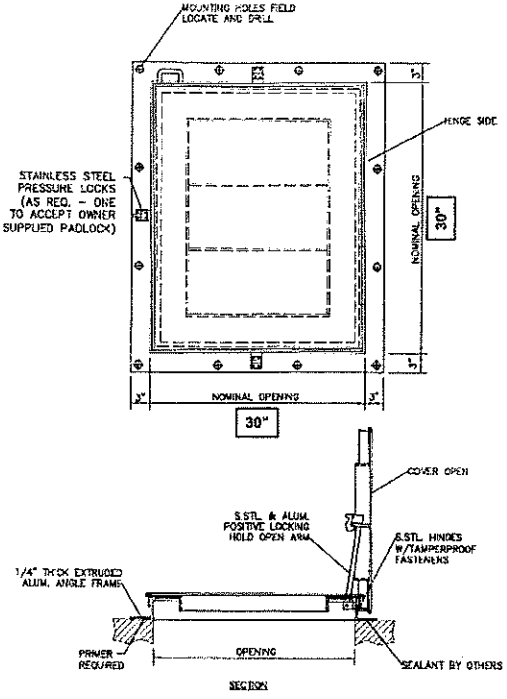


TANKS 1,3 & 4 ELEVATION VIEW
SCALE: 3/8"=1'-0"

HALLIDAY PRODUCTS, INC.
ORLANDO, FL
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MODEL NO. FIR3030M-C
QUANTITY:
ORDER NO.
DATE:
LOCATION/TAG:



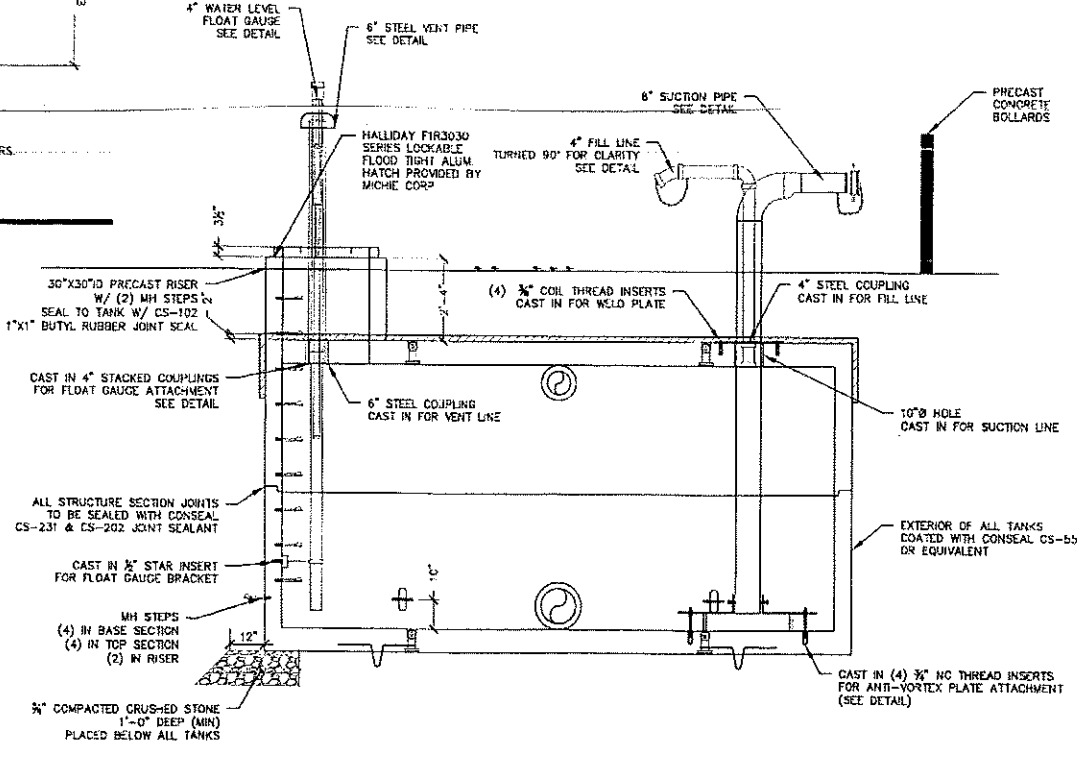
30 X 30 ACCESS HATCH DETAIL
NOT TO SCALE

- STANDARD FEATURES:**
- 1/4" ALUMINUM TREAD PLATE COVER
 - 1/4" THICK ALUMINUM FRAME EXTRUSION
 - T-316 STAINLESS STEEL HARDWARE
 - NEOPRENE GASKET (ON COVER)
 - S.S.T.L. & ALUM. HOLD OPEN ARM
 - S.S.T.L. PRESSURE LOCKS
 - LOCKING LUG
 - LIFETIME GUARANTEE

- 825 LB. PER SQ. FT. LOAD RATING
- 300 LB. PER SQ. FT. LOAD RATING

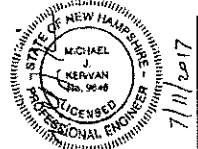
- OPTIONS/FEATURES:**
- BITUMINOUS COATING
 - CLEAR ANODIZED FINISH
 - LACQUER FINISH
 - SPRING ASSIST
 - 2" INSULATION W/ CAPTIVE PAN
 - SLAB SKIRTING
 - PVC PROTECTIVE FILM
 - SHOP DRILL MOUNTING HOLES
 - MISCELLANEOUS

NOTE:
ACTUAL CLEAR OPENING =
NOMINAL OPENING - 1.25"



TANK 2 ELEVATION VIEW
SCALE: 3/8"=1'-0"

Design: JAC Draft: PSL Date: 7/10/16
Checked: JAC Scale: AS SHOWN Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg
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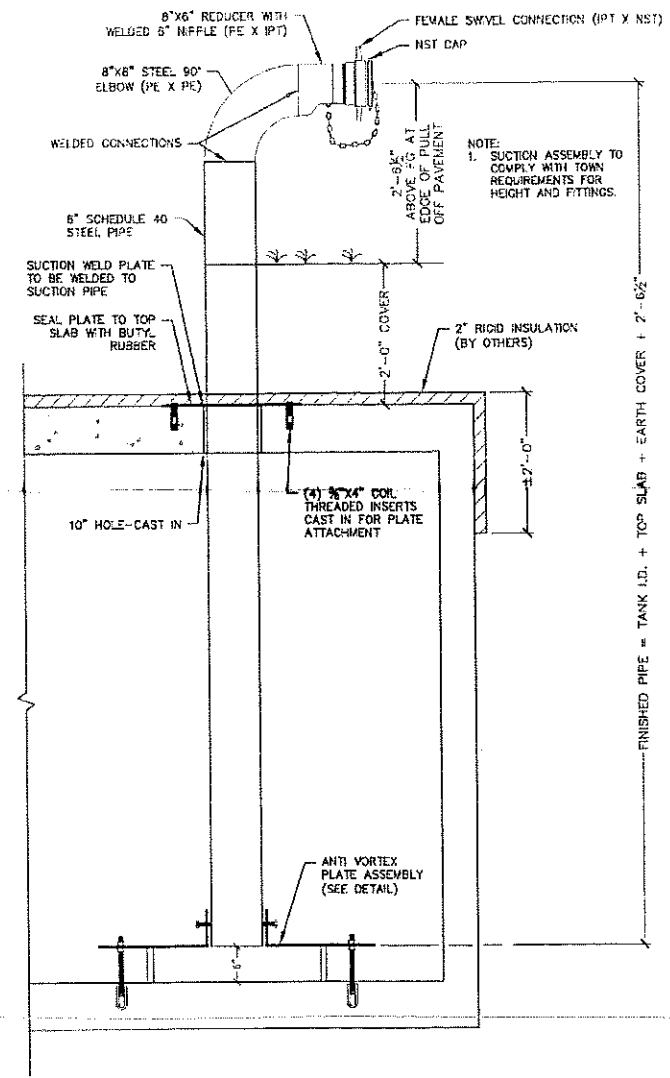


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Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

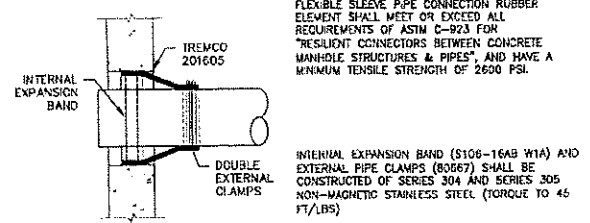
Plan Name: **30,000 GALLON FIRE CISTERN DETAILS**
Project: **LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051**
Owner of Record: **DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842**

DRAWING NO. **F2**
SHEET 18 OF 23
JBE PROJECT NO. 15031



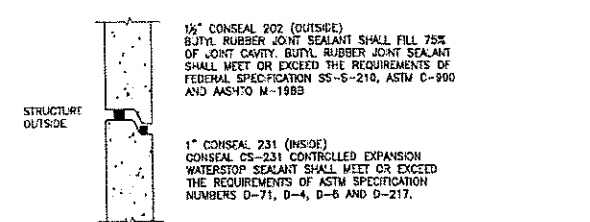
SUCTION ASSEMBLY DETAIL

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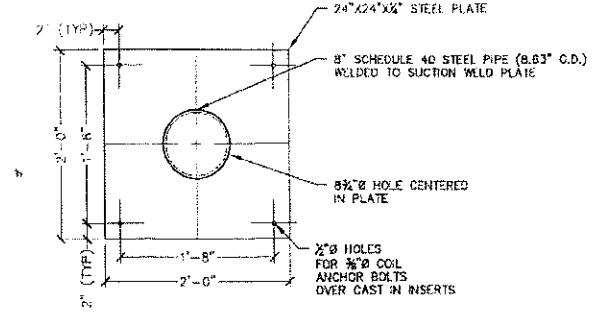
TYPICAL FLEXIBLE SLEEVE PIPE CONNECTION DETAIL

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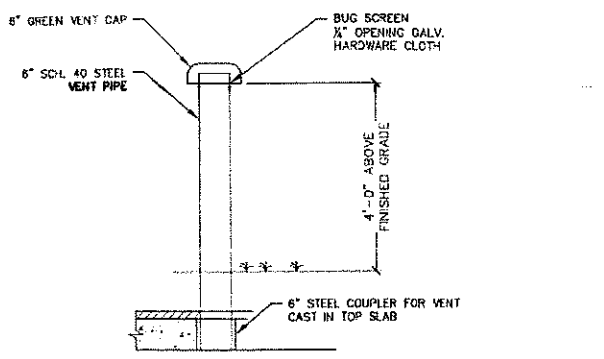
CONSEAL JOINT SEALANT DETAIL

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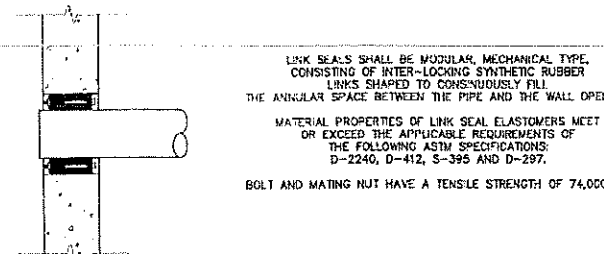
SUCTION WELD PLATE DETAIL PLAN VIEW

SCALE: 1"=1'-0"



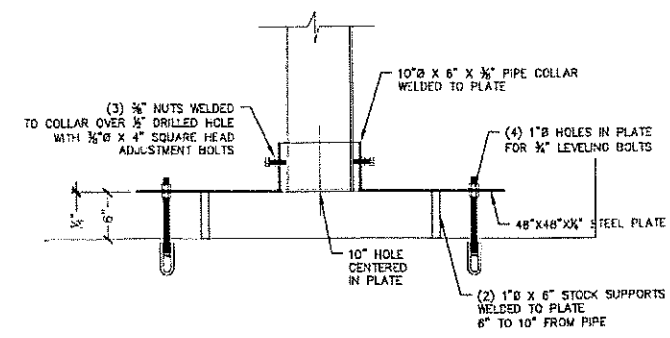
VENT PIPE ASSEMBLY DETAIL

SCALE: 1/2"=1'-0"



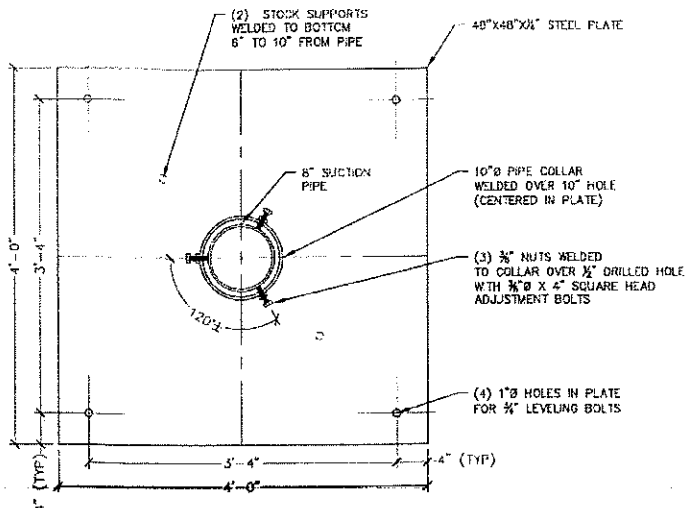
TYPICAL LINK SEAL PIPE CONNECTION

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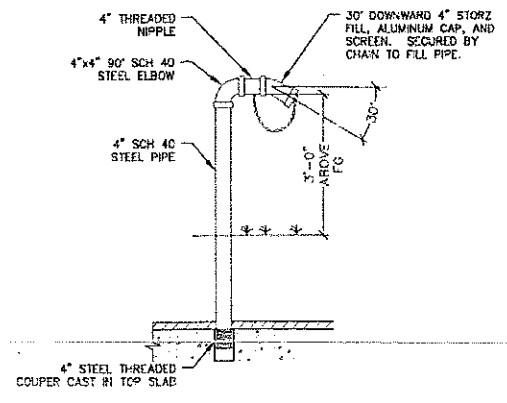
ANTI VORTEX PLATE DETAIL ELEVATION VIEW

SCALE: 1"=1'-0"



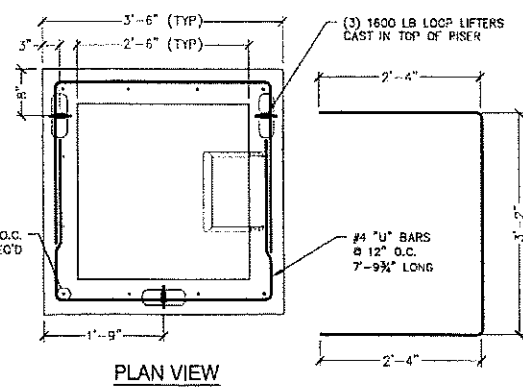
ANTI VORTEX PLATE DETAIL PLAN VIEW

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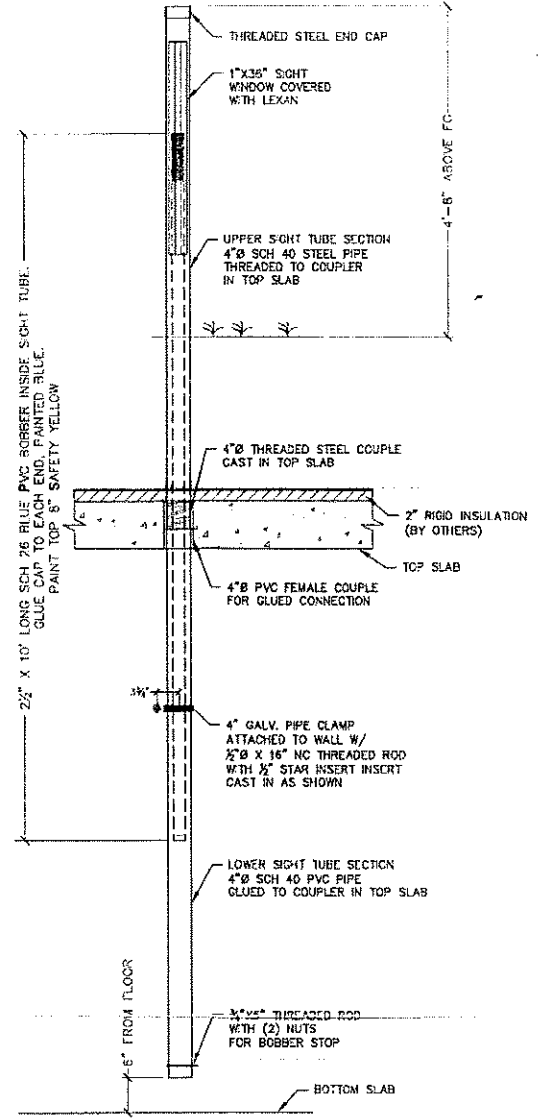
FILL LINE ASSEMBLY DETAIL

SCALE: 1/2"=1'-0"



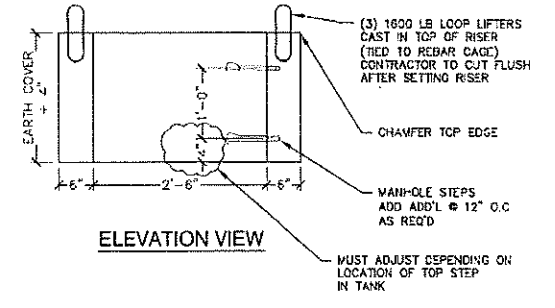
30 X 30 RISER TURRET DETAIL

SCALE: 3/4"=1'-0"



TYPICAL WATER FLOAT INDICATOR DETAIL

SCALE: 3/4"=1'-0"



30x30 RISER TURRET

SCALE: 3/4"=1'-0"

REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

803.772.4746 FAX: 603.772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **30,000 GALLON FIRE CISTERN DETAILS**

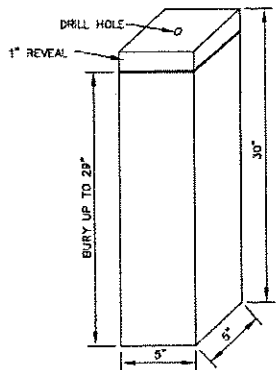
Project: **LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051**

Owner of Record: **DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842**

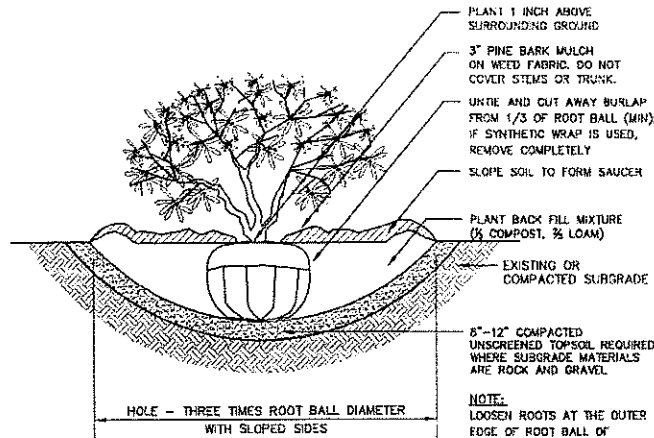
DRAWING No. **F3**

SHEET 19 OF 23
JBE PROJECT NO. 15031

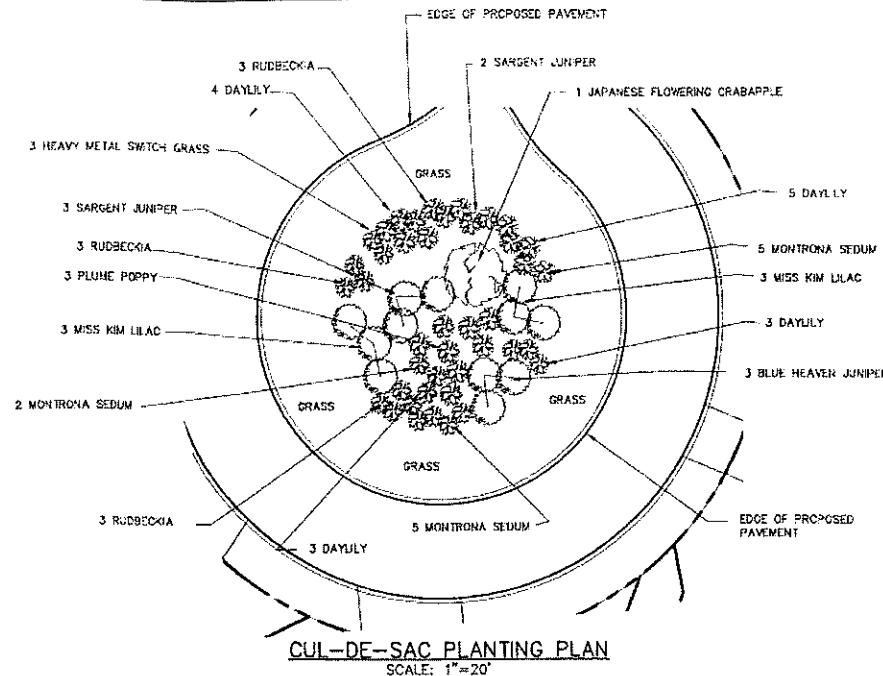
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 15031-PLAN SET.dwg
 7/11/2017 2:32:34 PM EDT



TYPICAL GRANITE BOUND
NOT TO SCALE



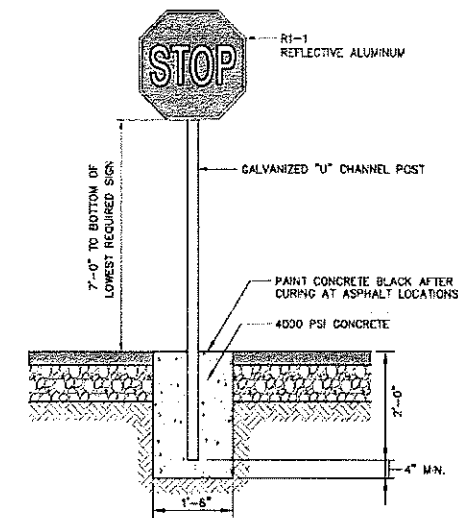
SHRUB PLANTING
NOT TO SCALE



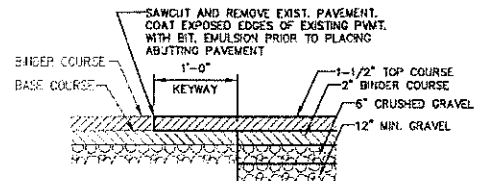
PLANTING LIST

TREES AND SHRUBS:	PERENNIALS:	PLUME POPPY	1 GAL
5 JUNIPERUS C. "SARGENTII"	3 CRABE CORDIFOLIA	DAYLILY	2 QT
3 JUNIPERUS C. "BLUE HEAVEN"	15 HEMEROCALIS	HEAVY METAL SWITCH GRASS	1 GAL
1 MALUS FLORIBUNDA	3 PANICUM VIRGATUM	BLACK EYED SUSAN	2 QT
6 SYRINGA PATULA "MISS KIM"	9 RUDBECKIA FULGIDA "GOLDSTURM"	MONTRONIA SEDUM	2 QT
	2 SEDUM MONTRONIA		

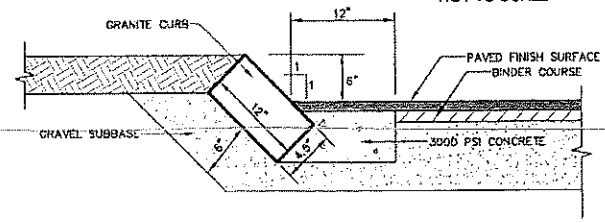
- NOTES:
- PLANT TYPES MAY VARY BASED ON AVAILABILITY AND SUPPLY. THIS LAYOUT REPRESENTS THE INTENT OF THE PLANTING AND APPROXIMATE NUMBER OF PLANTS TO BE PROVIDED.
 - LANDSCAPING WITHIN THE LANDSCAPED CUL-DE-SAC ISLAND AND THE PERPETUAL MAINTENANCE THEREOF SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS, AS PRESCRIBED IN THE HOMEOWNER'S ASSOCIATION BY-LAWS.



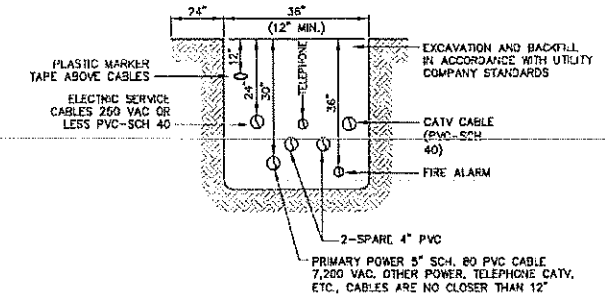
STOP SIGN (R1-1)
NOT TO SCALE



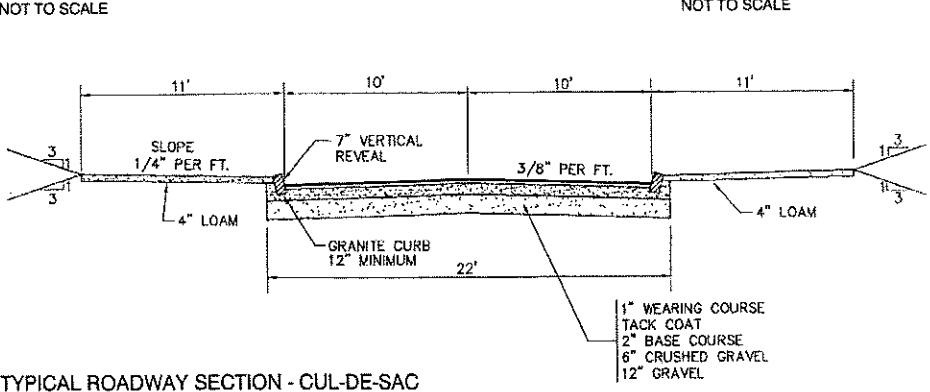
KEYWAY DETAIL FOR CONNECTION TO EXISTING PAVEMENT
NOT TO SCALE



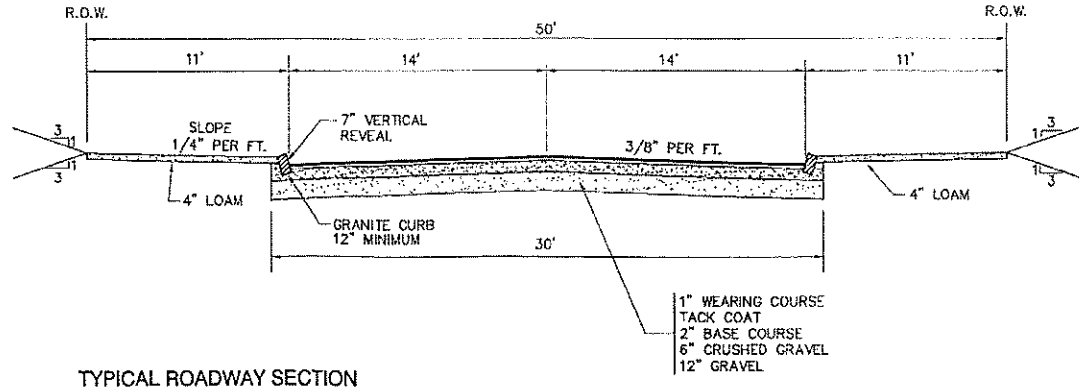
SLOPED GRANITE CURB
NOT TO SCALE



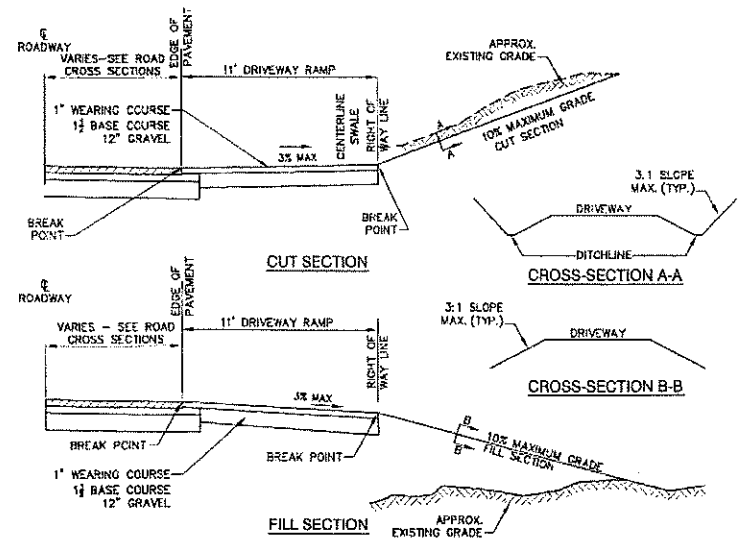
UTILITY TRENCH
NOT TO SCALE



TYPICAL ROADWAY SECTION - CUL-DE-SAC
SCALE: 1"=10'



TYPICAL ROADWAY SECTION
SCALE: 1"=10'



TYPICAL DRIVEWAY SECTIONS
NOT TO SCALE

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Design: JAC Draft: PSL Date: 7/10/16
 Checked: JAC Scale: AS NOTED Project No.: 15031
 Drawing Name: 15031-PLAN SET.dwg
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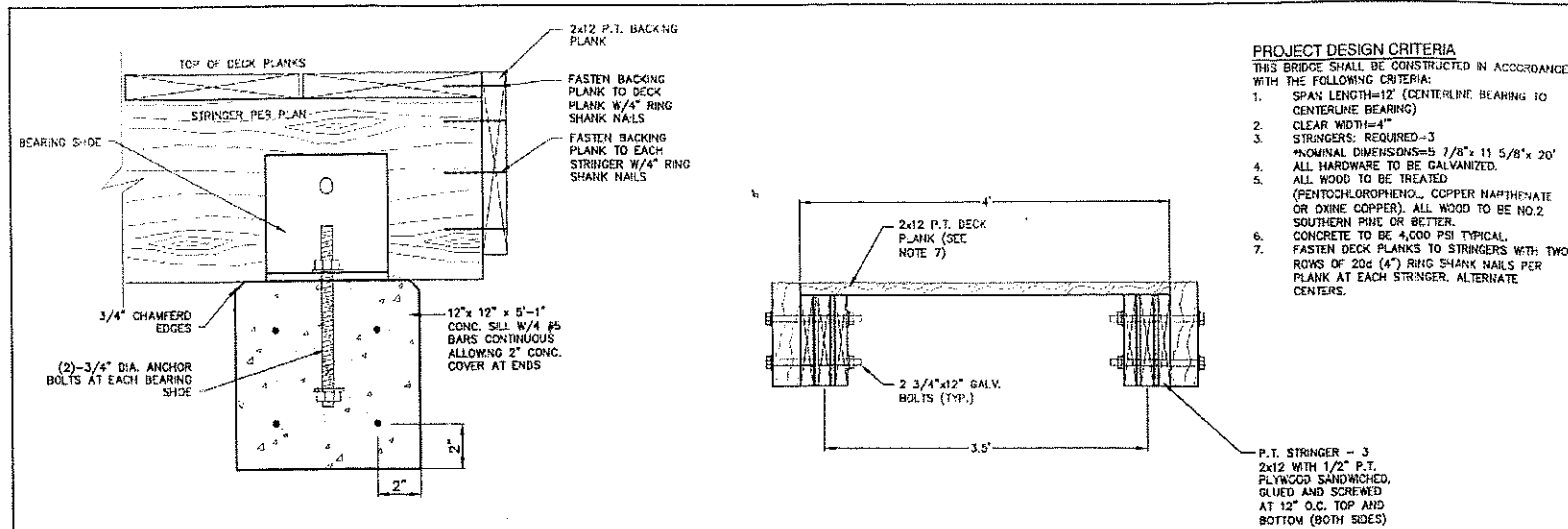
REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/6/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL

Designed and Produced In NH

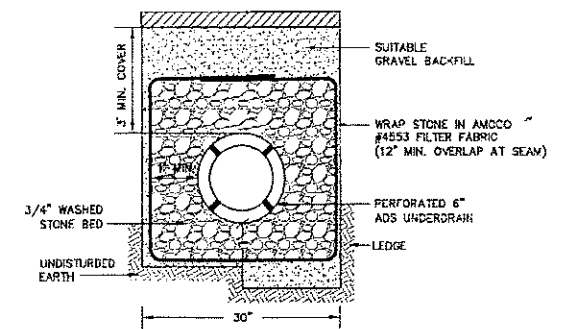
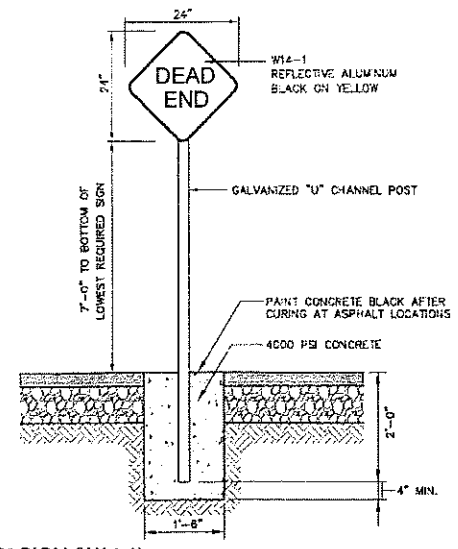
J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 86 Portsmouth Ave. PO Box 219 Stratham, NH 03886
 603-772-4746 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**
 Project: **LAUREL LANDING
SPEARE ROAD, HUDSON, NH 03051**
 Owner of Record: **DOUGLAS S. SANDERSON
11 NERSESIAN WAY, HAMPTON, NH 03842**

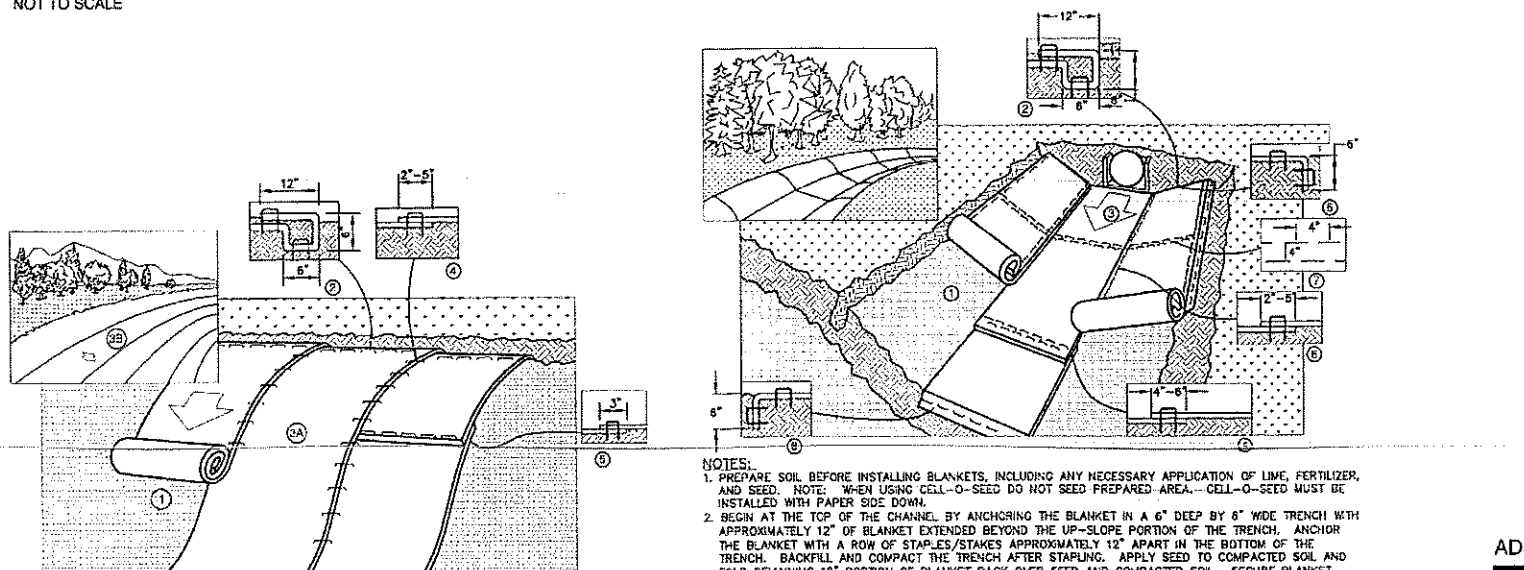
DRAWING No. **D1**
 SHEET 20 OF 23
 JBE PROJECT NO. 15031



FOOT BRIDGE DETAIL
NOT TO SCALE



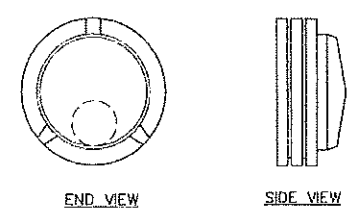
- NOTES:**
- PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
 - NEW ROADWAY CONSTRUCTION SHALL CONFORM TO PROJECT AND TOWN SPECIFICATIONS.
 - SLOPE UNDERDRAIN PIPE TO DAYLIGHT.



- NOTES:**
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 - ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
 - CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

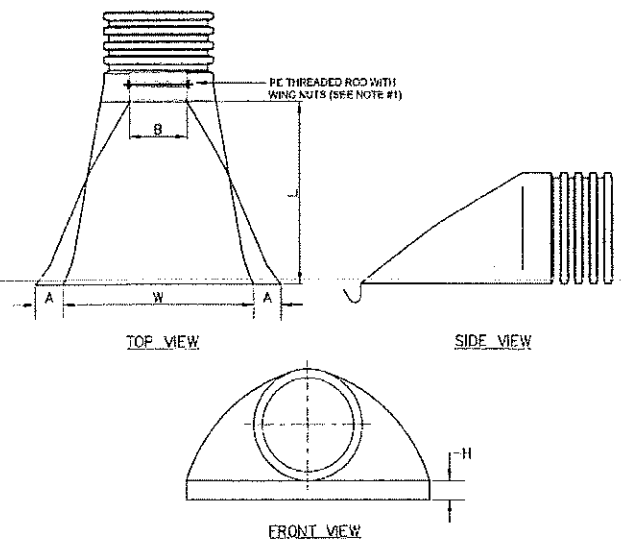
- NOTES:**
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 - BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 - ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
 - FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 - ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2"-5" (DEPENDING ON BLANKET TYPE) AND STAPLED TO INSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE BLANKET BEING OVERLAPPED.
 - IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
 - THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- CRITICAL POINTS:**
- OVERLAPS AND SEAMS
 - PROJECTED WATER LINE
 - CHANNEL BOTTOM/SIDE SLOPE VERTICES
- NOTES:**
- * HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
 - ** IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

EROSION CONTROL BLANKET SWALE INSTALLATION
NOT TO SCALE



- NOTE:**
- ADS N-12 SPLIT END CAP, ADS PRODUCT # 67-AA. CONTRACTOR TO DRILL A CIRCULAR ORIFICE AS SPECIFIED ON CONSTRUCTION DRAWINGS IN THE END CAP TO MATCH THE INLET INVERT OF THE RECEIVING ADS N-12 CULVERT. INSTALLATION REQUIRES THAT THE END CAP BE FIELD BOLTED TO THE CULVERT WITH STAINLESS STEEL (S30400) HARDWARE.

ADS ORIFICE END CAP
NOT TO SCALE



PART NO.	PIPE SIZE	A	B (MAX)	H	L	W
1210-NP	12"	6.5"	10"	6.5"	25"	23"
1510-NP	15"	6.5"	10"	6.5"	25"	23"
1810-NP	18"	7.5"	16"	6.5"	32"	35"
2410-NP	24"	7.5"	18"	6.5"	36"	45"
3010-NP	30"	10.5"	N/A	7.0"	53"	68"
3610-NP	36"	10.5"	N/A	7.0"	63"	68"

- NOTES:**
- PE THREADED ROD WITH WING NUTS PROVIDED FOR END SECTIONS 12"-24". 30" AND 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S RECOMMENDATIONS.
 - ALL DIMENSIONS ARE NOMINAL.

ADS N-12 FLARED END SECTION
NOT TO SCALE

NORTH AMERICAN GREEN
14649 HIGHWAY 41 NORTH
EVANSVILLE, INDIANA 47725
1-800-772-2040

EROSION CONTROL BLANKET SLOPE INSTALLATION
NORTH AMERICAN GREEN (800) 772-2040

NOT TO SCALE

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Design: JAC	Draft: PSL	Date: 7/10/15
Checked: JAC	Scale: AS NOTED	Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg		

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REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

65 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JRE@JONESANDBEACH.COM

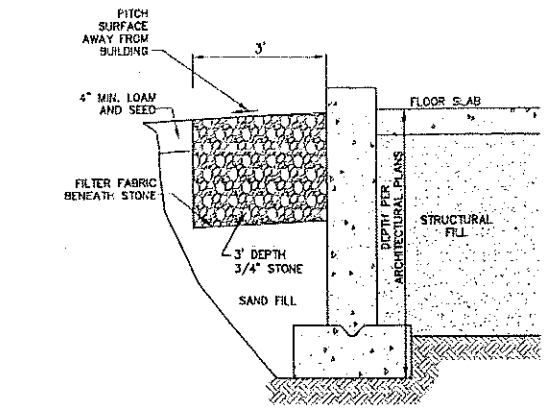
Plan Name:	DETAIL SHEET
Project:	LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051
Owner of Record:	DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842

DRAWING No.

D2

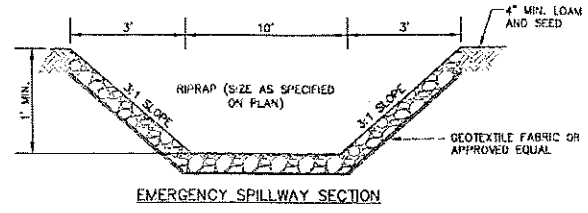
SHEET 21 OF 23
JBE PROJECT NO. 15031

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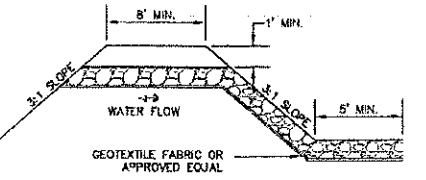


DRIP EDGE DETAIL

NOT TO SCALE



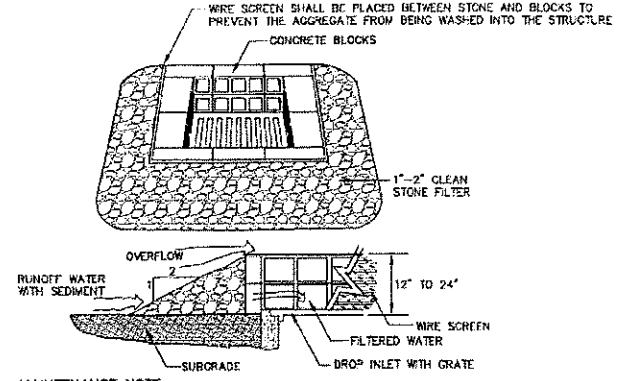
EMERGENCY SPILLWAY SECTION



EMERGENCY SPILLWAY PROFILE

EMERGENCY SPILLWAY

NOT TO SCALE



MAINTENANCE NOTE:
 1. ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAINFALL AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED IN A SUITABLE UPLAND AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURE OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

TEMPORARY CATCH BASIN INLET PROTECTION (Block and Gravel Drop Inlet Sediment Filter)

NOT TO SCALE

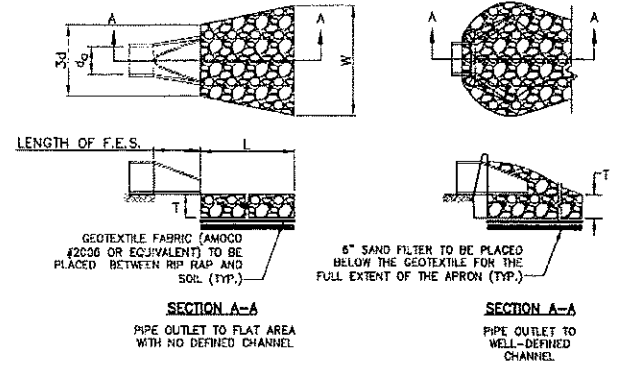
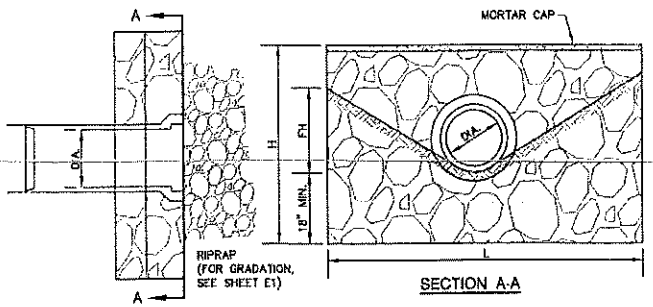


TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES
 THICKNESS OF RIP RAP = 0.75 FEET

d50 SIZE=	FEET	3 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	5	6
85%	4	5
50%	3	5
15%	1	2



SECTION A-A

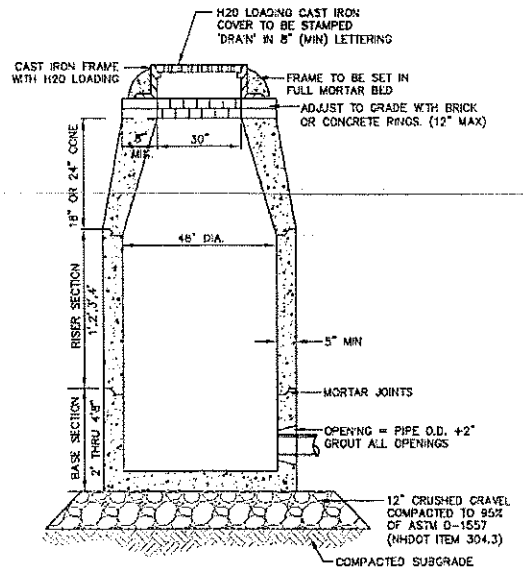
DIA.	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	PIPE COVER	HEADWALL BOTTOM WIDTH
D	L	H	FH	h	W
12"	4'-3"	3'-9"	1'-1"	1'-3"	2'-0"
15"	6'-0"	4'-3"	1'-7"	1'-6"	2'-1"
18"	7'-0"	4'-6"	1'-10"	1'-6"	2'-2"
24"	9'-0"	5'-0"	2'-4"	1'-6"	2'-3"
30"	11'-0"	5'-6"	2'-10"	1'-6"	2'-5"
36"	13'-0"	5'-0"	3'-4"	1'-6"	2'-6"
42"	15'-0"	5'-9"	4'-1"	1'-9"	2'-9"
48"	17'-9"	7'-3"	4'-7"	1'-9"	2'-10"

NOTES:

- ALL DIMENSIONS GIVEN IN FEET AND INCHES.
- PROVIDE BELL END AT INLET HEADWALL AND SPIGOT END AT OUTLET END HEADWALL.
- RIPRAP SHALL BE SIZED TO RESIST THE TRACTIVE VELOCITY FORCES.

MORTAR RUBBLE MASONRY HEADWALL

NOT TO SCALE

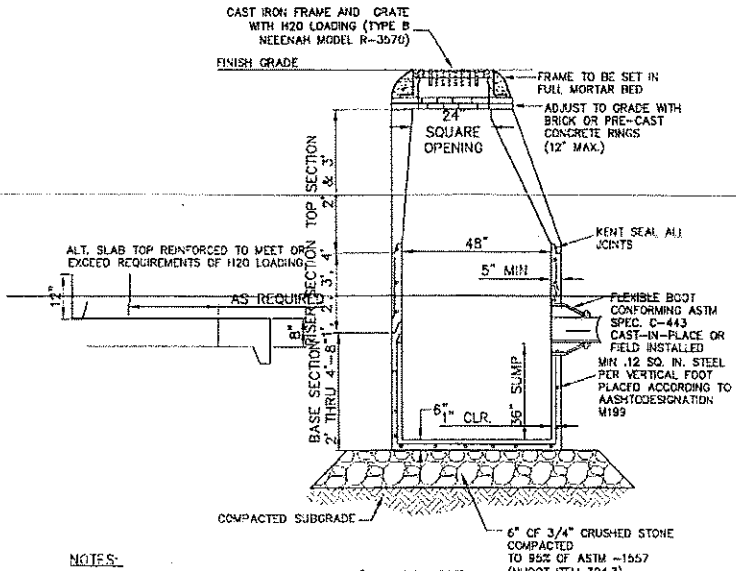


NOTES:

- BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
- ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
- CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
- FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
- PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
- JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
- ALL DRAIN MANHOLE FRAMES AND GRATES SHALL BE NHDOT TYPE MH-1, OR NEENAH R-1798 OR APPROVED EQUAL (30" DIA. TYPICAL).
- STANDARD FRAME(S) AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE 'DONUTS'.

DRAIN MANHOLE

NOT TO SCALE



NOTES:

- BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
- ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
- CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
- FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
- PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
- JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
- ALL CATCH BASIN FRAMES AND GRATES SHALL BE NHDOT CATCH BASIN TYPE ALTERNATE 1 OR NEENAH R-3570 OR APPROVED EQUAL (24"x24" TYPICAL).
- STANDARD CATCH BASIN FRAME AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE 'DONUTS'.

CATCH BASIN

NOT TO SCALE

TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES
 THICKNESS OF RIP RAP = 1.5 FEET

d50 SIZE=	FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	9	12
85%	8	11
50%	6	9
15%	2	3

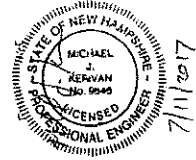
NOTES:

- THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
- THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
- GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
- STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
- OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
- MAINTENANCE:** THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

RIP RAP OUTLET PROTECTION APRON

NOT TO SCALE

Design: JAC Draft: PSL Date: 7/10/15
 Checked: JAC Scale: AS NOTED Project No.: 15031
 Drawing Name: 15031-PLAN SET.dwg
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REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 19-5 AND 19-6	PSL

Designed and Produced in NH
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 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**
 Project: **LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051**
 Owner of Record: **DOUGLAS S. SANDERSON**
 11 NERSESIAN WAY, HAMPTON, NH 03842

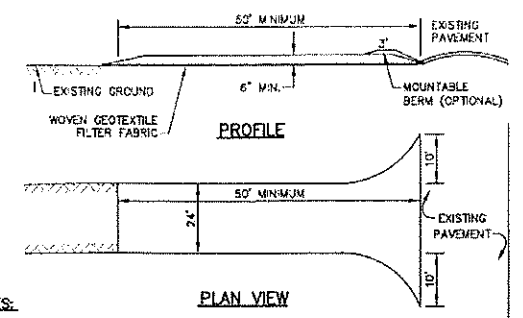
DRAWING No. **D3**
 SHEET 22 OF 23
 JBE PROJECT NO. 15031

TEMPORARY EROSION CONTROL NOTES

- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOADED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE "C" AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
- SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.25" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
- AREAS MUST BE SEEDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN STY EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- FUGITIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER SHALL BE SUBMITTED TO DES VIA EMAIL (SEE BELOW).
- PRIOR TO CONSTRUCTION, A PHASING PLAN THAT DELINEATES EACH PHASE OF THE PROJECT SHALL BE SUBMITTED. ALL TEMPORARY SEDIMENT BASINS THAT WILL BE NEEDED FOR DEWATERING WORK AREAS SHALL BE LOCATED AND DETYPIED ON THIS PLAN.

SEEDING SPECIFICATIONS

- GRADING AND SHAPING**
 - SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
 - WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDBED PREPARATION**
 - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND**
 - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
 - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
 - NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
 - PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 - POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
 - SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
 - REFER TO THE "SEEDING GUIDE" AND "SEEDING RATES" TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWWEED, BIRDFOOT, TREFOIL AND PLATINA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
 - WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20TH OR FROM AUGUST 10TH TO SEPTEMBER 15TH.
- MULCH**
 - HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
- MAINTENANCE TO ESTABLISH A STAND**
 - PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ON-SITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
 - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

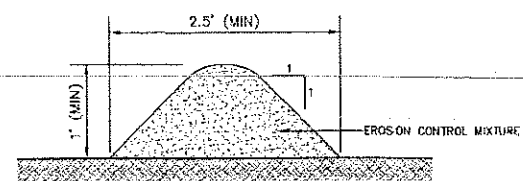
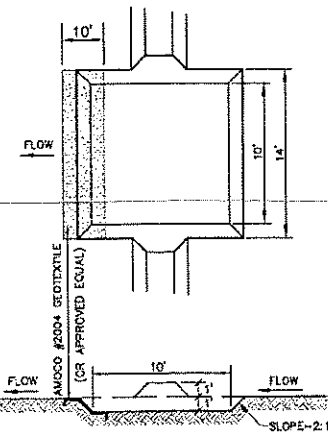
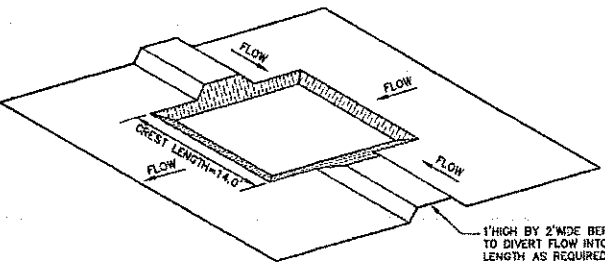


NOTES:

- STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 8 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS, OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER FABRIC IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A STONE BERM WITH 6:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



NOTES:

- ORGANIC FILTER BERMS MAY BE UTILIZED IN LIEU OF SILT FENCE, UNLESS OTHERWISE SPECIFIED.
- THE EROSION CONTROL MIX USED IN THE FILTER BERMS SHALL BE A WELL-GRADED MIXTURE OF PARTICLE SIZES, MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER, STUMP GRINDINGS, SHREDDED OR COMPOSTED BARK, OR ACCEPTABLE MANUFACTURED PRODUCTS, AND SHALL BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH, AND SHALL MEET THE FOLLOWING STANDARDS:
 - THE ORGANIC CONTENT SHALL BE 80-100% OF DRY WEIGHT.
 - PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 6" SCREEN, AND 70-85% PASSING A 0.75" SCREEN.
 - THE ORGANIC PORTION SHALL BE FIBROUS AND ELONGATED.
 - LARGE PORTIONS OF SILTS, CLAYS, OR FINE SANDS SHALL NOT BE INCLUDED IN THE MIXTURE.
 - SOLUBLE SALTS CONTENT SHALL BE >4.0mm/100g/cm.
 - THE PH SHALL BE BETWEEN 5.0 AND 8.0.
- ORGANIC FILTER BERMS SHALL BE INSTALLED ALONG A RELATIVELY LEVEL CONTOUR. IT MAY BE NECESSARY TO CUT TALL GRASSES OR WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES THAT WOULD ENABLE FINES TO WASH UNDER THE BERM.
- ON SLOPES LESS THAN 5X OR AT THE BOTTOM OF SLOPES STEEPER THAN 3:1, UP TO 20' LONG, THE BERM SHALL BE A MINIMUM OF 12" HIGH (AS MEASURED ON THE UPHILL SIDE), AND A MINIMUM OF 36" WIDE. ON LONGER OR STEEPER SLOPES, THE BERM SHALL BE WIDER TO ACCOMMODATE THE POTENTIAL ADDITIONAL RUNOFF.
- FROZEN GROUND, OUTCROPS OF BEDROCK, AND VERY ROOTED FORESTED AREAS PRESENT THE MOST PRACTICAL AND EFFECTIVE LOCATIONS FOR ORGANIC FILTER BERMS. OTHER BMP'S SHOULD BE USED AT LOW POINTS OF CONCENTRATED RUNOFF, BELOW CULVERT OUTLET APRONS, AROUND CATCH BASINS, AND AT THE BOTTOM OF STEEP PERMETER SLOPES THAT HAVE A LARGE CONTRIBUTING AREA.
- SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
- STRUCTURES MAY BE LEFT IN PLACE ONCE THE SITE IS STABILIZED.

ORGANIC-FILTER BERM

NOT TO SCALE

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/

GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.

1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.

2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15TH, IF PERMANENT SEEDING NOT YET COMPLETE.

SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 SQ. FT.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED T	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWWEED OR FLAT PEA	30	0.75
TOTAL	40 OR 85	0.85 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDS FOOT TREFOIL	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

SEEDING RATES

CONSTRUCTION SPECIFICATIONS:

- THE AREA UNDER THE EMBANKMENT SHALL BE CLEARED, CRUSHED, AND STRIPPED OF ALL VEGETATION, ROOTS, AND DEBRIS.
- THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS, WOODY VEGETATION, STONES OVER 6" SIZE, ORGANIC MATERIAL, OR OTHER OBJECTIONABLE MATERIALS. THE FILL SHALL BE COMPACTED BY ROUTING CONSTRUCTION EQUIPMENT OVER IT SO THAT THE ENTIRE AREA OF THE FILL IS TRAVERSED BY AT LEAST ONE WHEEL OR TREAD TRACK OF THE EQUIPMENT.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE MINIMIZED.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 (H:V) OR FLATTER.
- OUTLET CREST ELEVATIONS SHALL BE AT LEAST ONE FOOT BELOW THE TOP OF THE EMBANKMENT.
- OUTLET CREST IS TO BE STABILIZED WITH AMCOO #2004 GEOTEXTILE (OR APPROVED EQUAL), WHICH IS TO BE "TIED" INTO THE GROUND AT ITS ENDS AT LEAST SIX INCHES AND IS TO EXTEND AT LEAST ONE FOOT INTO THE TRAP AND ONE FOOT DOWNSTREAM FROM THE OUTLET EDGE FOR THE ENTIRE LENGTH OF THE CREST.
- ALL DISTURBED AREAS SHALL BE VEGETATED USING THE APPROPRIATE VEGETATIVE BEST MANAGEMENT PRACTICE.
- ALL TRAPS ARE TO HAVE SEDIMENT DEPOSITS REMOVED AND DISPOSED PROPERLY AT LEAST ONCE WEEKLY AND AFTER EACH RAINFALL.

TEMPORARY SEDIMENT TRAP

NOT TO SCALE

Design: JAC Draft: PSL Date: 7/10/15
 Checked: JAC Scale: AS NOTED Project No.: 15031
 Drawing Name: 15031-PLAN SET.dwg
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REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	8/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	8/1/16	REVISED LOTS 13-5 AND 13-6	PSL

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. - Civil Engineering Services 603-772-4746
 PO Box 219 FAX: 603-772-0227
 Stratham, NH 03886 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **EROSION AND SEDIMENT CONTROL DETAILS**

Project: **LAUREL LANDING
SPEARE ROAD, HUDSON, NH 03051**

Owner of Record: **DOUGLAS S. SANDERSON
11 NERSESIAN WAY, HAMPTON, NH 03842**

DRAWING No. **E1**

SHEET 23 OF 23
 JBE PROJECT NO. 15031

F:\land projects\15031-HUDSON-SPEARE-ROAD-PORTER.dwg 7/17/2017 2:32:34 PM EDT

Wason Road Subdivision/Site Plan

STAFF REPORT

August 30, 2018

SITE: Wason Road – SB#09-18 and SP# 13-18

ZONING: G - General: Minimum lot size 43,560 sq. ft. and 150 ft. of frontage.

PURPOSE OF PLAN: to subdivide one 41.8-acre parcel into two lots including a 17.2-acre site intended for development and a 24.6-acre remainder parcel and to develop the smaller parcel with three duplex buildings resulting in a total of six units. Application Acceptance & Hearing.

PLAN UNDER REVIEW ENTITLED: Proposed Site Plan for Marco Plante, Tax Map 206 Lot 1, by Beals Associates and S&H Land Services, with cover sheet dated July 20, 2018, last revised on August 30, 2018, consisting of Sheets 1 - 12 and Notes 1 – 9 on Sheet 1 of 12 (said plans are attached hereto).

ATTACHMENTS:

- 1) Site Plan and Subdivision Applications date stamped July 18, 2018 including Project Narrative – “A”.
- 2) Waiver Requests - “B”.
- 3) Comments from Town Engineer Elvis Dhima – “C”.
- 4) Comments from Deputy Fire Chief John J. O’Brian – “D”.
- 5) Letter of response to Fuss & O’Neil comments from Beal Associates dated August 31, 2018 – Attachment “E”.
- 6) CAP Fee Worksheet – Attachment “F”
- 7) Subdivision plans.

WAIVER REQUESTS:

- 1) Checklist Item “aw” – Fiscal impact study
- 2) Checklist Item “ay” – Noise study
- 3) Checklist Item “ax” – Traffic study

STAFF COMMENTS:

The applicant seeks simultaneous approval of a plan to subdivide one 41.8-acre parcel into two lots (a 17.2 acre lot intended for development and a 24.6 acre remainder parcel) together with a proposal to develop three duplexes (six total units) on the smaller of the two lots. The presentation is confusing due in part due to the labeling of the individual sheets and preparation of portions of the plan by different firms. The application would also benefit from the addition of clear purpose statements. Given the

relatively small number of new residential units proposed, staff concurs that the traffic, fiscal and noise impacts would be minimal and that the requested waivers are therefore, reasonable.

APPLICATION TRACKING:

- August 6, 2018 – Subdivision application submitted
- September 4, 2018 - Revised Plans Submitted
- September 12, 2018 – Public hearing scheduled.

RECOMMENDED ACTION: Staff recommends application acceptance, conduct of the public hearing, and consideration of subdivision approval in accordance with the below DRAFT MOTIONS. In the event that the Board determines more time is needed to review the application, a motion for deferment is provided after the draft acceptance motion.

DRAFT MOTION TO ACCEPT:

I move to accept the Subdivision/Site Plan application for Wason Road, Map 206/Lot 001.

Motion by: _____ Second: _____ Carried/Failed: _____

DRAFT MOTION TO DEFER:

I move to defer the further consider of the Subdivision/Site Plan application for Wason Road, Map 206/Lot 001 to a date specific, the October 10, 2018 Planning Board meeting.

Motion by: _____ Second: _____ Carried/Failed: _____

WAIVER MOTIONS:

- 1) Checklist Item “aw” – Fiscal impact study

I move to grant the requested waiver of Checklist Item “aw” – Fiscal impact study based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: _____ Second: _____ Carried/Failed: _____

2) Checklist Item “ax” – Noise Study

I move to grant the requested waiver of Checklist Item “ax” – Noise Study based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: _____ Second: _____ Carried/Failed: _____

3) Checklist Item “ay” – Traffic Study

I move to grant the requested waiver of Checklist Item “ay” – Traffic Study based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

DRAFT MOTION to APPROVE:

I move to approve the subdivision/site plan entitled: Proposed Site Plan for Marco Plante, Tax Map 206 Lot 1, by Beals Associates and S&H Land Services, with cover sheet dated July 20, 2018, last revised on August 30, 2018, consisting of Sheets 1 - 12 and Notes 1 – 9 on Sheet 1 of 12 subject to the following stipulations:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Plan.
2. A cost allocation procedure (CAP) amount of \$5,244 per residential lot shall be paid prior to the issuance of a Certificate of Occupancy for the new house lot.
3. All monumentation shall be set or bonded for prior to the Planning Board endorsing the Plan-of-Record.
4. A cistern with a minimum capacity of 30,000 gallons shall be installed per NFPA 1142.
5. The plans shall be amended to provide a Planning Board Approval Bock in the *lower left-hand* corner of sheets 3, 4 and 8.
6. Note #2 on Sheet 1 of 12 should be amended to clarify that proposed Map 206 Lot 1-2 is intended to be a remainder lot and that the intent is to develop three residential duplexes on proposed Map 206 Lot 1.
7. Note #2 on Sheet 1 of 12 shall be amended to state that “This is a 12 Sheet set” and that Sheets 1-4 *and* 8 are to be recorded.
8. The proposed access road shall be labeled as a “private way” and assigned a street name to be approved by the Hudson Fire Department.
9. A note shall be added to the plan confirming compliance with MS4 requirements.
10. Approval of this plan shall be subject to final engineering review.

11. Construction activities involving the proposed undeveloped lots shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.

Motion by: _____ Second: _____ Carried/Failed: _____.

"A"



**SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: 7-20-18 Tax Map # 206 Lot # 1
Name of Project: Watson Road 2-Lot Subdivision
Zoning District: _____ General SB# 09-18
(For Town Use) (For Town Use)

ZBA Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: Marco Plante
Address: 124 Bush Hill Road
Address: Hudson, NH
Telephone # _____
Fax # _____
Email: _____

Same

PROJECT ENGINEER

Name: Beals Associates, PLLC
Address: 70 Portsmouth Avenue
Address: Stratham, NH. 03885

Telephone # 583-4860
Fax # _____
Email: csmith@bealsassociates.com

PURPOSE OF PLAN:

To subdivide one parent parcel into 2.

(FOR TOWN USE)

Plan Routing Date: 8/6/18 Sub/Site Date: 9/12/18

_____ I have no comments _____ I have comments (attach to form)

_____ Title: _____ Date: _____

(Initials)

DEPT:

_____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning
_____ Consultant _____ Highway Department

Fees Paid \$579.75



PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 7-20-18 Tax Map # 206 Lot # 1
Name of Project: Wason Road Site Plan
Zoning District: (For Town Use) General SP# 13-18 (For Town Use)

ZBA Action:

PROPERTY OWNER:

DEVELOPER:

Name: Marco Plante Same
Address: 124 Bush Hill Road
Address: Hudson, NH
Telephone #
Fax #
Email:

PROJECT ENGINEER

SURVEYOR

Name: Beals Associates, PLLC S&H Land Services
Address: 70 Portsmouth Avenue 1600 Candia Road, Ste 5
Address: Stratham, NH. 03885 Manchester, NH
Telephone # 583-4860 628-8500
Fax #
Email: csmith@bealsassociates.com shlandservices.com

PURPOSE OF PLAN:

To establish a residential design of 3 duplex buildings on septic and well with a short cds.

Plan Routing Date: 8/16/18 For Town Use Sub/Site Date: 9/12/18
I have no comments I have comments (attach to form)
Title: Date:
DEPT: Zoning Engineering Assessor Police Fire Planning
Consultant Highway Department
Fees Paid: \$2309.75

70 Portsmouth Avenue
Stratham, N. H. 03885
Phone: 603-583-4860
Fax: 603-583-4863

Date: July 23, 2018
Chairman
Hudson Planning Board
12 School Street
Hudson, NH 03051

Re: 2-Lot Subdivision and 6-unit duplex development at 114 Wason Road, Hudson, NH
Tax Map 206, Lot 1

Members of the Board:

As agent for Marco Plante (owner), please accept this narrative for the above referenced project.

The purpose of this submittal is to concurrently apply for a 2-lot subdivision resulting in 1 - 17.2 acre parcel and 1 - 24.6 acre parcel; and a site plan to develop the smaller resultant lot with six residential units (3-duplexes) on a private road with underground utilities.

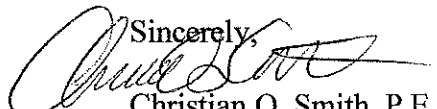
The total proposed road length is roughly 550 linear feet including the cul-de-sac. The road is configured with no wetland impacts or encroachment into buffer areas for any proposed construction. Stormwater will be treated and infiltrated through a BMP bioretention pond (rain garden) and stone drip edges for roof runoff.

There should be no long term impact on traffic as single family residential units produce 10-11 additional vehicle trips per day & the duplex units would be slightly less than that range. The addition of approximately 60-vehicle trips per day should not adversely affect traffic on Wason Road.

Based on current demographic studies for New Hampshire, this type of development results in roughly 0.58 children per household entering the school system. This would yield 3-4 new students which is a de minimus addition of student into the Hudson schools.

The units are proposed to be served by on-site wells and septic systems, and with the Stormwater being mitigated on the property not municipal systems, there should be no adverse impact on utilities in the long term after build-out of the development.

We look forward to working with the Board on this proposed development.

Sincerely,

Christian O. Smith, P.E.
Principal

" B "

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: Proposed Site Plan for Marco Plante

Street Address: 114 Wason Road

I Christian Smith hereby request that the Planning Board waive the requirements of item aw of the Subdivision/Site Plan Checklist in reference to a plan presented by Beals Associates, PLLC and S&H Land Services, LLC (name of surveyor and engineer) dated 7-30-18 for property tax map(s) 206 and lot(s) 1 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

~~A fiscal impact study for such a de minimus proposed development is not needed as; the addition of 550 linear feet of privately maintained road to serve 6 duplex style units (3-buildings) will not result in an increase in an appreciable expenditure for municipal services, the homes will be served by on-lot septic systems and water well, and the road and drainage will be privately maintained.~~

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

~~The proposed development will maintain the spirit and intent of the ordinance as the privately served dwellings and privately maintained road will not result in an undue burden on municipal services~~

Signed:

Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: Proposed Site Plan for Marco Plante

Street Address: 114 Wason Road

I Christian Smith hereby request that the Planning Board waive the requirements of item ay of the Subdivision/Site Plan Checklist in reference to a plan presented by Beals Associates, PLLC and S&H Land Services, LLC (name of surveyor and engineer) dated 7-30-18 for property tax map(s) 206 and lot(s) 1 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

A Noise study for the proposed development is not needed as; the noise generated after road construction is complete will be virtually undetectable, and the construction of the 550 linear foot road will be similar to any road that has been built in the town.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

The proposed development will maintain the spirit and intent of the ordinance as there will be virtually no minimal impact on abutting properties/uses from the residential dwellings.

Signed:

Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: Proposed Site Plan for Marco Plante

Street Address: 114 Wason Road

I Christian Smith hereby request that the Planning Board waive the requirements of item ax) of the Subdivision/Site Plan Checklist in reference to a plan presented by Beals Associates, PLLC and S&H Land Services, LLC (name of surveyor and engineer) dated 7-30-18 for property tax map(s) 206 and lot(s) 1 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

~~A traffic study for the proposed development is not needed as; the average daily trip ends for a 4-bedroom home is between 10 and 11 (slightly less for duplexes) and the addition of 60-70 trip ends on Wason Road will not affect the level of service for the existing street and the sight distance at the proposed intersection is far greater than that required for the proposed road~~

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

~~The proposed development will maintain the spirit and intent of the ordinance as there will be minimal impact on the existing traffic conditions on Wason Road.~~

Signed:

Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

"C"

Dhima, Elvis

From: Dhima, Elvis
Sent: Tuesday, August 07, 2018 4:01 PM
To: JayM@nashuarpc.org
Cc: Dubowik, Brooke
Subject: Wason Road Site Plan Review

Jay

I have only one comment

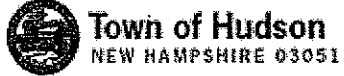
1. Applicant shall state on the plans if they meet or not the new MS4 requirements.

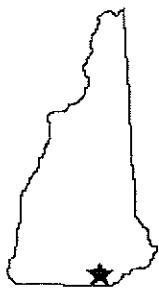
Thank you

E

Elvis Dhima, P.E.
Town Engineer

Town of Hudson, NH
12 School Street
Hudson, NH 03051
Phone: (603) 886-6008
Mobile: (603) 318-8286





"D"

TOWN OF HUDSON

FIRE DEPARTMENT INSPECTIONAL SERVICES DIVISION



12 SCHOOL STREET, HUDSON, NEW HAMPSHIRE 03051

Emergency 911
Business 603-886-6005
Fax 603-594-1142

Robert M. Buxton
Chief of Department

10 August, 2018

To: Town of Hudson
Planning/ Land Use Division
Attn: Brooke Dubowik

Fr: John J. O'Brien
Deputy Fire Chief

Re: Site Plan review Wason Road Sub-division Map 206 Lot 1

A Site plan review was conducted by this office for the above proposed development. Fire Department requirements are listed below.

Addressing

Building addresses must be assigned AND approved by the Fire Dept. prior to issuance of permits.

Street Name

Must be approved by the Hudson Fire Dept. This must be done at the time of Subdivision application.

Driveways and cul-sacs

Must meet the requirements of NFPA 1141 Standard for Fire Protection infrastructure for Land Development.

Water Supply for firefighting

In the absence of a municipal water supply a cistern is required. This cistern shall have a minimum capacity of 30,000 gallons and be installed per NFPA 1142. Please consult this office to properly locate.

If you have questions feel free to email jobrien@hudsonnh.gov or call 603-886-6021

John J. O'Brien
Deputy Fire Chief
Town of Hudson N.H

"E"

BEALS · ASSOCIATES

PLLC

70 Portsmouth Avenue
3rd Floor Suite 2
Stratham NH 03885
Phone: 603-583-4860
Fax: 603-583-4863

August 31, 2018

Ms. Brooke Dubowik
Planning Department Town of Hudson
12 School Street
Hudson, NH 03051



Re: Town of Hudson Planning Board Review
Wason Road Subdivision and Site Plan, 114 Wason Road
Tax Map 206, Lot 001; Acct. #1350-919
Fuss & O'Neill Reference No. 20030249. 1770

Dear Ms. Dubowik, Chairman & Members of the Board:

We are in receipt of a review letter from Fuss & O'Neill dated August 20, 2018 and we offer the following responses to the noted comments. Only comments requiring a response have been addressed. Each comment is followed by our response in **bold**.

Site Plan Review Codes and Administrative Requirements and Definitions

- a. Hudson Regulation (HR) 275-6.I. The scope of this review does not include the adequacy of any fire protection provisions for the site. No proposed measures were included on the plans in Fuss & O'Neill's review package. **Response: As this is a proposal for 3-duplex homes, no on-site fire suppression is proposed.**
- b. HR 275-8.C. (2) (0), 275-8.C. (3), and ZO 334-15.A. The applicant has not provided parking calculations for the proposed residential use. However, driveway layouts indicate that the proposed site meets the minimum number of spaces required. Architectural plans were not included with the review package so interior garage parking could not be determined. **Response: It would be very uncommon for a small residential development to be required to provide architectural plans prior to a conditional approval, however, the proposal is for a single car garage attached to each dwelling unit in addition to the driveway area available for parking. Parking calculations have been added to the site plan.**
- c. HR 275-8.C. (5). At 20 feet, the proposed access drive width is less than minimum aisle width of 24 feet required by the Regulation for perpendicular parking. **Response: It is our understanding that requirement pertains to a parking lot or offsite parking areas and not to a residential driveway. In addition, the road is to be maintained as private and our understanding from the technical review is that the proposed configuration is acceptable and does not require a waiver.**

- f. HR 275-9.F. and 276.11.1.B. (20). The applicant has not noted any existing or proposed easements, covenants, or deed restrictions for the subject lot on the plan set. **Response: none exist or are proposed.**
- g. HR 276-11.1.B. (1). The applicant has provided plans that do not meet the required sheet size of 22 inches by 34 inches. Per the Regulation the final plan submitted to the Planning Board shall be 22 inches by 34 inches. **Response: The final plans will be of the required size.**
- h. HR 276-11.1.B.(2). The applicant has provided a graphic scale of 1inch = 50 feet on plan sheet #9, but notes within the title block that the scale of this sheet is 1inch = 40 feet. The applicant should correct this discrepancy. **Response: The incorrect bar scale has been removed.**
- i. HR 276.11. 1. B. (3). The applicant has provided a title block that does not meet the location Regulation as all required information is not located in the lower right corner of the plan. **Response: The title block has been revised to comply with the location regulation as requested.**
- j. HR 276.11.1.B.(4)(a). The applicant has not provided a site plan approval block that meets the Regulation. The approval block is not the minimum size of 2 inches by 6 inches and does not contain the language required by the Regulation. **Response: The signature block has been revised as required.**
- k. HR 276-11.1.B. (5). The applicant has not provided the one-year site plan expiration statement block adjacent to the approval block with required language. **Response: The note has been added. The note did appear on the recordable plans in the original submittal.**
- l. HR 276-11.1.B. (6). The Owner's signature appears on several plan sheets but was not provided in the Owner's Signature block on the cover sheet. **Response: The cover sheet signature will be provided on the final plan set.**
- m. HR 276-11.1.B. (8). The applicant has provided a locus plan on one plan sheet but notes that it is not to scale, instead of the one inch equals 1,000 feet scale required by the Regulation. The location plan on the cover sheet is noted as having a one inch equals 500 feet scale but this does not appear to be accurate. The applicant should review and correct this drawing scale. **Response: The errant note has been removed and locus revised on the boundary plans to 1"=2000' to better show the location of the site and the nearest major intersection. A 1"= 1,000' scale locus does appear on the cover sheet.**
- o. HR 276-11.1.B. (13). The applicant has proposed a road name sign for the site access road, but has not provided any details for this sign nor an endorsement from the Hudson Fire Department for the proposed road name. **Response: Once a road name has been approved a detail and approval letter will be provided.**
- p. HR 276-11. 1. B. (15). The applicant has not shown any buildings within 50 feet of the tract. **Response: All existing items have been added as requested.**
- q. HR 276-11.1.B. (16). The applicant has not shown all driveways, travel areas or parking areas within 200 feet of the tract. **Response: All existing items have been added as requested by overlaying GIS panels to depict the required features.**
- r. HR 276-11.1.B. (17). We were unable to locate any benchmarks within the plan.

Response: Benchmarks have been added to the topographic plans as requested.

- s. HR 276-11.1.B. (23). The applicant has not provided any pertinent highway projects on the plan set. **Response: A note has been added specific to the Hudson Parkway project as include in the NHDOT ten year plan, may impact traffic flow on Wason Road.**
- t. HR 276.11.1.B. (24). The applicant has not provided open space percentage values for the subject lot. **Response: Again, this would appear to be a requirement that applies to a commercial site plan, not a small residential development as proposed. The remaining green space is vastly larger than the area of development.**

Driveway/Subdivision Review Codes (Chapter 193/Chapter 289)

- a. HR 193.10.B. The applicant has not proposed a drainage culvert where the access drive intersects with Wason Road. **Response: A culvert is proposed at station 0+75 as part of the drainage design and a culvert is not needed at the entrance as it is a high point. A note has been added near the entrance to grade the area to drain away from the proposed private road.**
- b. HR 193.10.C. and 289-18.Y. The applicant has proposed an access drive slope that doesn't conform to the Regulation or Town Construction Standards. The proposed slope exceeds the 2% maximum required by the Regulation. **Response: The road has been designed to best balance the amount of disturbance and provide safe access. Due to the fact that the road is private, the short length of the road and very low travel speed we feel this is an acceptable approach.**
- c. HR 193.10.E. The applicant has not shown sight distances for the proposed access drive in plan view on the plan set. There are several proposed signs and an existing utility pole which may obstruct the view to the south. The applicant should review these features to ensure a clear sight line is provided. **Response: Sight lines were provided on the plan view of the driveway access plan and have been made darker for presentation. The line of site is just past the existing utility pole and unobstructed by the proposed signs.**
- d. HR 193.10.J. The applicant has not provided a tie-in detail for the connections of the proposed access drive to the existing pavement at Wason Road. **Response: A detail has been added to sheet 8 as requested.**
- e. HR 193.10.J. The applicant has not provided a driveway section detail for proposed construction of driveways at the duplex units. **Response: A detail has been added to sheet 10 as requested.**
- f. HR 193 and 289-18.C.(2). The applicant should review the geometry of the proposed sag vertical curve along the access drive as this might present a problem for long rear overhang vehicles like trailers or some trucks. **Response: As the sag curve at the entrance results in a 1' elevation differential over the first 50' of the road centerline, we do not anticipate any issues with large vehicle access. In addition, WB50 vehicular traffic would not be anticipated with any regularity into this proposed development.**
- g. HR 289-18.B. (1) and 289-28.B.(2). The applicant has proposed a paved road width of 20 feet, including at the cul-de-sac turnaround, which is less than the 28 foot minimum

required by the Regulation. **Response: The road is to be maintained as private and our understanding from the technical review is that the proposed configuration is acceptable & similar to other private roads approved in Town.**

- h. HR 289-18.B.(3). The applicant has proposed a cul-de-sac radius of 60 feet which is less than the 65 foot minimum required by the Regulation. **Response: The radius has been revised to 65 feet as required.**

Subdivision Review Codes (HR 289)

- i. HR 289-17.C. The applicant has not indicated the proposed angle of the new interior lot line where it intersects the front lot line at Wason Road As depicted it appear to be close to the minimum of 45°. **Response: The resultant angle is 47° which exceeds the minimum requirement. This can be confirmed based on the bearings and distances on the subdivision plan.**

Traffic

- b. We note that the proposed speed limit sign is probably not necessary given the short road length. **Response: We agree and the proposed sign has been removed.**

Utility Design/Conflicts

- a. HR 275-9.E. and 276-13.A. The applicant has not provided a detailed utility plan for the site showing existing and proposed utility installations. **Response: Proposed underground utilities have been added.**
- b. HR 275-9.G.(4) and 276-13.G. The applicant has not provided a copy of a permit from the New Hampshire Department of Environmental Services showing compliance with their Subsurface Disposal Regulations or noted that a permit is pending. **Response: A note of permit pending has been added.**
- c. HR 276-13.G. and 289-26.B.(4). The applicant has not included any details for the construction of the proposed septic system. The only components of the proposed septic system shown are the septic reserve areas. **Response: To be provided when completed.**
- d. HR 276-13.H. The applicant did not include any details for the construction of the proposed water supply system. **Response: A pump house and water service lines are now shown on the subdivision site plan.**
- e. The applicant should revise the reference to the Town of Nottingham in Note #1 on Sheet #9. **Response: This has been corrected.**

Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. HR 290-4.B.1. The applicant should provide pre-treatment (such as a sediment forebay) for stormwater entering Basin 3P via the swale and culvert. Proper pre-treatment ensures that the treatment BMP does not become clogged with sediment over time, reducing the treatment of stormwater. **Response: A sediment forebay with a 2' sump below the pipe inverts has been added at the cross culvert near STA 0+72. The swale should provide adequate pretreatment form the culvert at the cul-de-sac.**

- b. HR 290-5.A.6. The applicant should add contour labels to all contours, specifically in Basin 3P. The applicant should also add finished floor elevations to illustrate intended construction elevation of the structures. **Response: additional labeling has been added.**
- c. HR 290-5.C. The applicant should add the rip rap apron lengths to the plan set. **Response: The length of the aprons were provided previously on the profile plan.**
- d. HR 290-5.C. According to TP 101 there is only 30" to ESHWT from the bottom of the basin which results in 0" separation from ESHWT to the bottom of filter media. The applicant should provide additional information on the proposed treatment in accordance to NHDES standards (Green Book as referenced or modern day Stormwater Manual). **Response: The pond has been reconfigured to meet existing grade at the existing 182' contour which will provide 1' of separation to the ESHWT from the bottom of the filter media.**
- e. HR 290-5.C. We note that in proximity of TP 102 existing grades vary from 196 to 204 within the proposed building footprint with a depth of 48" to ESHT. The stone drip edge has a depth of 2' resulting in 0 to 2' separation to ESHWT. The applicant should provide additional information on the proposed treatment in accordance to NHDES standards (Green Book as referenced or modern day Stormwater Manual) in this drip edge, as well as other locations. **Response: As this is simply residential roof runoff, treatment for the Stormwater is not required.**
- f. HR 290-5.C. The applicant should review the need for additional freeboard in Basin 3P because in the 25 year storm event there is only 0.23' of freeboard. Additional freeboard will ensure longevity of the berm and functionality of the basin. **Response: An additional 0.25' of berm has been provided which results in 0.5' of freeboard under a 25-YR frequency storm event.**
- g. HR 290-5.E. The applicant should provide additional information related to who will be the performing entity for the maintenance of the stormwater features; home owners association, individual owners, etc. **Response: The owner(s) will be performing necessary inspections and maintenance.**
- h. HR 290-5.F. The applicant should coordinate the Construction Sequence and the Temporary Erosion Control Measures between the Drainage Analysis, the Stormwater Management/BMP Facilities Maintenance Plan and the Plan Set. They differ slightly in order, phrasing, and specifics. **Response: The construction sequence has been removed from the Stormwater Inspection and Maintenance Manual as it is not germane to Stormwater/erosion control inspection or maintenance. The drainage analysis has been updated to be consistent with the plan set.**
- i. HR 290-5.H. We note the applicant's Drainage Report calculations do not account for frozen ground conditions. The applicant should provide additional information related to the performance of the propose drainage system during frozen ground conditions or request a waiver for this requirement. **Response: A proposed conditions analysis modelling frozen conditions (infiltration eliminated) has been provided & all ponds contain the Stormwater without overtopping.**
- j. HR 290-5.L.(7). The applicant has shown an underdrain on the road profile but has not shown this drainage feature on the plans. Information such as daylighting discharge/termination

location of underdrain along road, etc. should be provided in plan view. **Response: The underdrain has been added to the plan view as requested and daylighted into the proposed drainage swale.**

- k. HR 290-5.L.(10)0). The applicant should illustrate all critical areas upon the submitted plan. **Response: The 50' wetland setback is clearly depicted, there are no "highly erodible soils" in the area of development, and finally there are no disturbed areas with slope lengths in excess of 25' in areas of existing 10% slopes or greater.**

Zoning (ZO 334)

- a. ZO 334-14 and 334-25. The applicant has not provided architectural drawings noting the proposed height of the proposed buildings so conformance with these Ordinances could not be verified. **Response: To be provided by others.**
- e. ZO 334-60.A. The applicant has proposed several traffic signs to be installed within the public right-of-way. The applicant should include a note on the plans stating that all signs will be installed in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (MUTCD). **Response: The MUTCD requirement has been noted on the detail.**

Erosion Control/Wetland Impacts

- a. HR 290-4.A.1. The applicant should provide additional silt fence or erosion control mix berm along the southern edge of disturbed area within the site. **Response: Additional erosion control has been added as requested.**
- b. HR 290-5..K.(14). The applicant has not indicated the proposed areas of any earth stockpiles or their respective erosion and sediment control measures. **Response: A temporary stockpile location with erosion control protection has been identified on the profile sheet.**
- c. HR 290-5.K.(15). The applicant has not indicated the proposed areas of equipment storage and staging. **Response: A temporary staging/equipment storage area location has been identified on the profile sheet.**
- d. HR 290-5.K.(16). The applicant has not indicated the proposed method of stump disposal. **Response: A note has been added to the profile sheet detailing that stumps will be ground for mulch berms or buried onsite outside of areas for development features.**
- e. HR 290-5.K.(20). The applicant should add a silt fence/erosion control mix berm symbol to the plan legend. The applicant should also correct the plan sheet reference on sheet #9 (references sheet #13). **Response: The symbol has been added and reference corrected.**
- f. HR 290-5.K.(20). The applicant should include the installation of erosion control measures between the septic reserve areas and adjacent wetlands and other lower gradient areas. **Response: The septic design plans will include all required protection measures and will be provided when completed.**

- g. HR 290-5.K.(22). The applicant should show permanent snow storage areas on the plan set.
Response: Snow storage will be off pavement from road plowing & driveway clearing will be the responsibility of the unit owners.
- h. The Town should reserve the right to require additional erosion control measures
Response: No exception taken to this.

Landscaping (HR 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))

- a. HR 276-11.1.B.(20). The applicant has not proposed any new landscaping for the project site. **Response: A proposed tree line (limit of cutting) has been depicted on the site plan. As required in the construction details, all other disturbed areas will be ;loamed and seeded. Landscaping around the proposed dwellings will be determined by the owner(s).**
- b. HR276-18.B.(4) The applicant has not proposed any landscaping or the interior of the cul-de-sac. **Response: The cul-de-sac will have the well, pump house and a drainage swale within it & therefore, additional plantings are not proposed in that area.**
- c. HR 276-11.1.B.(14). The applicant has not provided the location, detail and character of any proposed site lighting or provided the required note stating "There will be no exterior lighting" on the plan. **Response: A note of No proposed lighting has been added to sheet 7.**

State and Local Permits (HR 275-9.G.)

- a. HR 275-9.G. No copies of applicable approval or permits were provided in the package received for review. **Response: No approvals or permits have been issued for the project at this time.**
- b. HR275-9.G. The applicant has noted that a New Hampshire Department of Environmental Services (NHDES) Alteration of Terrain Permit is not required. **Response: No response required.**
- c. HR 275-9.G. The applicant has noted that a NHDES Subdivision permit is approved for this project. The applicant should forward all relevant documentation for this permit to the Town for their records. **Response: A permit has not been approved at this time and has been relabeled as pending.**
- d. HR 275-9.G. The applicant has noted that a NHDOT driveway permit is required for this project. The applicant should revise this to note that a driveway permit from the Town of Hudson is required. **Response: The note has been corrected.**
- a. e. HR 275-9.G. The applicant did not provide copies of any applicable Town, State or Federal approvals or permits in the review package. **Response: No approvals or permits have been issued for the project at this time.**
- f. Additional local permitting may be required. **Response: This is understood.**

Thank you for your timely and professional review of the submitted plans. We trust the information provided and revisions made address your concerns. Please feel free to contact our

office if you have any additional question and/or comments.

Very Truly Yours,

BEALS ASSOCIATES, PLLC

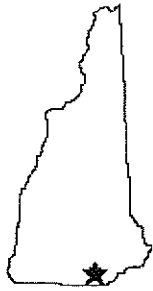
Handwritten signature of Scott D. Cole in black ink.

Scott D. Cole
Senior Project Manager

Handwritten signature of Christian O. Smith in black ink.

Christian O. Smith, PE
Principal

"E"



TOWN OF HUDSON

Planning Board



Glenn Della-Monica, Chairman

David Morin, Selectmen Liaison

12 School Street · Hudson, New Hampshire 03051 · Tel: 603-886-6008 · Fax: 603-594-1142

CAP FEE WORKSHEET - 2018

Date: 09-06-18 Zone # 2 Map/Lot: 206/001

Wason Road

Project Name: Wason Road Subdivision/Site Plan

Proposed ITE Use #1: Two-Family (Duplex)

Proposed Building Area (square footage): N/A S.F.

CAP FEES: (ONE CHECK NEEDED)

1.	(Bank 09) 2070-702	Traffic Improvements	\$ <u>1,781.00</u>
2.	(Bank 09) 2050-182	Recreation	\$ <u>400.00</u>
3.	(Bank 09) 2080-051	School	\$ <u>3,063.00</u>
		Total CAP Fee	\$ <u>5,244.00</u>

Check should be made payable to the Town of Hudson.

Thank you,

Brooke Dubowik

Planning Administrative Aide