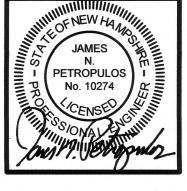
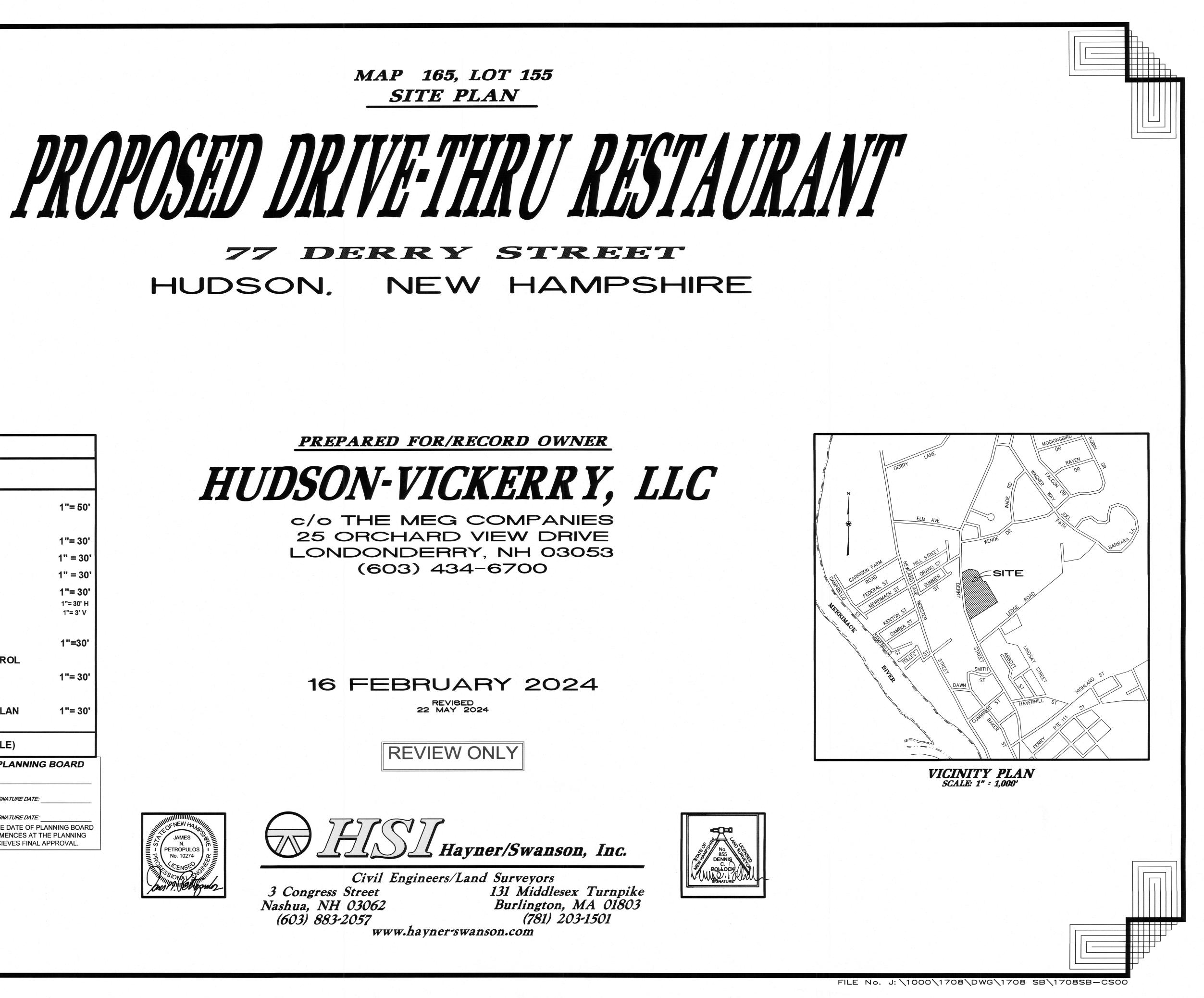


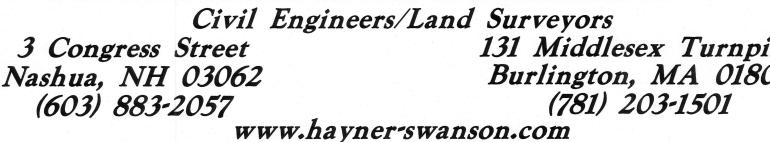
1 OF 16 2 OF 16 3 OF 16 4 OF 16 5 OF 16 6 OF 16 7 OF 16	MASTER SITE PLAN NOTES AND LEGEND EXISTING CONDITIONS PLAN SITE DEMOLITION PLAN SITE GRADING & UTILITY PLAN	
3 OF 16 4 OF 16 5 OF 16 6 OF 16	EXISTING CONDITIONS PLAN SITE DEMOLITION PLAN SITE GRADING & UTILITY PLAN	1"= 30"
4 OF 16 5 OF 16 6 OF 16	SITE DEMOLITION PLAN SITE GRADING & UTILITY PLAN	
5 OF 16 6 OF 16	SITE GRADING & UTILITY PLAN	
6 OF 16	2018년 2017년 2018년 2017년 2017	1" = 30
		1" = 30
7 OF 16	SITE LAYOUT PLAN	1"= 30
	UTILITY PROFILES	1"= 30' H 1"= 3' V
8-11 OF 16	DETAIL SHEET - GENERAL SITE	
12 OF 16	EROSION CONTROL PLAN	1"=30'
13 OF 16	DETAIL SHEET - EROSION CONTROL	
14 OF 16	LANDSCAPE PLAN	1"= 30
15 OF 16	DETAIL SHEET - LANDSCAPE	
16 OF 16	PHOTOMETRIC SITE LIGHTING PLAN	1"= 30
	BUILDING RENDERING (FACSIMILE)	
SITE REVIEW	APPROVED BY THE HUDSON, NH PLANNI	NG BOARD
	AIRMAN:	TE:
APPROVAL GRANTED HEREIN	CRETARY:	TE:
	E PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF IEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES A BOARD MEETING DATE AT WHICH THE PLAN RECIEVES FINA	T THE PLANNING

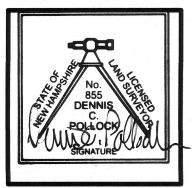


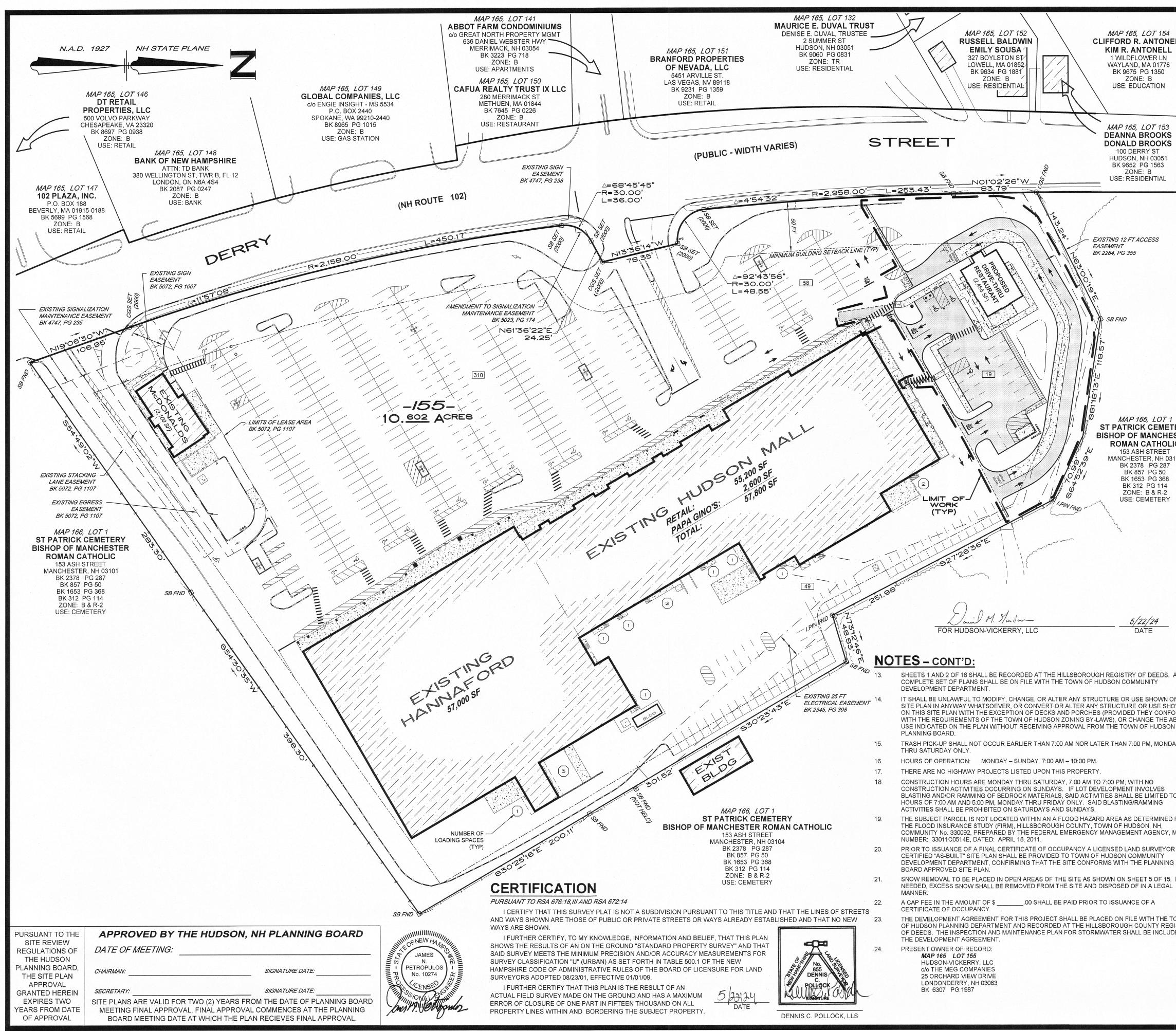












LL	DERRY (RTE. 102)
	LINDSAY ST. IEEDGEF
	ST. PATRICK CEMETERY
	VICINITY MAP SCALE: 1" = 500'±
	NOTES: 1. LOT AREA: (MAP 165, LOT 155) 10.602± ACRES (461,823± SF)
	2. PRESENT ZONING: B - BUSINESS MINIMUM LOT REQUIREMENTS: - LOT AREA 30,000 SF - LOT FRONTAGE 150 FT MINIMUM BUILDING SETBACKS REQUIREMENTS - FRONT YARD 50 FT - SIDE YARD 35 FT - REAR YARD 15 FT MAXIMUM BUILDING HEIGHT: 15 FT
	 LOT NUMBERS REFER TO THE TOWN OF HUDSON ASSESSORS MAPS 165 & 166. SITE IS CURRENTLY SERVICED BY MUNICIPAL WATER AND MUNICIPAL SEWER, GAS AND OVERHEAD ELECTRIC AND TELECOMMUNICATION UTILITIES.
	5. PURPOSE OF PLAN: TO SHOW PROPOSED DRIVE-THRU RESTAURANT ALONG WITH ACCOMPANYING
	PARKING AND SITE IMPROVEMENTS ON MAP 165, LOT 155. 6. PARKING: LOT 155:
	EXISTING:= 486 SPACESREQUIRED (MINIMUM):1 SPACE/200 SF X 55,200 SF= 276 SPACESEXISTING MALL (RETAIL):1 SPACE/200 SF X 57,000 SF= 286 SPACESEXISTING MALL (HANNAFORD):1 SPACE/200 SF X 57,000 SF= 286 SPACES
	EXISTING MCDONALDS:1 SPACE/100 SF X 3,100 SF= 31 SPACESEXISTING PAPA GINO'S1 SPACE/100 SF X 2,600 SF26 SPACESPROPOSED DRIVE-THRU RESTAURANT 1 SPACE/100 SF X 2,465 SF= 25 SPACES
ERY STER C	TOTAL= 644 SPACESPROPOSED:= 437 SPACES7.LOADING:
101	REQUIRED: 13 SPACES PROVIDED: 14 SPACES 8. OPEN SPACE:
	REQUIRED: 35 % EXISTING: 9.6±% PROPOSED: 13.0±%
	9. BUILDING HEIGHT: EXISTING: 21± FT (25± FT AT LOADING DOCKS) PROPOSED: 16 FT
	 ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO INSTALLATION THEREOF. SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS
	WITH DISABILITIES ACT (LATEST EDITION). 12. SITE LIGHTING SHALL BE SHOWN ON THE PLAN, DIRECTED ONTO THE SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
	REVIEW ONLY
4	1 05/22/24 ADDRESS TOWN COMMENTS EDB No. DATE REVISION BY
N THIS	MASTER SITE PLAN (MAP 165, LOT 155)
OWN ORM BOVE	PROPOSED DRIVE-THRU RESTAURANT
ΑY	77 DERRY STREET HUDSON, NEW HAMPSHIRE
O THE	PREPARED FOR / RECORD OWNER: HUDSON-VICKERRY, LLC
FROM MAP	c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY, NH 03053 (603) 434-6700
	50 0 50 100 150 200 FEET
IF	25 0 25 50 METERS SCALE: 1"=50 Feet 1"=15.240 Meters
NWC	IG FEBRUARY 2024
ISTRY ED IN	FIST Hayner/Swanson, Inc.
a source of the	Civil Engineers/Land Surveyors
	3 Congress Street Nashua, NH 03062 (603) 883-2057 Www.hayner-swanson.com

PLAN REFERENCES:

- AMENDED SITE PLAN, LOT 53, MAP 59, HUDSON MALL, DERRY STREET ROUTE 102, HUDSON, NEW HAMPSHIRE, PREPARED FOR: HUDSON-VICKERRY REALTY TRUST, SCALE: 1" = 50', DATED: 25 JUNE 1996 WITH REVISIONS THRU 05/14/97 AND PREPARED BY THIS OFFICE RECORDED HCRD PLAN No. 28683.
- REVISED SITE PLAN, LOT 53, MAP 59, HUDSON MALL, DERRY STREET, HUDSON, NEW HAMPSHIRE, PREPARED FOR: HUDSON-VICKERRY REALTY CO. TRUST, SCALE: 1" = 50', DATED: 17 NOVEMBER 1988 WITH REVISIONS THRU 08/31/89 AND PREPARED BY: ALLAN H. SWANSON, INC
- RECORDED HCRD PLAN No. 23745. REVISED SITE PLAN, LOT 53, MAP 59, HUDSON MALL, DERRY STREET, HUDSON, NEW HAMPSHIRE. PREPARED FOR: HUDSON-VICKERRY REALTY CO. TRUST, SCALE: 1" = 50', DATED: 17 NOVEMBER 1988 AND PREPARED BY: ALLAN H. SWANSON, INC. RECORDED HCRD PLAN No. 22934.
- SITE PLAN, MAP 59 / LOT 53, DERRY STREET, HUDSON, NH, PREPARED FOR: HUDSON-VICKERRY REALTY CO. TRUST. DATED: 8 SEPTEMBER 1987 WITH REVISIONS THRU 02/09/88, AND DEDICATION PLAN, DATED: 8 SEPTEMBER 1987 WITH REVISIONS THRU 9/16/87 AND PREPARED BY ALLAN H. SWANSON, INC. RECORDED HCRD PLAN No. 22076.
- RELOCATION OF LOT LINES BETWEEN HUDSON-VICKERRY REALTY CO. TRUST AND ST. PATRICK'S PARISH CEMETERY, DERRY ROAD, HUDSON, NH, DATED MAY 1974. RECORDED HCRD PLAN No. 7582.
- PLAN OF LAND FOR HUDSON VICKERRY REALTY CO. TRUST, RTE 102, HUDSON, NH, REVISED THRU 01/22/74. RECORDED HCRD PLAN No. 7212
- RIGHT-OF-WAY PLANS, N.H. PROJECT NO. 12460,
- ON FILE AT NHDOT RIGHT-OF-WAY PLAN AND PROFILE, N.H. PROJECT NO. 12460.
- ON FILE AT NHDOT PLAN OF LAND OF ST. PATRICK'S CEMETERY, DERRY STREET, HUDSON, NH, DATED JULY
- 1964 UNRECORDED PLAN

EASEMENTS, RIGHTS AND RESTRICTIONS:

- THE PROPERTY HAS THE BENEFIT OF THE SIGN EASEMENT AS DESCRIBED IN BK 4747, PG 238
- THE PROPERTY HAS THE BENEFIT OF A DRAINAGE EASEMENT AS DESCRIBED IN BK 2310, PG 12. THE PROPERTY HAS THE BENEFIT OF THE RIGHT OF WAY OVER A WOOD ROAD AS DESCRIBED IN
- BK 1822, PG 180.
- THE PROPERTY IS SUBJECT TO WATER AND ACCESS RIGHTS, IN SO MUCH AS THEY MAY STILL BE IN EFFECT, AS DESCRIBED IN BK 714, PG 143 RECORDED SEPTEMBER 18, 1913.
- THE PROPERTY IS SUBJECT TO THE 12 FT RIGHT OF WAY AS ORIGINALLY DESCRIBED IN BK 2264, PG 355 AND RESTATED IN BK 2338, PG 423, AS WELL AS THE ADDITIONAL ACCESS RIGHTS TO SAID 12 FT RIGHT OF WAY AS DESCRIBED IN BK 2338, PG 423. SEE ALSO STATEMENT ON HCRD PLAN No. 7212 THAT SAID 12 FT RIGHT OF WAY APPEARS TO RELOCATE ANY PREVIOUS ACCESS RIGHTS OVER THE PROPERTY
- THE PROPERTY IS SUBJECT TO THE 25 FT UTILITY EASEMENT IN FAVOR OF NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY AS DESCRIBED IN BK 2345, PG 398.
- THE PROPERTY IS SUBJECT TO THE UTILITY EASEMENT IN FAVOR OF THE HUDSON WATER CO., AS DESCRIBED IN BK 2391, PG 845. THE PROPERTY IS SUBJECT TO MULTIPLE EASEMENTS AS DESCRIBED IN AND ASSOCIATED WITH A
- MEMORANDUM OF LEASE AS RECORDED IN BK 5072, PG 1107. THE PROPERTY IS SUBJECT TO THE SIGNALIZATION MAINTENANCE EASEMENT IN FAVOR OF THE
- TOWN OF HUDSON AS DESCRIBED IN BK 4747, PG 235. THE PROPERTY IS SUBJECT TO THE AMENDMENT TO SIGNALIZATION MAINTENANCE EASEMENT AS DESCRIBED IN BK 5023, PG 174.
- THE PROPERTY IS SUBJECT TO THE DEVELOPMENT AGREEMENT BETWEEN HUDSON-VICKERRY REALTY CO., TRUST AND THE TOWN OF HUDSON AS DESCRIBED IN BK 5832, PG 706.
- THE PROPERTY WAS FORMERLY CROSSED BY ROCKY HILL ROAD, ORIGINALLY LAID OUT ON 12. OCTOBER 13, 1749 AND DISCONTINUED ON FEBRUARY 23, 1828 IN STATE OF NH RIGHT OF WAY RECORDS BK 2, PG 667. UNWRITTEN OR PRIVATE RIGHTS MAY EXIST IN THIS ROAD AS IMPACTED BY RIGHTS DESCRIBED IN ITEM 5 ABOVE.

WAIVERS REQUESTED/ APPROVED:

SPR 275-8c(2) REQUIRED PARKING SPACES

SURVEY NOTES

1.		TING TOPOGRAPHY, AS SHOWN ON THE PLANS, IS BASED ON AN ACTUAL FIELD SURVEY I THE GROUND ORIGINALLY IN JUNE OF 1998 AND AS PERIODICALLY UPDATED THROUGH OF 2023.	12. 13.
2.	EXISTING WORK DI	BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA JE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK IMENCED.	SN
3.	SURVEY	CONTROL:	•
		HORIZONTAL DATUM: NAD27 PROJECTION: NH STATE PLANE VERTICAL DATUM: NGVD29* SCALE FACTOR APPLIED: 1.000000	•
		UNITS: US SURVEY FEET	
		ERTICAL DATUM WAS VERIFIED USING GPS (KEYNET NETWORK) BY TAKING OBSERVATION I SITE AND ON NGS (FORMERLY USGS) "DISK D-26" LOCATED ON THE NORTHERLY SIDE OF	
	R	E 101A APPROXIMATELY 4.5 MILES WEST OF THE NASHUA LIBRARY.	
4.	THE CON	TRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.	
5.		TRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE N, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON	
	THESE P	ANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE	•
) IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED JCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING	
		E WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.	•
6.		ANDS WERE OBSERVED ON, OR WITHIN 100 FEET OF, THE PROPOSED NEW LOT PER GARY	•
0.		Y, CWS, CPSS, BASED ON A SITE INSPECTION ON JANUARY 27, 2018.	
			•
			•
			•
		APPROVED BY THE HUDSON. NH PLANNING BOA	PD
SITE RE	TO THE	APPROVED BY THE HUDSON, NH PLANNING BOA	
GULATI	ONS OF	DATE OF MEETING:	
	DSON BOARD,		RD
THE SITE		CHAIRMAN:	
APPRO	VAL		
RANTED EXPIRES	A Contract of the second s	SECRETARY:	[]]
		SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLAN	BUARD
ARS FRC			

SITE DEMOLITION NOTES:

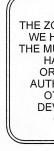
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES. OF ALL STRUCTURES, PADS, WALLS, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR SITE DEMOLITION AND DISPOSAL
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON SITE LOCATIONS OF EXISTING UTILITIES.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE 5. EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. THE CONTRACTOR SHALL GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. THE CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ROAD RIGHT OF WAY DURING CONSTRUCTION.
- PRIOR TO SITE DEMOLITION OCCURRING, ALL APPROPRIATE EROSION CONTROL DEVICES 7 ARE TO BE INSTALLED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE TOWN OF HUDSON PRIOR TO THE START OF DEMOLITION OR CONSTRUCTION. A DEMOLITION APPROVAL PERMIT SHALL BE OBTAINED FORM THE TOWN OF HUDSON PRIOR TO THE ANY BUILDING DEMOLITION. FOR WORK WITHIN A PUBLIC STREET THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL 9.
- PLAN TO THE TOWN ENGINEERING DEPARTMENT. 10.
- THE CONTRACTOR SHALL REMOVE AND STOCKPILE EXISTING SLOPE AND VERTICAL GRANITE CURB IN A LOCATION PROVIDED BY THE OWNER'S REPRESENTATIVE. CURB THAT IS IN GOOD CONDITION AND ACCEPTABLE TO THE OWNER'S REPRESENTATIVE MAY BE REUSED IN LOCATIONS SHOWN ON THE SITE GRADING & UTILITY PLAN. SURPLUS OR UNACCEPTABLE CURB SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROPERTY

CONSTRUCTION SEQUENCE:

- INSTALL SILT SOCK AND CONSTRUCT GRAVEL CONSTRUCTION EXIT AS SHOWN ON THE PLAN.
- CLEAR & GRUB SITE ACCORDING TO PLAN. CUT AND DISPOSE OF ANY DEBRIS PRODUCED 2. DURING THE CLEARING AND GRUBBING ACTIVITY.
- PERFORM SITE GRADING OF THE PROPOSED BUILDING AND PARKING AREAS. ALL SIDE 3. SLOPES SHALL BE LOAMED AND SEEDED AND MULCHED IMMEDIATELY AFTER BEING CONSTRUCTED.
- BEGIN BUILDING AND PARKING AREA CONSTRUCTION. 4
- 5. INSTALL SITE UTILITIES IN ACCORDANCE WITH THE PLAN.
- INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE 'SILTSACK DETAIL'. THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
- PREPARE SITE FOR PAVING.
- AS BUILDING AND PARKING AREAS ARE COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED, NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF 30 DAYS.
- LOAM AND SEED ALL REMAINING DISTURBED AREAS. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER BEING CONSTRUCTED.
- FINAL PAVING OF DRIVEWAY AND PARKING AREAS.
- INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
- SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF DISTURBED AREAS
- REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

OW STORAGE AND DE-ICING PLAN:

- PRIOR TO FIRST STORM, ESTABLISH PLOWING SCHEDULE AND REVIEW PROPOSED MATERIALS FOR REATMENT OF ICE/SNOW CONDITIONS.
- CONDUCT SITE VISIT TO CONFIRM SNOW STORAGE AREAS CONSISTENT WITH APPROVED SITE PLAN. CALCIUM CHLORIDE, SAND AND NON-TOXIC ADDITIVES PRE-APPROVED BY AIREX WILL BE APPLIED.
- USE OF GLYCOL-CONTAINING DE-ICING PRODUCTS IS PROHIBITED
- USE OF SODIUM CHLORIDE (AKA ROCK SALT) AND/OR SODIUM CHLORIDE BLENDS ARE PROHIBITED.
- MATERIALS ARE TO BE APPLIED TO IMPERVIOUS SURFACES ONLY; LANDSCAPING AND GRASSED
- REAS ARE TO BE AVOIDED.
- PLOW LOGS TO RECORD DATE/TIME AND WORK PERFORMED WILL BE MAINTAINED BY THE CONTRACTOR AND PROVIDED TO AIREX. SNOW STORAGE AREAS WILL BE MONITORED; WHEN SIZE OR HEIGHT BECOMES AN ISSUE SNOW
- WILL BE REMOVED FROM THE SITE AS DIRECTED BY AIREX.
- DEPENDENT ON THE FORECAST AND IF EXTENDED COLD WEATHER OR SNOW IS ANTICIPATED, CONTRACTOR WILL PRETREAT ALL DRIVEWAYS AND SIDEWALKS PRIOR TO A STORM, AS NEEDED. SAND MAY BE APPLIED BY HAND, SIDEWALK SPREADER OR TRUCK SPREADER, TO PROVIDE
- ADDITIONAL TRACTION.
- ALL SAND APPLIED OVER THE COURSE OF THE WINTER SEASON WILL BE COLLECTED AND REMOVED FROM THE SITE BASED ON SEASONAL CONDITIONS BUT NO LATER THAN MAY 15TH OF EACH YEAR. AT NO TIME SHALL SNOW BE PLOWED TO OR STOCKPILED IN THE STORMWATER DETENTION BASIN
- LOCATED ALONG THE NORTHWEST PORTION OF THE PROPERTY.
- EWHA JAMES N. ROPULOS 10274



► ZONING NOTE ◀ THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE

WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY, SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY. THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE TO FILE AN ELECTRONIC NOTICE OF INTENT (EN0I) WITH THE US-EPA A MINIMUM OF 14 DAYS PRIOR TO COMMENCING ANY EARTHWORK OPERATIONS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH THE PROJECT SHALL OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND SHALL COMPLY WITH THE TERMS OF SWPPP AND NPDES PERMIT
- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. З. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY SITE CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR 4. LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- STOCKPILE AREAS SHALL BE SURROUNDED BY SILT SOCK AND RE-SEEDED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN FOURTEEN (14) DAYS.
- ALL MEASURES STATED ON THIS EROSION CONTROL PLAN, AND IN THE STORMWATER POLLUTION 6. PREVENTION PLAN. SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETE PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT
- SILT SOCK SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED 7.
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS 8 OF UNDERMINING OR DETERIORATION
- ALL SEEDED AREAS SHALL BE CHECK REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. 9 AREAS SHOULD BE FERTILIZED. WATERED AND RESEEDED AS NEEDED. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING 10
- OR FLOW OF MUD ONTO PUBLIC RIGHT-OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXIT AS CONDITIONS DEMAND.
- 11. THE TOWN OF HUDSON RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION IF NEEDED

CONSTRUCTION NOTES

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST ADDITION, ARE HEREBY INCORPORATED BY REFERENCE.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPT., HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHALL BE ADS N-12 (SOIL TIGHT). CATCH BASINS SHALL BE TYPE B, AND HAVE 4 FT SUMPS AND GAS HOODS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING
- WATER SUPPLY, SANITARY SEWER, POWER, GAS, AND TELECOMMUNICATION UTILITIES SHALL BE EXTENDED TO THE PROPOSED BUILDING AS SHOWN.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED THROUGH THE 5. CONSTRUCTION PROCESS UNTIL STABILIZATION OCCURS.
- STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER. 6.
- DIMENSIONS TO CURB AND GUTTERS INDICATE EDGE OF PAVING UNLESS OTHERWISE NOTED.
- EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING PAVEMENT.
- OFF-SITE FILL MATERIAL 9
 - A. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING, CONTAINING, AND DULY REMOVING ALL CONSTITUENTS OF CONCERN BROUGHT TO THE SITE BY CONTRACTOR, SUBCONTRACTORS, SUPPLIERS, OR ANYONE ELSE FOR WHOM CONTRACTOR IS RESPONSIBLE, AND FOR ANY ASSOCIATED COSTS; AND FOR THE COSTS OF REMOVING AND REMEDIATING ANY HAZARDOUS ENVIRONMENTAL CONDITION CREATED BY THE PRESENCE OF ANY SUCH CONSTITUENTS OF CONCERN. CONTRACTOR SHALL NOT IMPORT ANY FILL OVER THE AMOUNT OF TEN CUBIC YARDS
 - CUMULATIVE TOTAL PER SOURCE TO ANY JOB SITE IN THE TOWN OF HUDSON WITHOUT SOILS TESTING VERIFYING THE ABSENCE OF ALL CONSTITUENTS OF CONCERN, AND WITHOUT PRIOR APPROVAL BY ENGINEERING DEPARTMENT STAFF DOCUMENTATION SUCH AS TEST REPORTS, CERTIFICATIONS AND SIEVE ANALYZES OF FILL SHALL BE PROVIDED TO THE ENGINEERING DEPARTMENT FOR APPROVAL PRIOR TO TRANSPORTING THE MATERIAL TO HUDSON.
- THE CONTRACTOR SHALL COORDINATE WITH THE TOWN ENGINEER FOR ANY REQUIRED BOND OR 10. ESCROW

TOWN OF HUDSON CONTACTS

- PLANNING DEPARTMENT HUDSON PLANNING DEPT 12 SCHOOL STREET
- HUDSON, NH 03051 ATT: BEN WITHAM-GRADERT ASSOCIATE PLANNER (603) 886-6008
- ENGINEERING DEPARTMENT HUDSON ENGINEERING DEPT.
- 12 SCHOOL STREET HUDSON, NH 03051 ATT: ELVIS DHIMA, P.E.
- TOWN ENGINEER (603) 886-6008
- FIRE DEPARTMENT HUDSON FIRE DEPARTMENT 12 SCHOOL STREET HUDSON, NH 03051 ATT: ROBERT BUXTON, FIRE CHIEF
- (603) 886-6021

CERTIFICATION

PURSUANT TO RSA 676:18,III AND RSA 672:14 I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NE WAYS ARE SHOWN.

I FURTHER CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

CONTACT DIG SAFE 72 HOURS

PRIOR TO CONSTRUCTION

digsafe.com

DIAL 811 or

1-888-DIG-SAFE

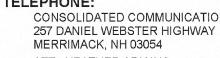
1-888-344-7233

DENNIS C. POLLOCK, LLS

UTILITY CONTACTS GAS: LIBERTY UTILITIES 130 ELM STREET

MANCHESTER, NH 03103 ATT: ANDREW MORGAN (603) 327-5357

TELEPHONE: CONSOLIDATED COMMUNICATIONS



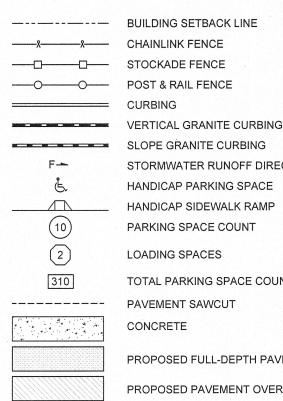
ATT: HEATHER ARUJUO (603) 296-5998

POWER: EVERSOURCE 370 AMHERST STREET NASHUA, NH 03060 ATT: MARC GAGNON (603) 882-5894

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STING GROUND CONTOUR STING SPOT ELEVATION POSED GRADE POSED SPOT GRADE RM DRAIN & CATCH BASIN RM DRAIN & MANHOLES RM DRAIN & HEADWALL RM DRAIN & END SECTION IITARY SEWER & MANHOLES FER MAIN & HYDRANT FER MAIN & GATE VALVE LINE & GATE VALVE ITY POLE WITH GUY SUPPORT EET LIGHT HT POLES RHEAD ELECTRIC & TELEPHONE DERGROUND ELEC/TEL & MANHOLES HIGHWAY BOUND NE BOUND ICRETE BOUND N PIN N PIPE TON GIN SPINDLE LL HOLE & STONE WALL NE BOUND TO BE SET N PIN TO BE SET IPORARY BENCHMARK





HANDICAP SIDEWALK RAMP PARKING SPACE COUNT LOADING SPACES TOTAL PARKING SPACE COUNT ----- PAVEMENT SAWCUT CONCRETE PROPOSED FULL-DEPTH PAVEMENT PROPOSED PAVEMENT OVERLAY

STORMWATER RUNOFF DIRECTION

HANDICAP PARKING SPACE

RIPRAP / STONE

CONIFEROUS TREE DECIDUOUS TREE

SHRUBS

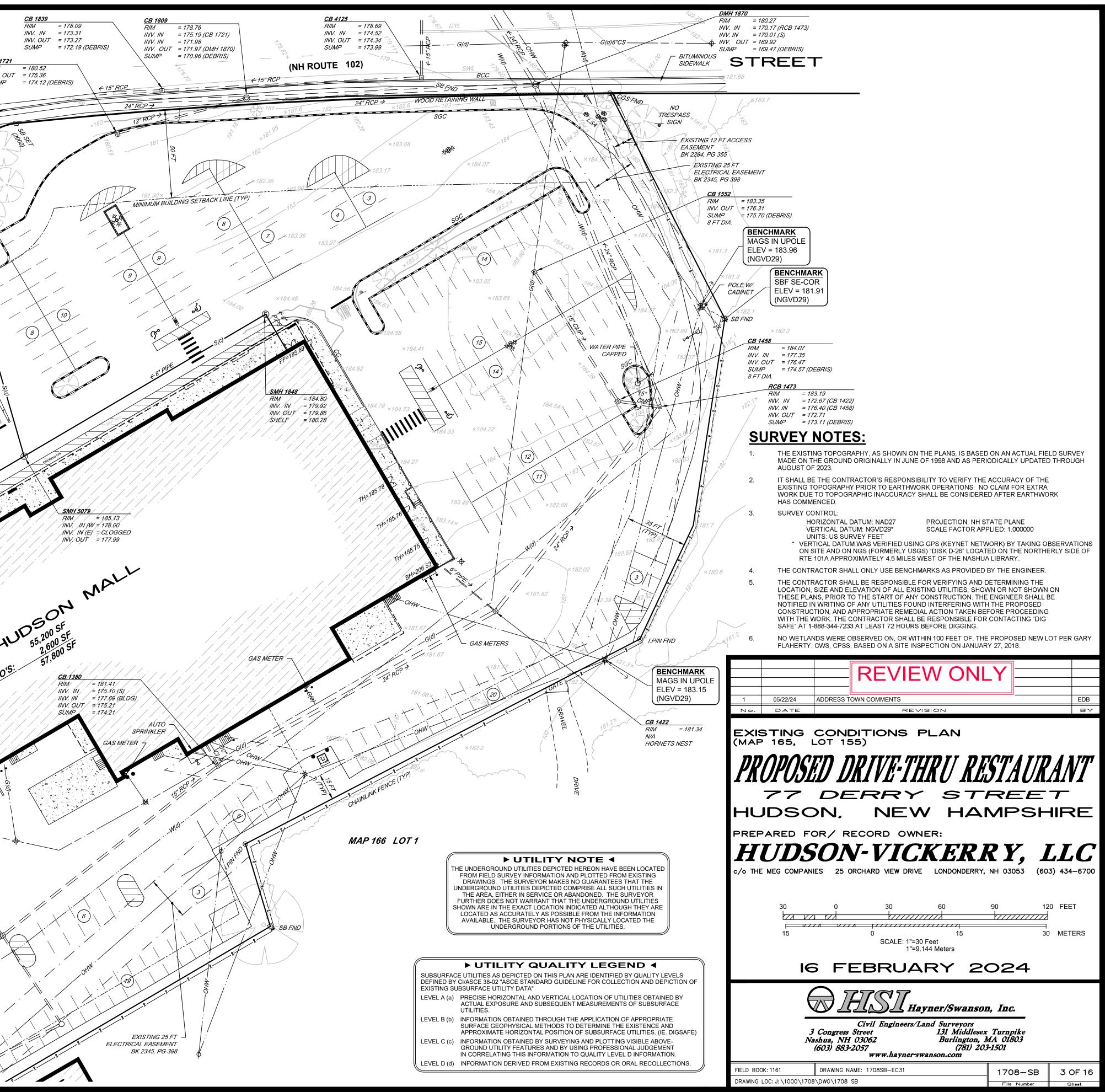
LIMIT OF WORK

ABBREVIATIONS

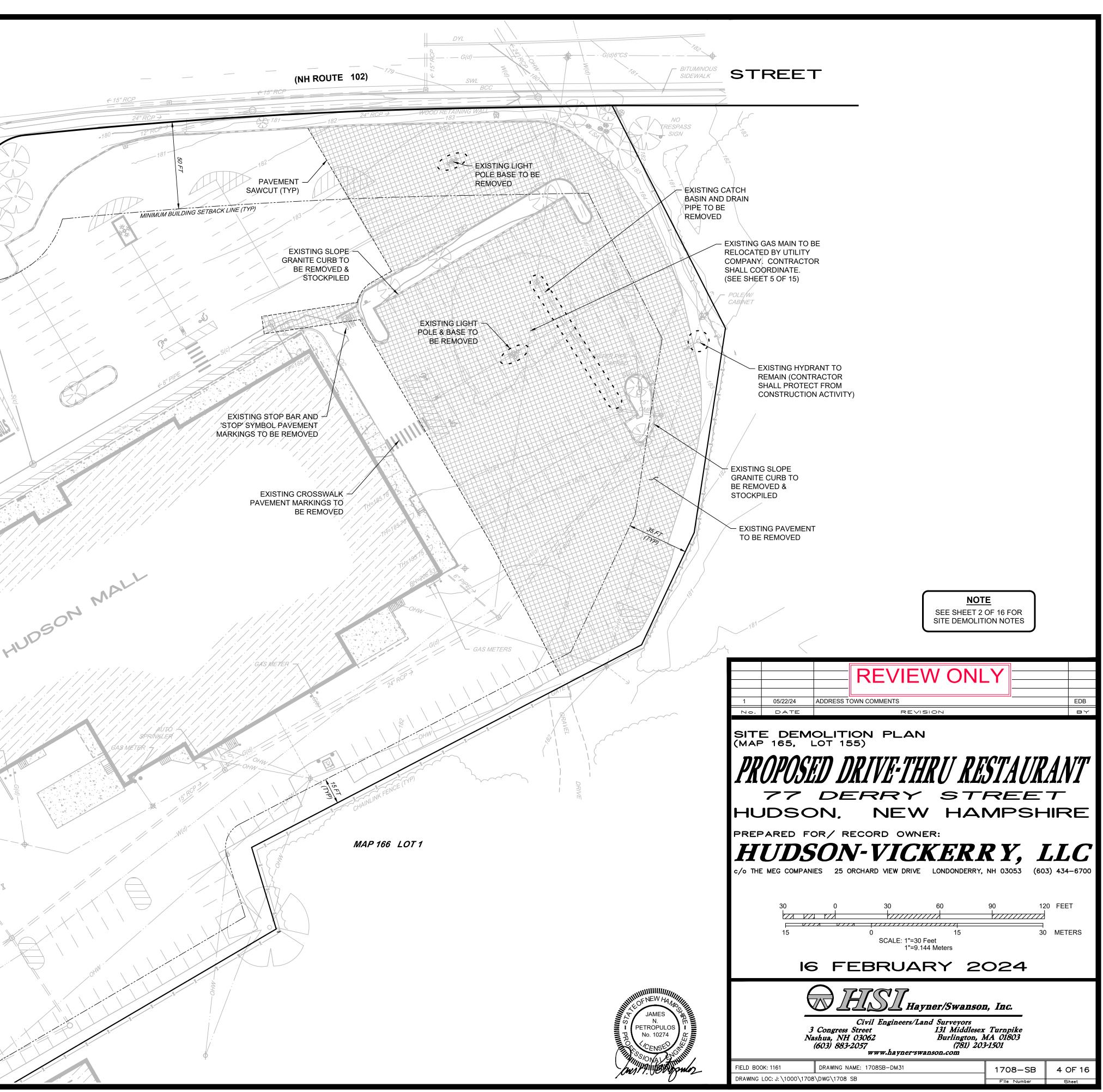
GENER	AL	UTILITY	
APPROX	APPROXIMATE	СВ	CATCH BASIN
BIT	BITUMINOUS	C.I.	CAST IRON PIPE
BM	BASEMENT FLOOR ELEVATOIN	CMP	CORRUGATED METAL PIPE
BWL	BROKEN WHITE LINE	C.O.	CLEANOUT
BYL	BROKEN YELLOW LINE	CU	COPPER TYPE K WATER PIPE
CONC	CONCRETE	DB. GR.	DOUBLE GRATE
DYL	DOUBLE YELLOW LINE	D.I.	DUCTILE IRON PIPE
ELEV	ELEVATION	DMH	DRAIN MANHOLE
EXIST	EXISTING	FES	FLARED END SECTION
FE	FLOOR ELEVATION	HW	HEAD WALL
FF	FINISH/FIRST FLOOR ELEVATION	FM	FORCE MAIN
GF	GARAGE FLOOR ELEVATION	HDPE	HIGH DENSITY POLYETHYLENE PIPE
MAX	MAXIMUM	HYD	HYDRANT
MIN	MINIMUM	INV	INVERT
N.T.S.	NOT TO SCALE	OCS	OUTLET CONTROL STRUCTURE
PERF	PERFORATED	PVC	POLYVINYL CHLORIDE PIPE
PROP	PROPOSED	RCP	REINFORCED CONCRETE PIPE
SWL	SOLID WHITE LINE	RIM	RIM ELEVATION
SYL	SOLID YELLOW LINE	SMH	SEWER MANHOLE
TYP	TYPICAL	UGE	UNDERGROUND ELECTRIC
W/O	WALKOUT FLOOR ELEVATION	UGT	UNDERGROUND TELECOMMUNICATIONS
		YD	YARD DRAIN



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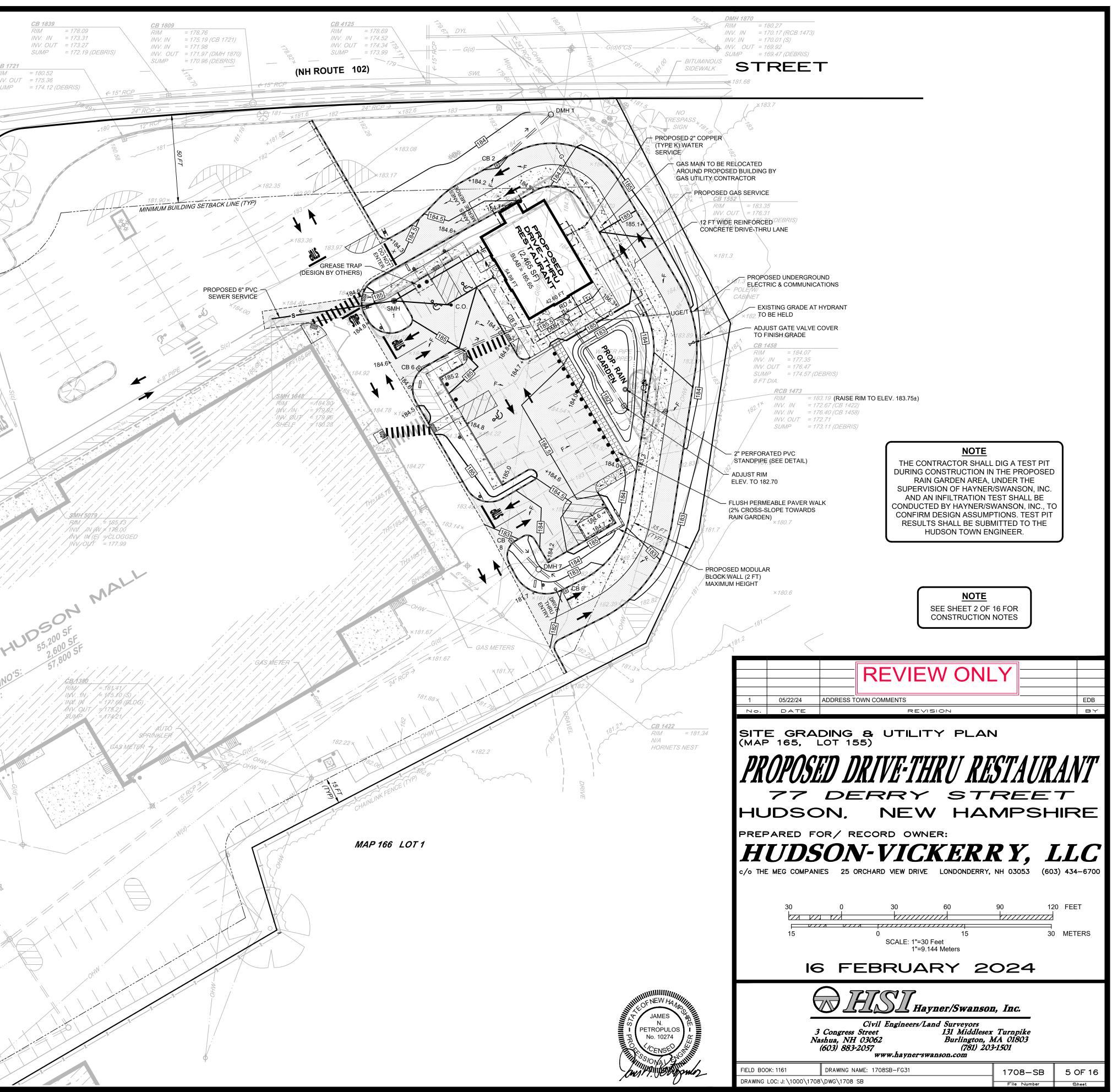


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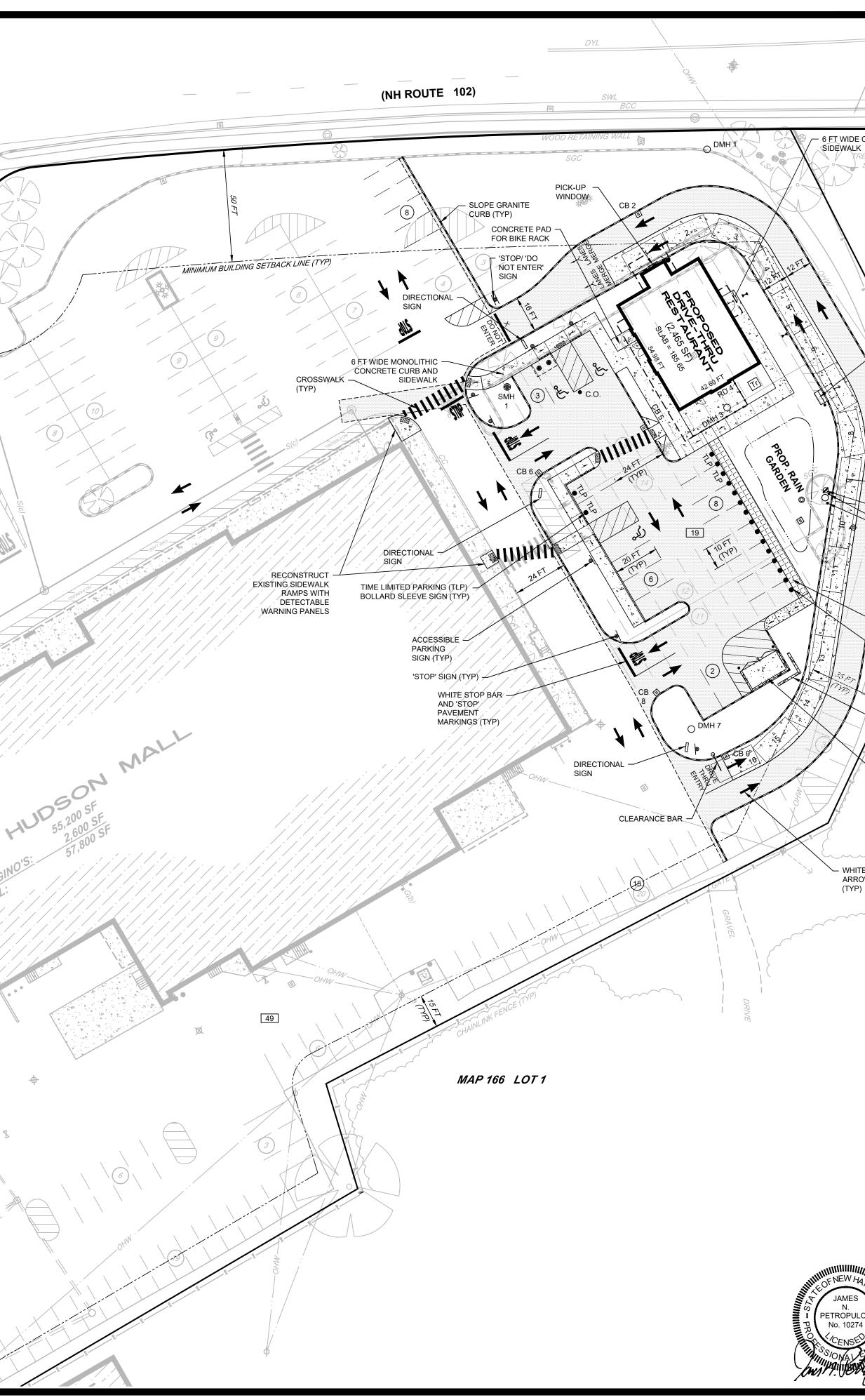
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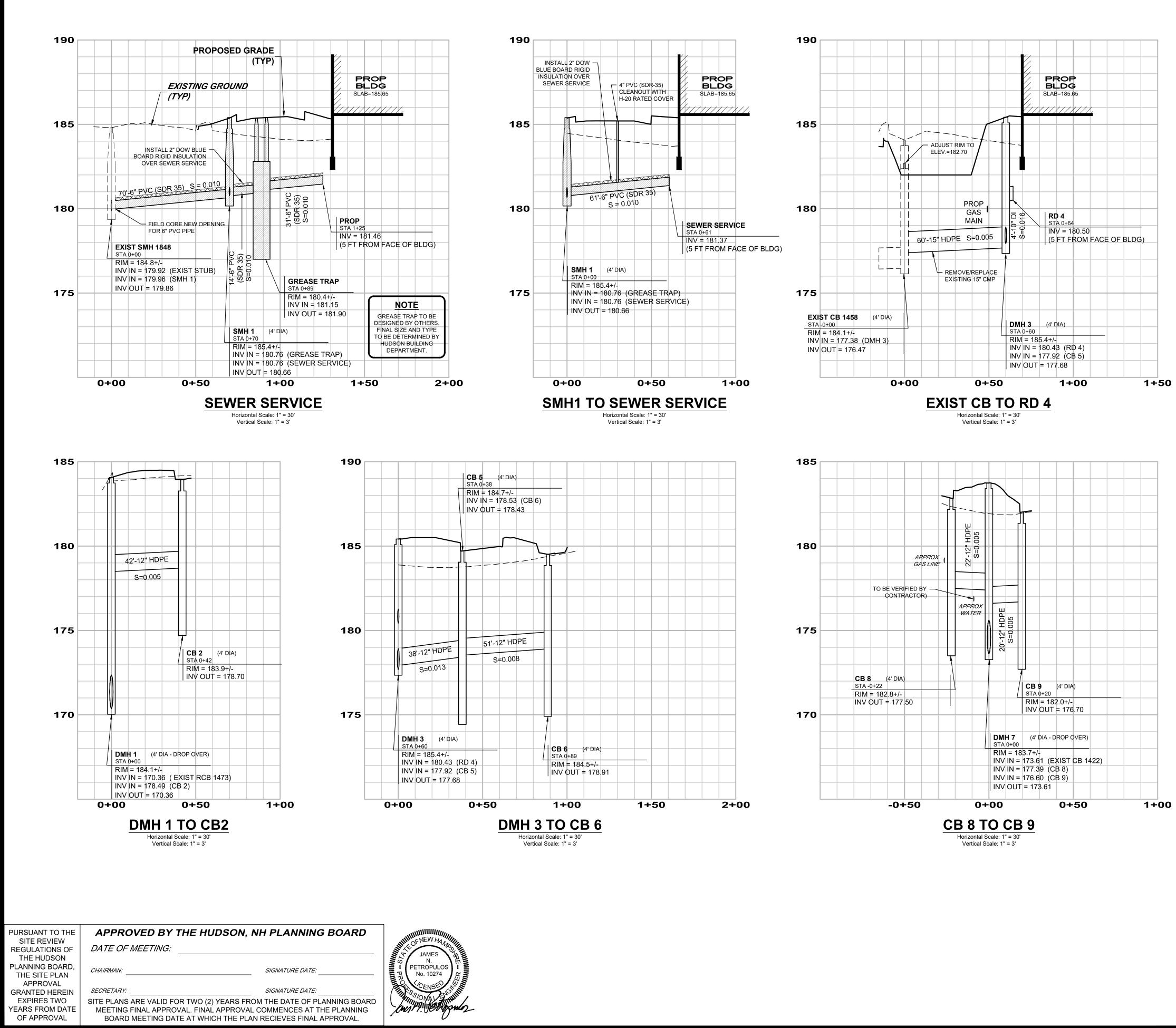


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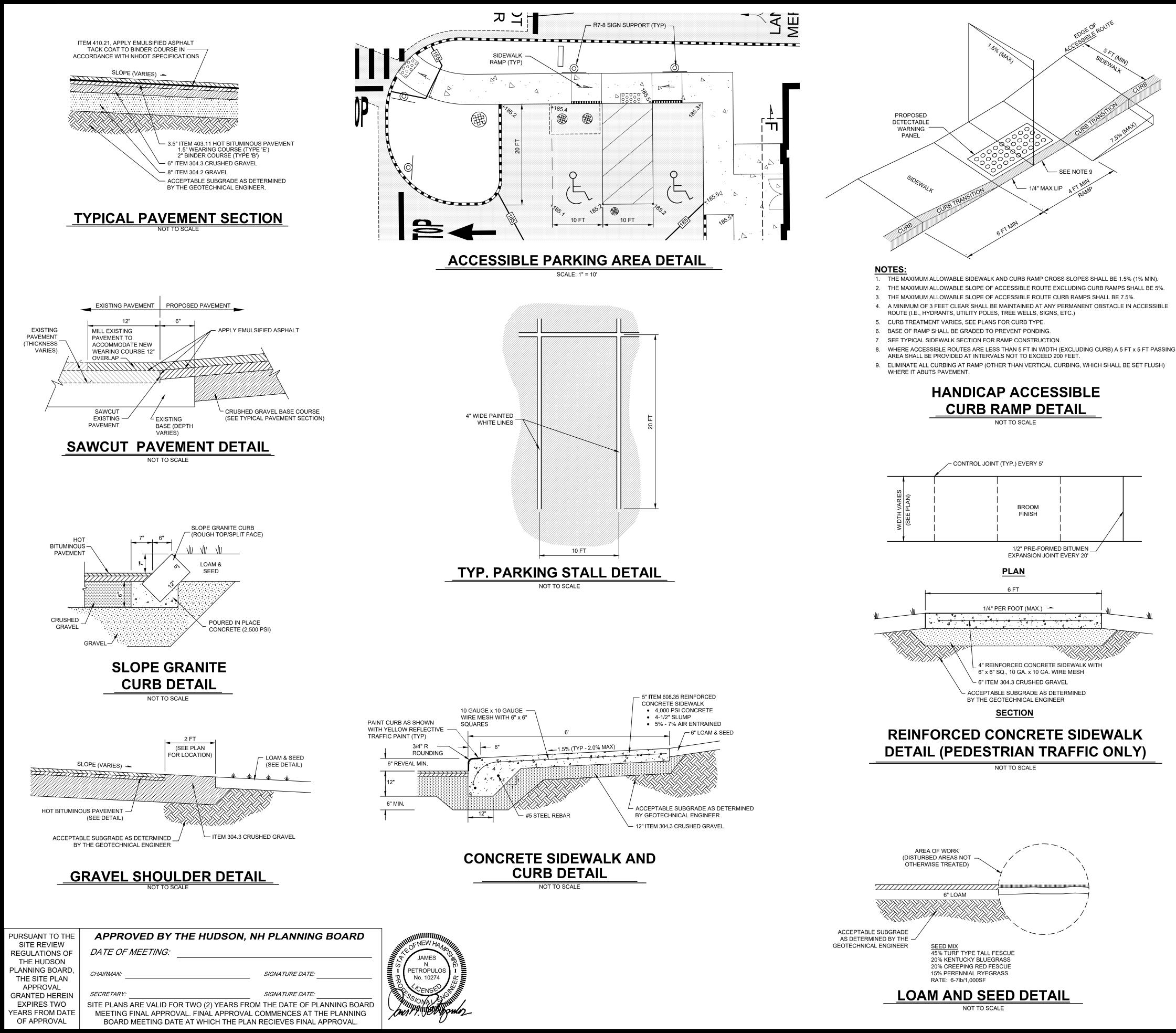
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THE 7T	I CAR IN DRIVE THRU QUEUE)		
	- VEHICLE STACKING (16 CARS)		
T.	PRE-MENU BOARD (LOCATE 40 FT FROM CENTER OF ORDER STATION)		
	EXISTING CAPPED WATER STAND PI	PE	
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	SITE LAYOUT (MAP 165, LOT	F PLAN 155)	
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	15	0 15 SCALE: 1"=30 Feet 1"=9.144 Meters	30 METERS
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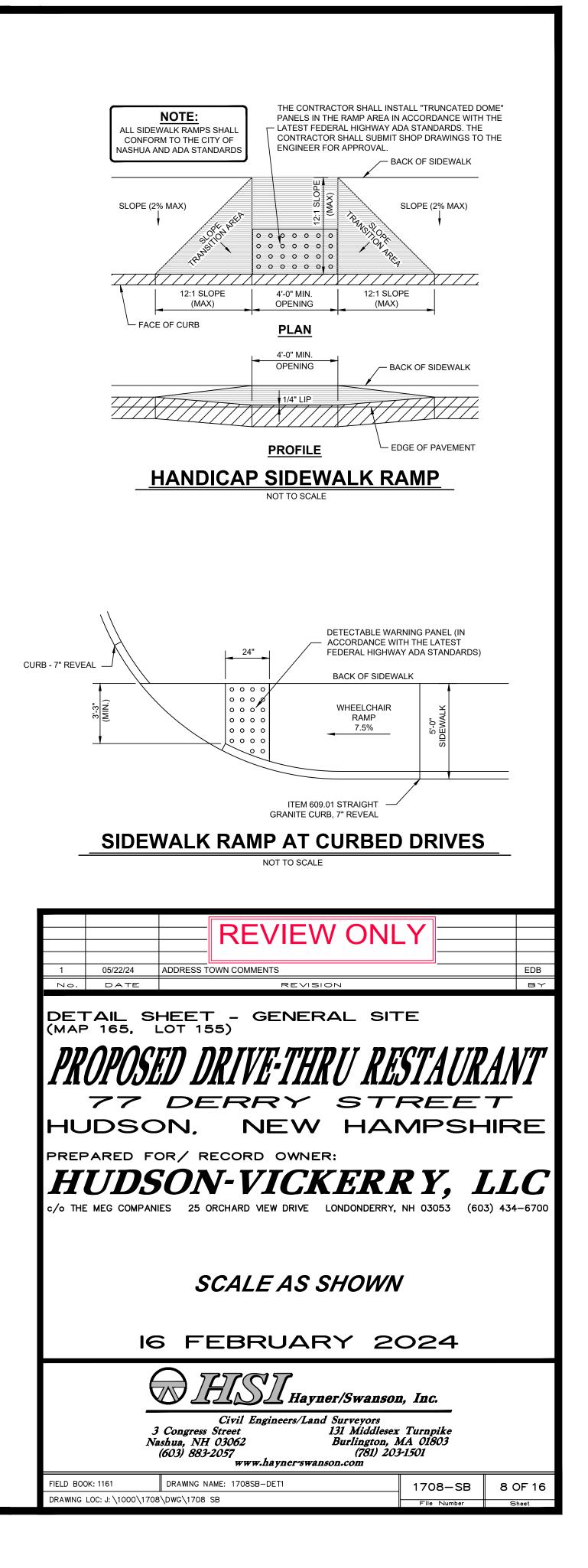


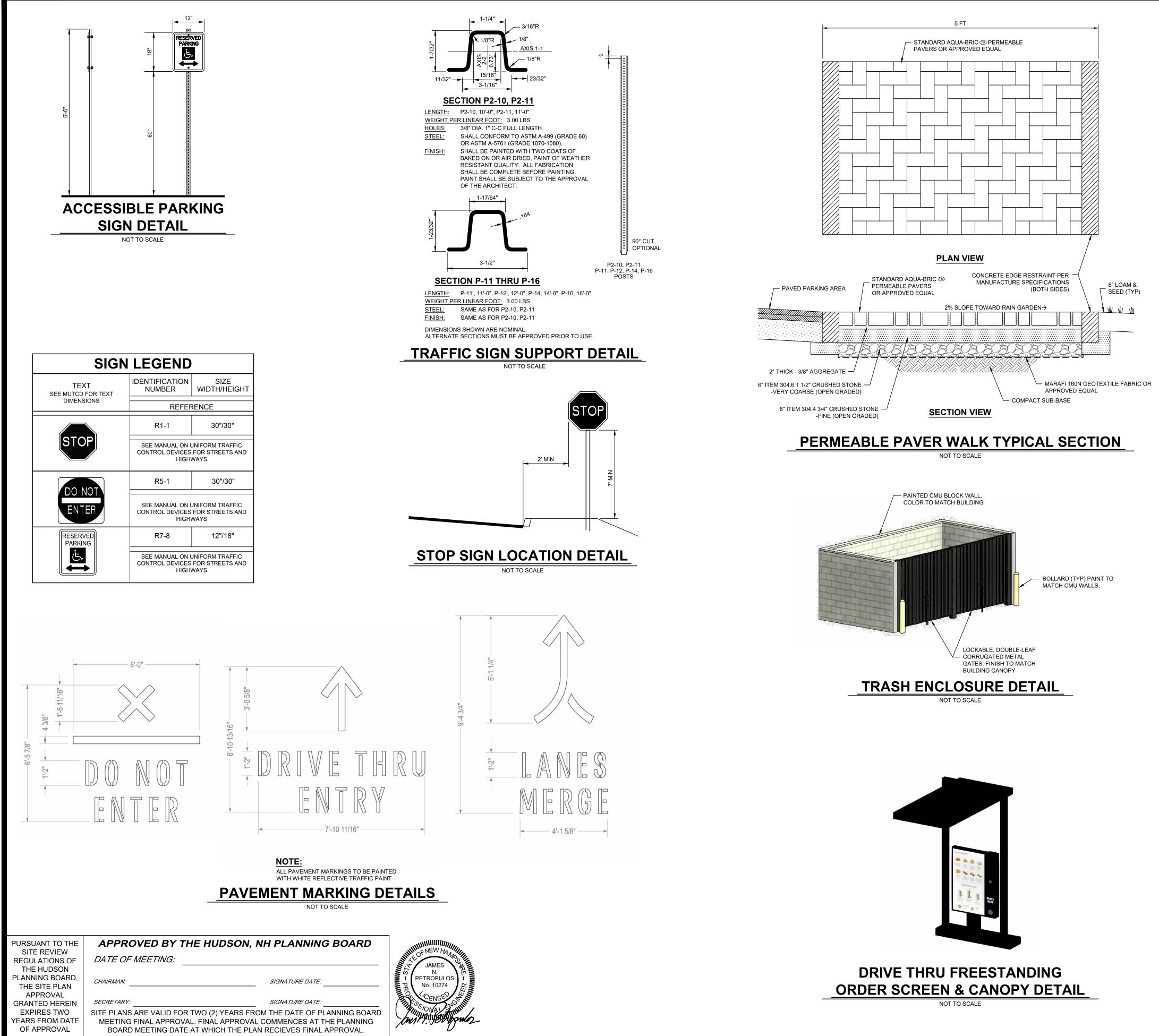
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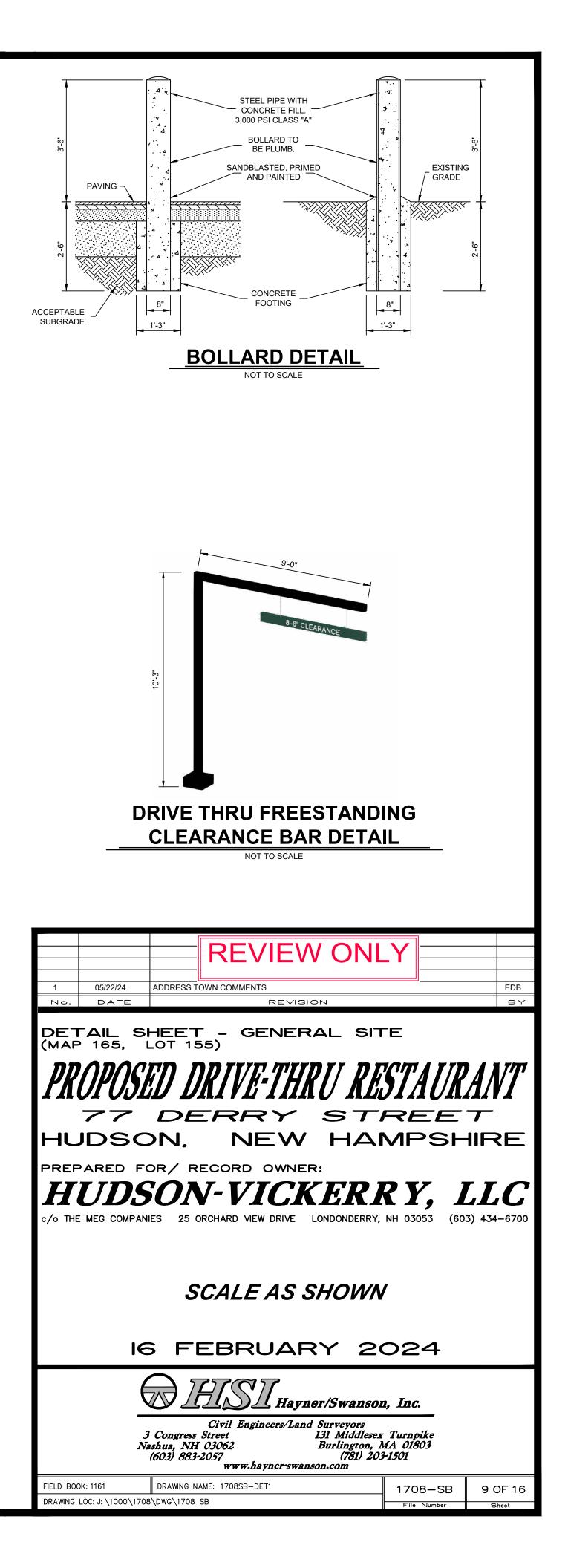


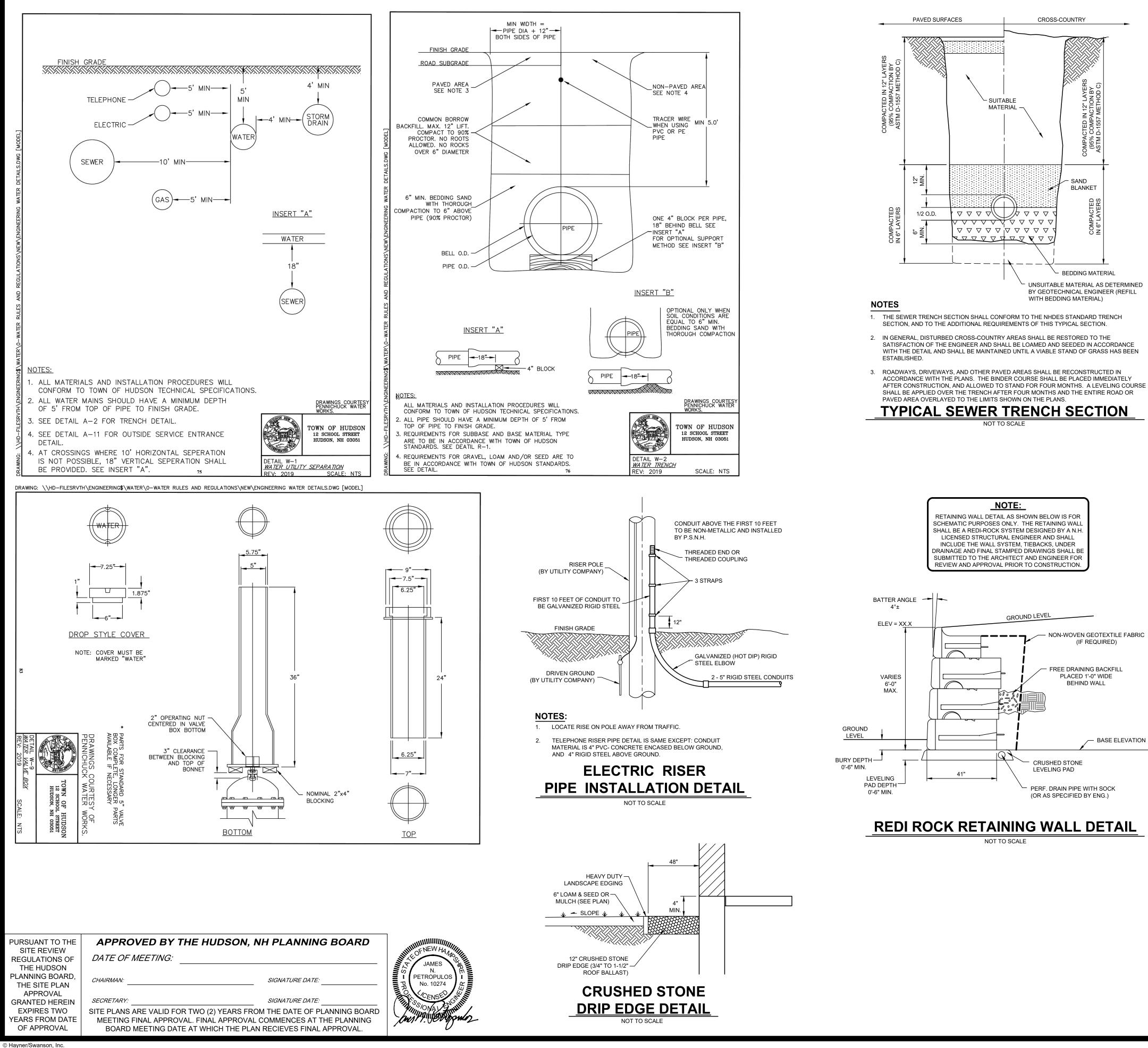
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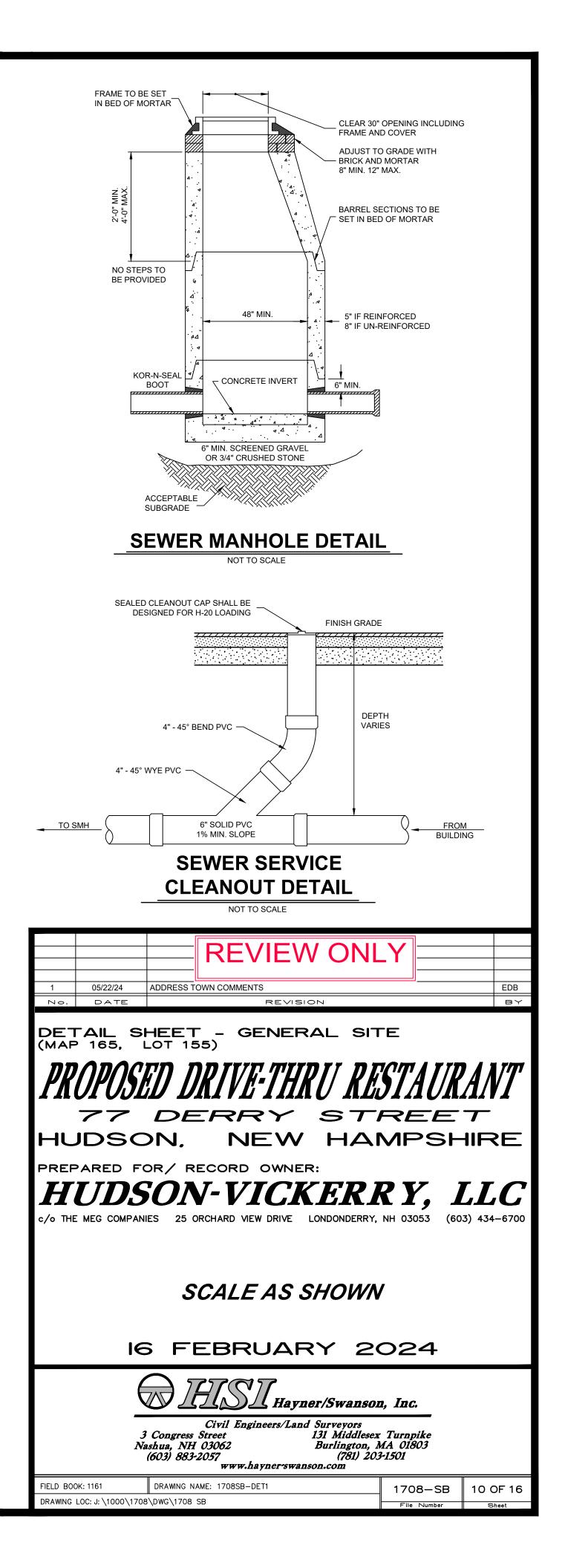
- 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE

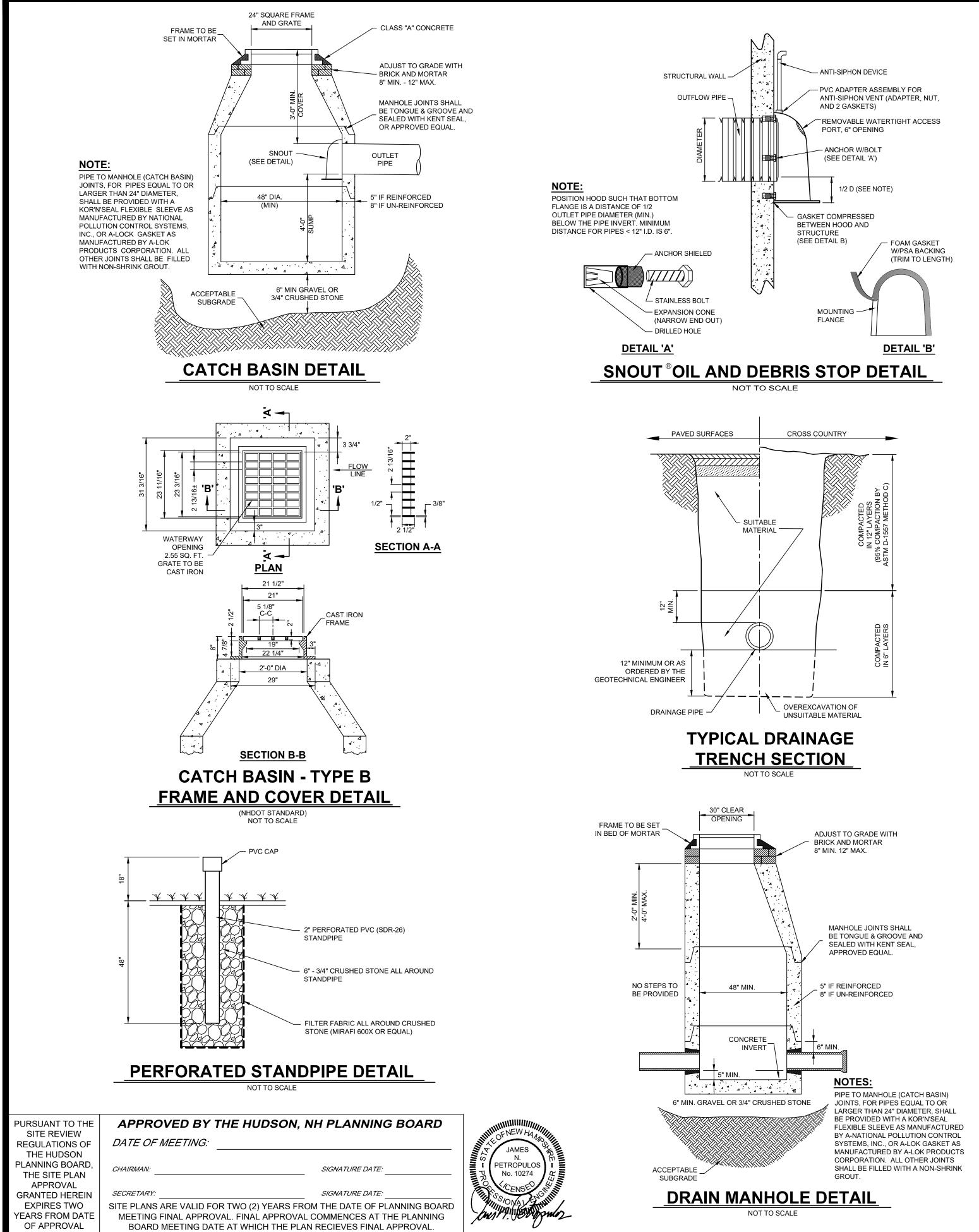


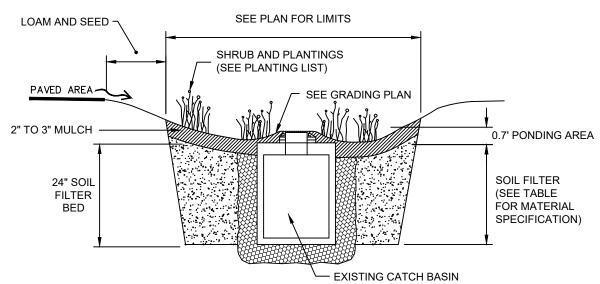












RAIN GARDEN MATERIAL TABLE FOR BIORETENTION FILTER MEDIA					
	PERCENT OF	GRADATION OF MATERIAL			
COMPONENT MATERIAL	MIXTURE BY VOLUME	SIEVE No.	PERCENT BY WEIGHT PASSING STANDARD SIEVE		
FILTER MEDIA OPTION A					
ASTM C-33 CONCRETE SAND	50 TO 55				
LOAMY SAND TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	15 to 25		
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5		
FILTER MEDIA OPTION B					
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5		
	70 TO 80	10	85 to 100		
LOAMY COARSE SAND		20	70 to 100		
LOAMIT COARSE SAND		60	15 to 40		
		200	8 to 15		

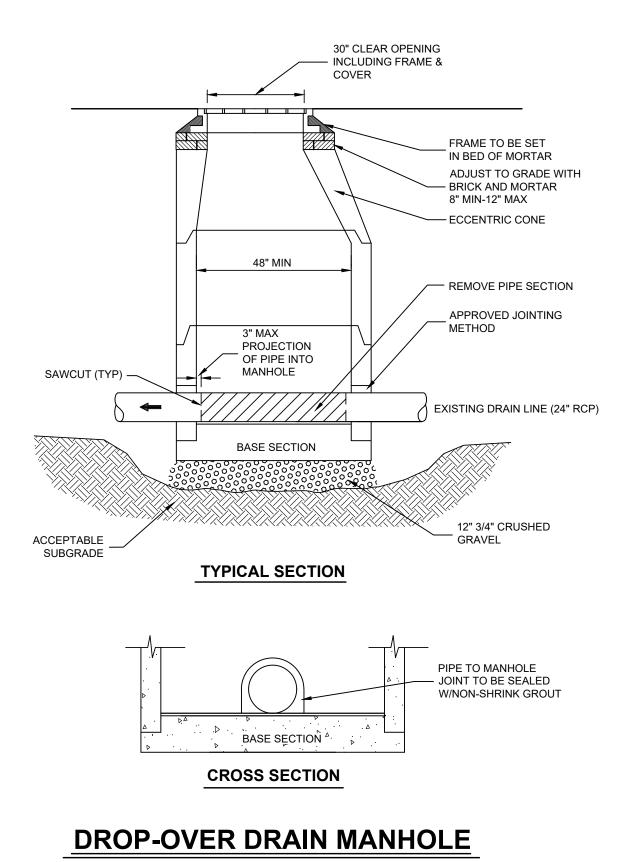
RAIN GARDEN NOTES

1. DO NOT PLACE THE RAIN GARDENS INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

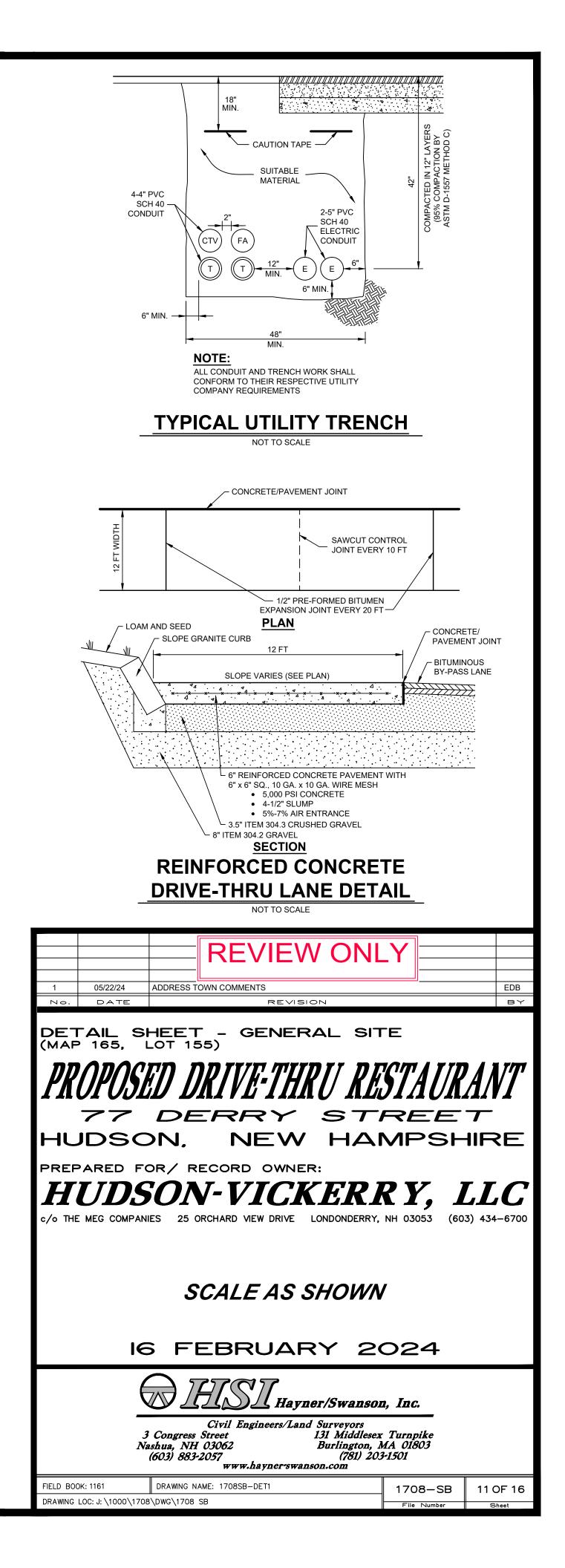
- 2. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE RAIN GARDEN DURING ANY STAGE OF CONSTRUCTION.
- 3. DO NOT EXPOSE SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
- 4. IF FINE MATERIAL THAT WOULD PERCH THE WATER TABLE IS ENCOUNTERED DURING THE CONSTRUCTION OF RAIN GARDEN, THE UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH COARSE GRAVEL (NHDOT ITEM No. 304.2).

TYPICAL SECTION-RAIN GARDEN

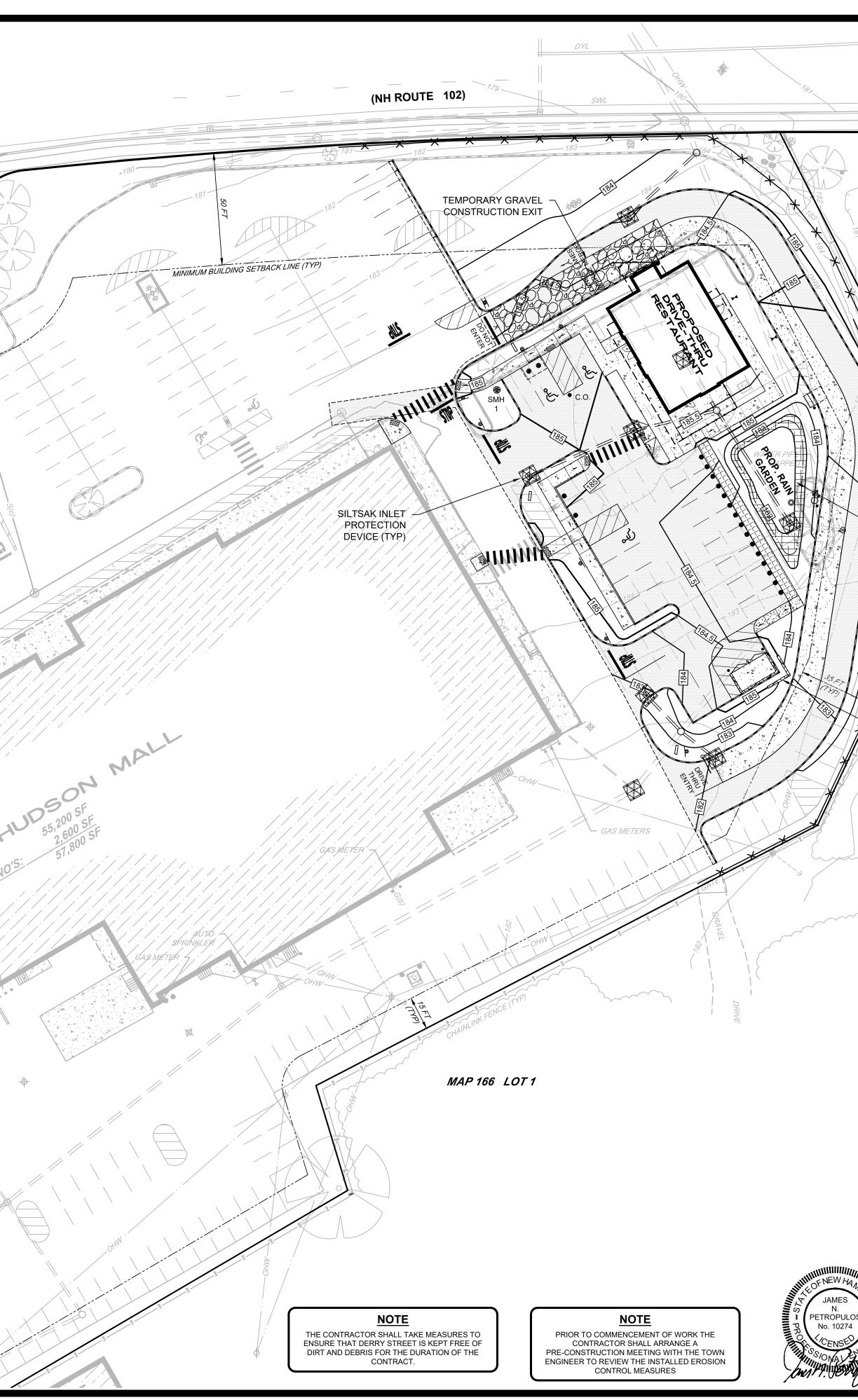
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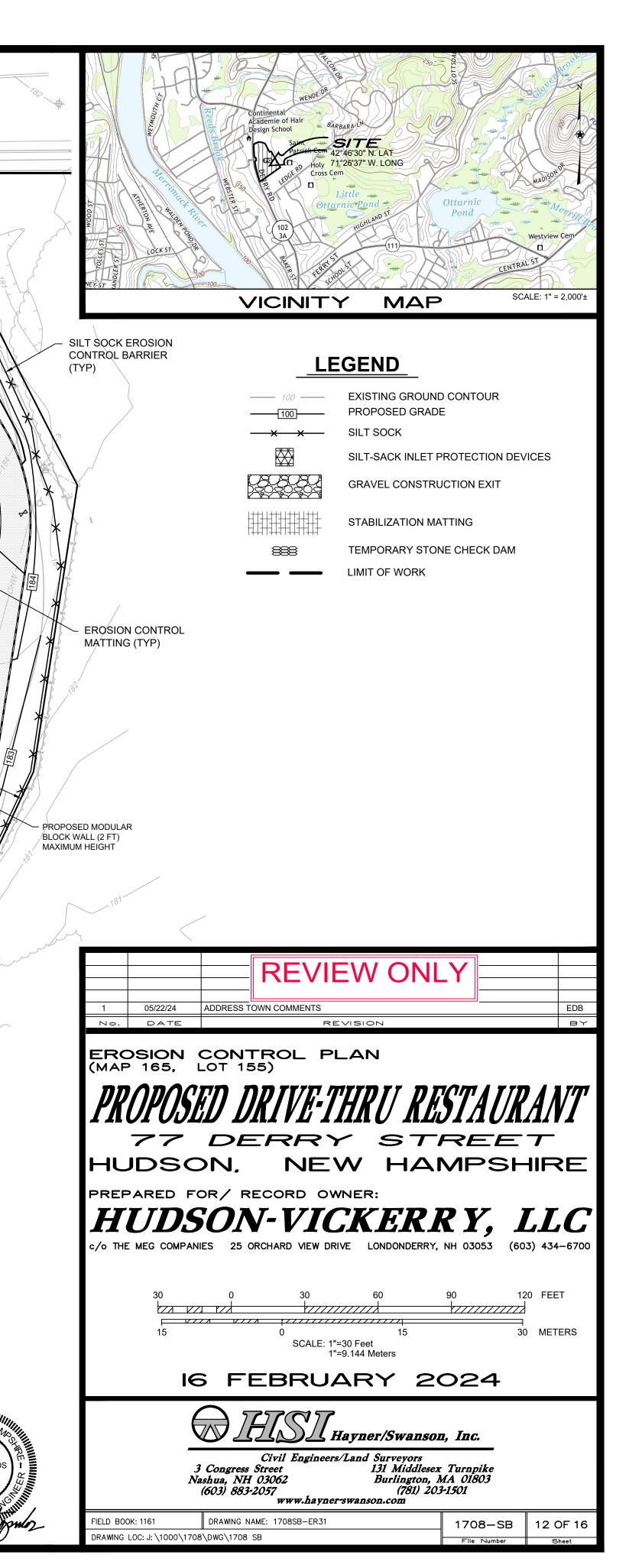


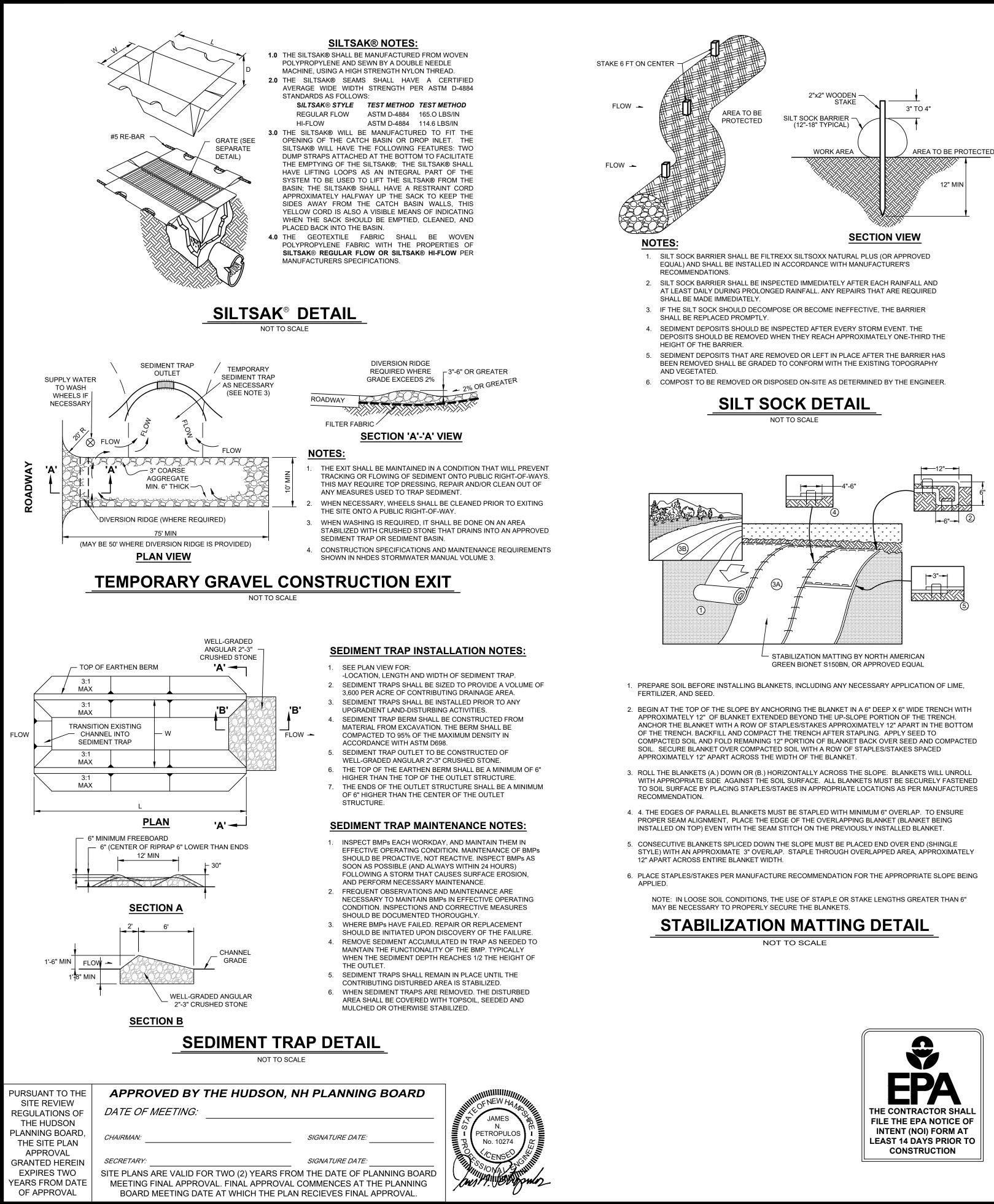
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APPROVAL GRANTED HEREIN EXPIRES TWO	SECRETARY:
YEARS FROM DATE OF APPROVAL	MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECIEVES FINAL APPROVAL.







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GENERAL NOTES

ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES STORMWATER MANUALS, VOLUME 1-3, LATEST EDITION

- THE WORK AREA SHALL BE GRADED, SHAPED, AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA. SILT FENCES, STRAW BALES AND/OR DETENTION BASINS WILL BE NECESSARY TO ACCOMPLISH THIS END.
- STRIPPED TOPSOIL SHALL BE STOCKPILED, WITHOUT COMPACTION, AND STABILIZED AGAINST EROSION IN ACCORDANCE WITH "TEMPORARY STABILIZATION OF DISTURBED AREAS", AS OUTLINED IN NOTE No. 4. TEMPORARY STABILIZATION OF DISTURBED AREAS:
- SEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS PER 1,000 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 90 LBS PER 1,000 SF AND INCORPORATED INTO THE SOIL THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.

Α.	SEED MIXTURE: USE A	ANY OF THE FOLLOWING:					
	SPECIES	RATE PER 1,000 SF	DEPTH	SEEDING DATES			
-	WINTER RYE	2.5 LBS	1"	08/15 TO 09/15			
	OATS	2.5 LBS	1"	04/15 TO 10/15			
	ANNUAL RYE GRASS	1.0 LBS	0.25"	08/15 TO 09/15			
В.	B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODABLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:						
	TYPE	RATE PER 1,000 SF	USE & CO	DMMENTS			
	STRAW	70 TO 90 LBS		BED WITH PLANTINGS, MUST DRED TO BE USED ALONE			
	WOOD CHIPS OR BARK MULCH	460 TO 920 LBS	O 920 LBS USED WITH TREE AN PLANTINGS				
	FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER		BIODEGRADABLE. USE IN EAS AND AREAS DIFFICULT ATE.			
	CRUSHED STONE ¼" TO 1 ½" DIA	SPREAD TO GREATER THAN ½" THICKNESS		ECIFIC AREAS AS SHOWN ON AS NEEDED.			

1/4" TO 1 1/2" DIA THAN 1/2" THICKNESS

PERMANENT STABILIZATION OF DISTURBED AREAS: A. ALL ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. B. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED

THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED

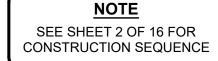
- AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
- A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
- C. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
- D. OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- SITE LOCATION

8

- 42° 46' 30" N LATITUDE, 71° 26' 37" W LONGITUDE (PER GOOGLE EARTH)
- TOTAL AREA OF DISTURBED SOILS: 45,000± SF. 10. REFERENCE IS MADE TO THE LATEST EDITION OF THE FEDERAL REGISTER (63 FR 7857), ENVIRONMENTAL PROTECTION AGENCY NPDES GENERAL PERMITS FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. FOR ADDITIONAL INFORMATION CONTACT (202) 564-9545 OR www.epa.gov/npdes/stormwate
- THE ENTIRE CONTENTS OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE 12. RETAINED ON-SITE FOR THE DURATION OF THE CONTRACT AND BE MADE AVAILABLE TO LOCAL, STATE AND FEDERAL CODE ENFORCEMENT PERSONNEL
- THIS PROJECT SHALL BE MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:63 AND AGR 13. 3800 RELATIVE TO INVASIVE SPECIES; AND FUGITIVE DUST IS CONTROLLED IN ACCORDANCE WITH ENV-A
- TURF REINFORCEMENT MATS, IF UTILIZED, SHALL BE COVERED WITH SOIL TO PREVENT EXPOSURE OF 14. THE MATS TO THE SURFACE.
- THERE SHALL BE NO PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCHES MATERIAL UTILIZED (NOT APPLICABLE TO TURF REINFORCEMENT MATS).

CONSTRUCTION SEQUENCE

- CLEAR SITE ACCORDING TO PLAN. CONSTRUCTION OF TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES, INCLUDING HAY BALE BARRIERS TO BE IN ACCORDANCE WITH THE PLANS.
- GRUB SITE ACCORDING TO PLAN
- CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
- CONSTRUCT RAIN GARDEN PRIOR TO ROUGH GRADING. SEED AND MULCH IMMEDIATELY.
- SITE GRADING OF BUILDING AND PARKING AREAS. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED AFTER BEING CONSTRUCTED
- INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE " SEDIMENT CONTROL AT CATCH BASIN DETAIL ". THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED. RIPRAP SHALL BE PLACED AT EACH HEADWALL
- AS THE BUILDING IS COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED. NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF TWO (2)
- MONTHS OR GREATER. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED PRIOR TO WINTER CONDITIONS. STABILIZATION SHALL BE DEFINED AS 70% VEGETATIVE GROWTH BY NOVEMBER 1ST OR INSTALLATION OF EROSION CONTROL MATTING.
- 10. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER COMPLETION. ALL PERMANENT STORM WATER MANAGEMENT MEASURES SHALL HAVE A HEALTHY STAND OF
- VEGETATION ESTABLISHED PRIOR TO DIRECTING RUNOFF INTO THEM
- 12. FINAL PAVING OF PARKING LOT.
- 13. LOAM AND SEED ALL DISTURBED AREAS.
- INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES. 14.
- SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF ALL DISTURBED AREAS. 15.
- 16. REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED



SITE MAINTENANCE/INSPECTION PROGRAM

THE FOLLOWING PROVIDES AN ITEMIZATION OF SPECIFIC SITE MAINTENANCE PRACTICES THAT WILL BE EMPLOYED ON THE SITE TO MINIMIZE POLLUTANT GENERATION AND TRANSPORT FROM THE SITE. THE SITE MAINTENANCE PROGRAM INCLUDES ROUTINE INSPECTIONS, PREVENTATIVE MAINTENANCE AND "GOOD HOUSEKEEPING" PRACTICES.

<u>ROUTINE INSPECTIONS</u>

THE CONTRACTOR SHALL INSPECT ALL CONTROL MEASURES AT LEAST ONCE A WEEK AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.5 INCHES. THE INSPECTIONS WILL VERIFY THAT THE STRUCTURAL BMPs DESCRIBED IN THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE INSPECTION REPORT WILL BE MADE WITH EACH INSPECTION. COMPLETED INSPECTION FORMS SHALL BE KEPT ON-SITE FOR THE DURATION OF THE PROJECT. FOLLOWING CONSTRUCTION, THE COMPLETED FORMS SHALL BE RETAINED AT THE CONTRACTOR'S OFFICE FOR A MINIMUM OF ONE YEAR

PREVENTATIVE MAINTENANCE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT CONTROLS THROUGHOUT THE DURATION OF THIS CONTRACT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT ARE NOT LIMITED TO:

- 1. CLEANING OF CATCH BASINS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY QUARTERLY INSPECTIONS
- 2. CLEANING OF SEDIMENT AND DEBRIS FROM STORMWATER MANAGEMENT AREA FOREBAY TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY MONTHLY INSPECTIONS. 3. IMPLEMENTATION OF OTHER MAINTENANCE OR REPAIR ACTIVITIES AS DEEMED NECESSARY BASED
- UPON WEEKLY INSPECTIONS.
- 4. REMOVAL OF BUILT UP SEDIMENT ALONG SILT FENCES AND/OR HAY BALE BARRIERS.
- 5. REMOVAL OF BUILT UP SEDIMENT IN BOTH TEMPORARY AND PERMANENT CONTROLS SUCH AS GRASS SWALES, SEDIMENT FOREBAYS AND RECHARGE/DETENTION BASINS.
- RECONSTRUCTING THE TEMPORARY GRAVEL CONSTRUCTION EXIT IF NOT WORKING PROPERLY. 7. TREATMENT OF NON-STORM WATER DISCHARGES SUCH AS WATER FROM WATER LINE FLUSHINGS OR GROUNDWATER FROM DEWATERING EXCAVATIONS. SUCH FLOWS SHOULD BE DIRECTED TO A
- TEMPORARY SEDIMENTATION BASIN OR STORMWATER MANAGEMENT AREA. 8. SWEEP PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION. FREQUENCY WILL VARY SEASONALLY ACCORDING TO SEDIMENT ACCUMULATION ON PAVE SURFACES (E.G., MORE FREQUENT SWEEPING DURING THE WINTER AND SPRING).

GOOD HOUSEKEEPING PRACTICES

THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM AND WATER RUNOFF. THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING "GOOD HOUSEKEEPING" PRACTICES SHALL BE FOLLOWED DURING CONSTRUCTION OF THE PROJECT

- A. AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB. B. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT. ORDERLY MANNER IN THEIR
- APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- C. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR MANUFACTURERS' LABELS D. WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.
- E. MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED. F. THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

SPILL PREVENTION AND CLEANUP PRACTICES

- A. MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIAL WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH
- CONTAINERS SPECIFICALLY FOR THIS PURPOSE. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE
- PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

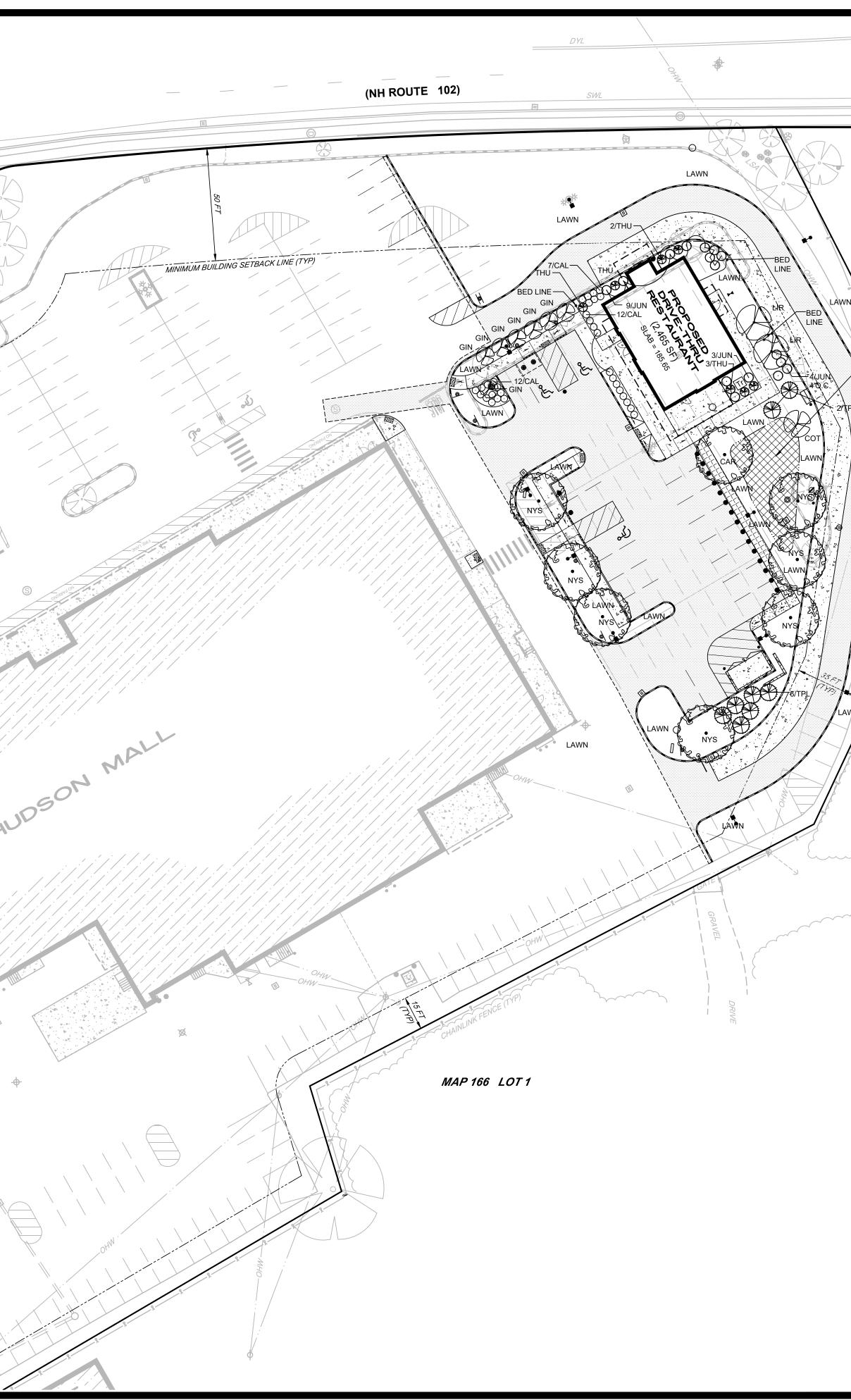
WINTER CONDITION NOTES

ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 31. AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE. SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOR OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS
- AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.

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PURSUANT TO THE SITE REVIEW	APPROVED BY THE HUDSON, NH PLANNING BOARD
REGULATIONS OF THE HUDSON PLANNING BOARD,	DATE OF MEETING:
THE SITE PLAN APPROVAL GRANTED HEREIN	SECRETARY:
EXPIRES TWO YEARS FROM DATE OF APPROVAL	SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECIEVES FINAL APPROVAL.
© Hayner/Swanson, Inc.	



STREET

RAIN GARDEN PLANTINGS 36/EUP; 36/HIB; 36/LIA ; 36/SYM; 36/VER @ 30"O.C.

LAWN

4.

LAWN

MATERIAL BID LIST

31/CAL CALAMAGROSTIS A. AVALANCHE (AVALANCHE REED GRASS) #3GAL. 1/CAR CARPINUS BETULUS (EMERALD AVENUE HORNBEAM) NO SUBSTITUTIONS 3"-3.5"CAL. 1/COT CORINUS COGGYGRIA (GRACE SMOKEBUSH) 2.5"-3"CAL TREEFORM 36/EUP EUPATORIUM EUTROCHUM (GATEWAY JOE PYE WEED) #1GAL. 2.5"-3"CAL. 7/ GIN GINKGO BILOBA (GOLDSPIRE GINKGO) NO SUBSTITUTIONS 36/HIB HIBISCUS MOSCHUETOS (CRIMSONEYED ROSEMALLOW) *2"-PLUG #3GAL. 16/JUN JUNIPERUS SABINA (NEW BLUE TAM JUNIPER) #1GAL. 36/LIA LIATRIS SPICATA (GAYFEATHER) 2/LIR LIRIODENDRON TULIPIFERA (ARNOLD TULIPTREE) 2.5"-3"CAL. 7/NYS NYSSA SYLVATICA (GUMDROP TUPELO) NO SUBSTITUTIONS 2.5"-3"CAL. 36/SYM SYMPHYOTRICHUM PUNICEUM (SWAMP AZALEA) *2"PLUG 7'-8'BB 6/THU THUJA OCCIDENTALIS (SMARAGD EMERALD GREEN ARBORVITAE) 7'-8'BB 8/TPL THUJA PLICATA (STEEPLECHASE ARBORVITAE) NO SUBSTITUTIONS 36/VER VERONICA NOVEBORACENSIS (NEW YORK IRONWEED) *2"PLUG *PLANT SOURCE: NEW ENGLAND WETLAND PLANTS, AMERST, MA. MISCELLANEOUS: PREMIUM BLEND PINE/HEMLOCK IN ALL BEDS (NO TINTED MATERIALS) PER PLAN 1 PLANT SELECTIONS REFERENCED TO MILLICAN'S NURSERY CATALOG, CHICHESTER, N.H.

- 2 NO SUBSTITUTIONS PERMITTED WITHOUT PRIOR CONSENT OF THE L.A. ANY INSTALLS NOT APPROVED BY THE L.A. WILL BE REPLACED AT THE INSTALLERS EXPENSE.
- 3 ALL SHRUBS OUTER BRANCHES SHALL BE NO CLOSER THAN 2'FROM THE BED LINES.
- 4 PLANTING PITS TO CONTAIN ORGANIC SOILS, REMOVE SAND, BANK RUN, OR COMPACTED BACKFILL MATERIALS.
- 5 B&B WIRE BASKETS, UPPER THIRD OF THE CAGE TO BE REMOVED, AND THE SIDES CUT AFTER INSTALL..
- 6 AS NOTED NO SUBSTITUTIONS (SIZE, B&B VS. CONTAINER, SPECIES/HYBRID) SHALL BE PERMITTED WITHOUT PRIOR CONSENT OF THE DESIGNER.

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General Specifications

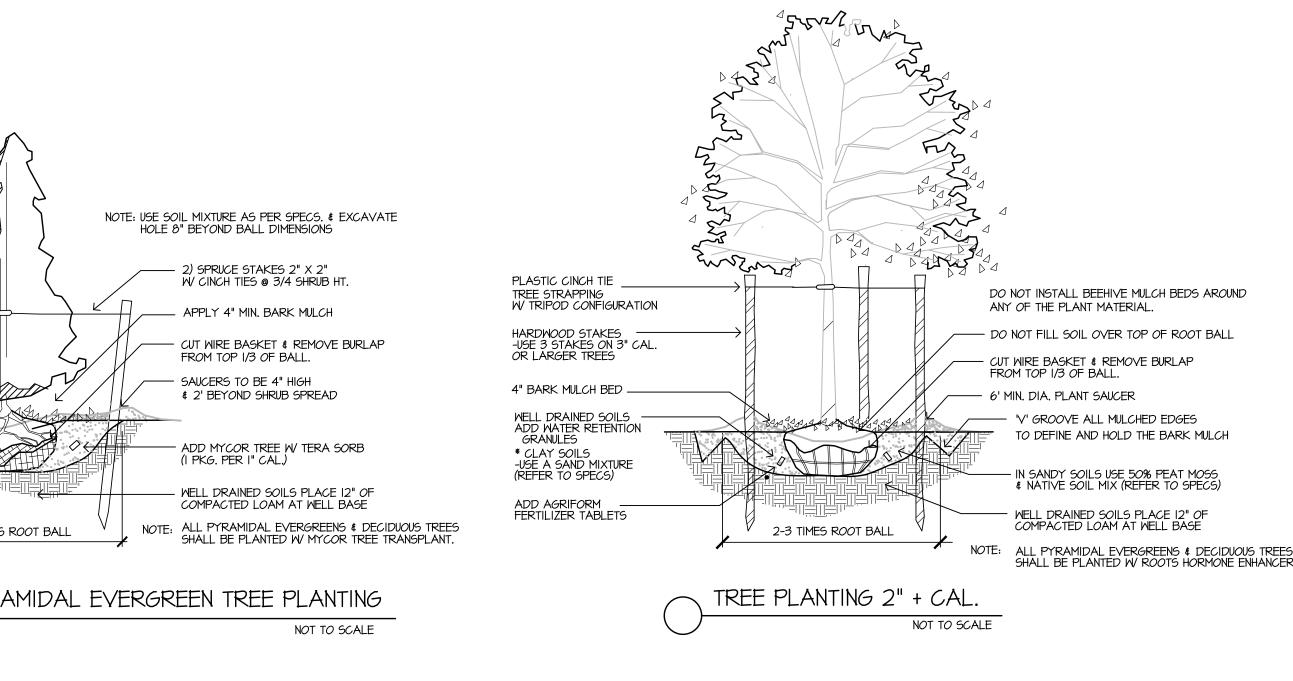
- 1. The contractor shall at their expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making their proposal. They will be held responsible for errors in their proposal resulting from their failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials confirming to the bid items. Under no circumstances may a species `hybrid' be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, they shall be responsible for their repair and/or replacement at their expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstructed providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner. If the owner approves the price they shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- The landscape architect (L.A.) shall reserve the right to inspect the project work at any time deemed necessary to Insure that the specifications and plans and any other contract documents are being followed.
- The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. L.A. must be contacted prior to install, to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, roof ballust, etc. are to the written specifications.
- All seeded areas shall receive a minimum 6" topsoil blanket (by site contractor) w/site preparation, raking and general clean up prior to application. Operations shall include a preemergence type herbicide, 12 -25 -12 granular fertilizer @ 10 lbs./1000 sf., and pelletized limestone @ 25 1bs. /1000 s/f power raked into the top 2" of soil prior to hydro-seeding. Ratios & application rates may change based upon the required soil analysis.
- 10. Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 4lbs./1000. Lawn germination shall be 95% free of noxious weeds for acceptance. Define differences in seed mixes (if applicable) with irrigation flagging until 2nd mowing. Site review by L.A. is required.

- release of final payment.
- 12. Hydroseeding operations shall be a one part process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1, Excelsor Drainage mat shall be applied to all 2:1 slopes and drainage swales per plan.
- 13. Contractor shall maintain, from acceptance date, the lawn areas through the first mowing. Contractor is not responsible for the first mowing.
- 14. All plant materials shall be installed in accordance with A.L.C.C. Trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- 15. If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (verify with L.A.) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- 16. Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, ie. thin, no lower branching, etc. Contractor must submit shipping lists (billing invoices) for verification, prior to installation.
- 17. All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractors expense; with same warranty requirements as the original. Warranty does not cover loss due mechanical damage, le. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- 18. Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" (settled) covering of pine/hemlock bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6' dia. saucer (typ.), evergreen trees shall have a saucer 2' min. beyond it's outer branches. All edges shall have a 'V' groove.
- 19. All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- 20. If road base is encountered in any plant bed areas, ie. parking islands, it shall be removed and suitable amended soil installed per drawings and specifications.
- 21. Soil planting mixture shall be a 6%-10% organic topsoil, amended with 10% wood ash, 10%%% manure, & 30%%% peatmoss or incorporate a dehydrated compost material. If planting in sand, gravel or other well drained soils, a 50% peatmoss to excavated soil. Other soil amendments shall include; Agriform tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturers specifications. All plant material pits will receive a min. 20%%% in volume mix of a compost soil amendment. Submittal required. 'Roots' STEP 1 can be substituted for the individual supplements. Install per manufacturer's specs.
- 22. Landscape contractor shall not be responsible for topsoil spreading but shall coordinate with the site contractor adherence to the mound grades, plant bed soil depths and soil type per dwgs & spec. Landscape contractor shall power rake-out for seed.

APPLY 4" MIN. BARK PEEL & CUT BURLAP FROM TOP 1/3 OF BAI	TO DEFINE AND HOLD THE BARK MULCH	NUL 2' NUL 2' VIL 2'
PURSUANT TO THE SITE REVIEW	APPROVED BY THE HUDSON, NH PLANNING BOARD	
REGULATIONS OF THE HUDSON	DATE OF MEETING:	
PLANNING BOARD, THE SITE PLAN	CHAIRMAN:	
APPROVAL GRANTED HEREIN	SECRETARY: SIGNATURE DATE:	
EXPIRES TWO YEARS FROM DATE OF APPROVAL	SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECIEVES FINAL APPROVAL.	

11. Review of the installed irrigation system by the designer is required prior to

- 23. Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- 24. Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface drys out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- 25. Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- 26. Installer shall notify landscape architect prior to planting, to review plant locations and bedline configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- 27. Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- 28. Upon one year review, contractor shall straighten any trees that have shifted. Any weak or bare spots in lawn shall be reseeded.
- 29. All bedlines shall have a deep 'V' groove to define lawn to mulch edge. No 'Beehive'' mounding of mulch is allowed, also keep mulch away from base of perennials.
- 30. Do not plant materials too close to the edge of bedlines. Refer to drawings for center of plant to bedline. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedlines. If the as-built does not comply contractor shall adjust the plant location or bedline at his expense.
- 31. Seed mixes include: Sandy Soil Lawn Mix by: deercreekseed.com; New England Wetland Plants, Amherst, Ma. refer to planting plan for designations.
- 32. Any items not completed to the specifications will be required at contractors expense prior to final approvals. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be payed to soils, amendments, guy stakes, bedline & saucer configurations, seed mixtures, etc.
- 33. Certain designated foundation edging is rood ballust (washed rounds, non-crushed, natural) Size of stone is a range of 3/4"-1.5"dia. placed to a depth of 3", upon placement apply a coating of granular Preen (preemergent).
- 34. Any questions concerning this drawing shall be directed to Joseph Hochrein, 85 Frost Lane, Webster, NH 03303, 603-648-2541.



MATERIAL BID LIST

31/CAL CALAMAGROSTIS A. AVALANCHE (AVALANCHE REED GRASS) 1/CAR CARPINUS BETULUS (EMERALD AVENUE HORNBEAM) NO SUBSTITUTIONS 1/COT CORINUS COGGYGRIA (GRACE SMOKEBUSH) 36/EUP EUPATORIUM EUTROCHUM (GATEWAY JOE PYE WEED) 7/ GIN GINKGO BILOBA (GOLDSPIRE GINKGO) NO SUBSTITUTIONS 36/HIB HIBISCUS MOSCHUETOS (CRIMSONEYED ROSEMALLOW) 16/JUN JUNIPERUS SABINA (NEW BLUE TAM JUNIPER) 36/LIA LIATRIS SPICATA (GAYFEATHER) 2/LIR LIRIODENDRON TULIPIFERA (ARNOLD TULIPTREE) 7/NYS NYSSA SYLVATICA (GUMDROP TUPELO) NO SUBSTITUTIONS 36/SYM SYMPHYOTRICHUM PUNICEUM (SWAMP AZALEA) 6/THU THUJA OCCIDENTALIS (SMARAGD EMERALD GREEN ARBORVITAE) 8/TPL THUJA PLICATA (STEEPLECHASE ARBORVITAE) NO SUBSTITUTIONS 36/VER VERONICA NOVEBORACENSIS (NEW YORK IRONWEED) *PLANT SOURCE: NEW ENGLAND WETLAND PLANTS, AMERST, MA. MISCELLANEOUS: PREMIUM BLEND PINE/HEMLOCK IN ALL BEDS (NO TINTED MATERIALS) 1 PLANT SELECTIONS REFERENCED TO MILLICAN'S NURSERY CATALOG, CHICHESTER, N.H.

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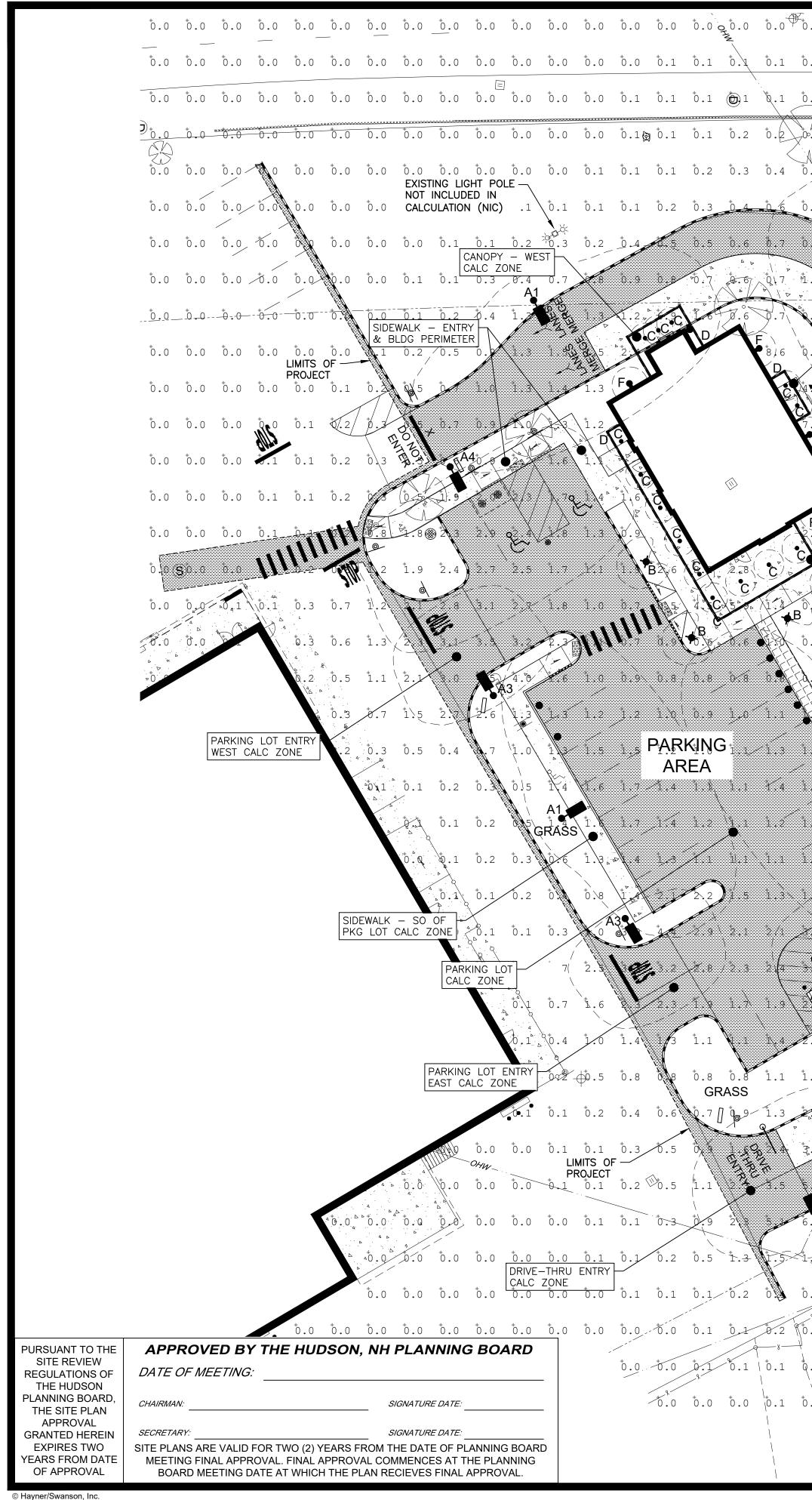
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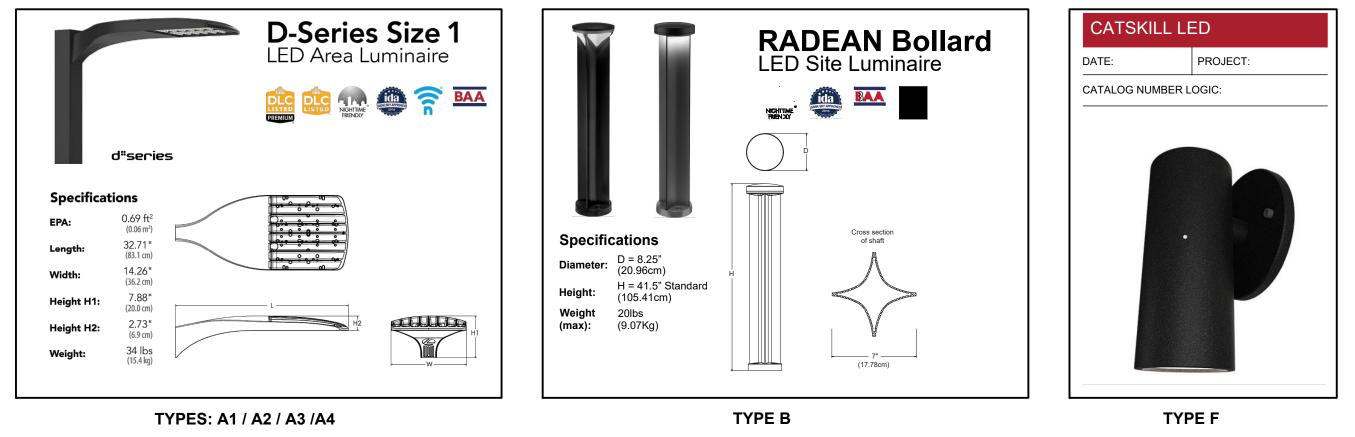
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+ ↓ • 6 \	† 0. 7		۷ ۱.2		÷.,	$\sum $	CALC Z	ONE	AR ⁺0.0	EA ⁺0.0	⁺ 0.0
7.4	ð.6	+0.8 ×	1.	0.9	à. 8	+ 0∉5	0.2	overhe Utility	EAD LINE	⁺ 0.0	⁺ 0.0
· F .) :	5		to', 8	0.8	8	(0.7~	0.4	±[] 1.2	NTERNAL LUMINA	LY TED ⁽⁾	⁺ 0.0
	F ¹ /2.1		6	÷.0.8	0.8	+	6.6		iGN 0.1	⁺ 0.0	⁺ 0.0
F 2.4	r)	B PO-R	[†] 0.5		£		ð. 7	X	⁺ 0.1		
		+ B 6,3	0.7			1.0	÷0.9		0.1	⁺ 0.1	⁺ 0.0
6,6	₩ B_) /0.1	÷+0.3	+0,4/	- + - 0. -	+1.1	1.3	+ 1.01		⁺ 0.2	⁺ 0.1	⁺ 0.0
- 0.(4	⁺ 0.2	⁺ 0.2	*0.4/		+ 1 ≥ 3 ≥	$\sum_{1.6}$	1.4	¢.\9	0.3	⁺ 0.1	⁺ 0.0
0.8 V	. 4	⁺ 0.4	†0.5	72.9	⁷ +₽.4	1.6	1.5	1 1.p/	PATIO CALC	ZONE	⁺ 0.0
	+1,0	\ [†] 0.6		Ø ∮ √	+	1,5	⁺ 1.3	to to	⁺ 0.2	⁺ 0.1	⁺ 0.0
		A1 _1.2<	Ø [†] 0 . 8	D • 97	× ×+ 1	8	/ 1.0/	+	⁺ 0.2	⁺ 0.1	⁺ 0.0
1.6		, 1.4	, [†] 9 .8				, , , , 8		⁺ 0.1	⁺ 0.0	⁺ 0.0
1.5		GF	RASS 1,.1	N. A. A.		01-9	[†] 0.6	b .2	⁺ 0.1	⁺ 0.0	⁺ 0.0
/ 1.3	1.3				Z	.9	⁺ 0.6	0.2	⁺ 0.0	⁺ 0.0	⁺ 0.0
1,8	~ *2:.3 _/		Y.	AHT AHT	S S S S S S S	⁺ 0.9	⁺ 0.5	• [†] 0.1	⁺ 0.0	⁺ 0.0	⁺ 0.0
λ		GRAS	5 Ş 1 9 ▼		Ă	⁺ 1.0	+0.5	⁺ 0.1	⁺ 0.0	⁺ 0.0	⁺ 0.0
.	2.2v		× ⁺ 2.0/		<u>م</u> ۱.6	1.1			VALK - LOT CA		
	+4		× √ √ 13′• 0 ◆	±		1		⁺ 0.2	⁺ 0.1	⁺ 0.0	⁺ 0.0
2.0	⁺ 3.0	+2.6	↓ +2.2	Å.se		A1 /	/		⁺ 0.0		
, 1.7		+ ▶2/.0	* 1_6	1.5/	1.2	×45	0.3	⁺ 0.1	⁺ 0.0	⁺ 0.0	⁺ 0.0
2.1	+2.B	×+2	/ 1 4	1.1	÷0,8/0	0.3	DUMF		+ 0.0	⁺ 0.0	⁺ 0.0
± 3 .4		2.6	1 .5	[†] 0.8	+ + 0.5	⁺ 0.2		XISTIN OODE	IG ED)	⁺ 0.0	⁺ 0.0
§. 0	/6. 	3.2	7		40.3	⁺ 0.1		AREA [†] 0.0		⁺ 0.0	⁺ 0.0
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/		[†] 0.7	/	< 1	⁺ 0.1			. /	(
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		$\begin{pmatrix} 1 \end{pmatrix}$		<u>UIUN</u> E: 1" =	<u>/ETR</u> = 20'-(<u>10 3</u> 0"		LIGH	TING	<u> </u>	<u> 111</u>
	1 A										



NOTE: IMAGE OF TYPE C - 3"DIA. RECESSED DOWNLIGHT, NOT SHOWN.

Calculation Summary

-				
Label	Avg	Max	Min	Avg/N
CANOPY - NORTH	12.40	12.5	12.3	1.01
CANOPY - WEST	10.70	20.3	7.4	2.74
DRIVE-THRU ENTRY	3.55	6.9	1.1	3.23
DRIVE-THRU LANES	1.47	9.2	0.4	3.68
DUMPSTER	4.14	7.3	2.3	1.80
PARKING LOT	1.60	3.5	0.6	2.67
PARKING LOT ENTRY - EAST	2.68	3.3	1.6	1.68
PARKING LOT ENTRY - WEST	3.33	4.8	2.3	1.45
PATIO	6.92	11.3	1.6	4.33
SIDEWALK - ENTRY & BUILDING	3.31	13.2	0.3	11.13
SIDEWALK - SO OF PKG LOT	1.76	4.0	1.2	1.47
SIDEWALK - NO OF PKG LOT	1.42	4.2	0.6	2.37
Calc Type - Illuminance Units - EC (Foot	tcandle)			

Calc Type - Illuminance Units - FC (Footcandle)

Label	Symbol	Qty	Arrangement	Manufacturer	Catalog Number	Mtg Ht	СТ	Dist Type	Lumens	BUG Rating	LLF	Watts
A1		6	SINGLE	Lithonia	DSX1 LED P1 30K 80CRI T3M HS	20FT / POLE MTD	3000K	Type IV	5733	B1-U0-G2	0.95	50
A2	•	1	SINGLE	Lithonia	DSX1 LED P3 30K 80CRI T4LG EGS-F	20FT / POLE MTD	3000K	Type III	8240	B1-U0-G1	0.95	102
A3	•	3	SINGLE	Lithonia	DSX1 LED P1 30K 80CRI T4LG	20FT / POLE MTD	3000K	Type IV	6107	B1-U0-G1	0.95	51
A4	•	1	SINGLE	Lithonia	DSX1 LED P1 30K 80CRI BLC3	20FT / POLE MTD	3000K	Type IV	6107	B1-U0-G1	0.95	51
В	×	6	SINGLE	Lithonia	RADB LED P2 30K ASY DDBXD	45.5IN Bollard	3000K	Type I	534	B0-U1-G0	0.95	8
С	•	14	SINGLE	USAI	CRT1711211244-001-006+008, Model_ B	Recessed @ 11FT	3000K	Type VS	825	B2-U0-G0	0.95	9
D		3	SINGLE	Traxon Go	MINI GO 1200mm-36pcs-3000k-20°	Canopy @ 11FT	3000K	Type I	300/FT	B2-U2-G0	0.50	18W/4F
F	•	5	SINGLE	B-K Lighting	CK-LED-X59-FL-9 -C	Wall @ 8.5FT	3000K	Type V	776	B1-U0-G0	0.95	12

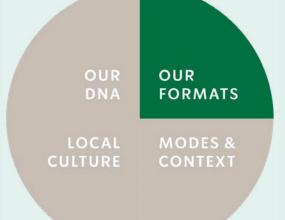
BLC - Backlight Control EGS-F - External Glare Shield, Forward Throw HS - Hou

GENERAL SITE LIGHTING NOTES:

- 1. POLE MOUNTED LUMINAIRES SHALL BE ENERGY SAVING LED, 'NIGHTTIME FRIENDLY', 'IDA-DARK SKY APPROVED', DIMMABLE AND RATED FOR 100,0 HOUR LIFE.
- 2. CONTROL SYSTEM FOR SITE LIGHTING (IE POLE MOUNTED FIXTURES AND BOLLARDS) AND BUILDING MOUNTED LIGHTING SHALL BE FULLY AUTOMATI PROGRAMMABLE AND DIMMABLE AND SHALL COMPLY W/ THE TOWN OF HUDSON LIGHTING ORDINANCES.
- 3. EACH BUILDING MOUNTED LIGHT FIXTURE TYPE SHALL BE PROVIDED W/ SEPARATE CONTROL PANEL RELAY AND/OR WALL MOUNTED DIMMER SWIT
- 4. TIME OF DAY PROGRAMMING SCHEDULE SHALL BE DETERMINED BY THE LIGHTING SHALL BE SET TO AUTO-ON AT DUSK AND AUTO-OFF AT DAWN A MINIMUM. A REDUCED SET-BACK LEVEL (REDUCED BY SAY 50%) AFTER CLOSE OF BUSINESS MAY BE CONSIDERED AND SHALL BE DETERMINED THE OWNER.
- 5. LIGHT POLE BASE TOP-OF-CONCRETE ALONG DRIVE-THRU SHALL BE 2F ABOVE FINISHED GRADE.
- 6. LIGHT POLE BASE AND BOLLARD BASE TOP-OF-CONCRETE SHALL BE 4" ABOVE FINISHED GRADE WHERE LOCATED IN GRASS.
- 7. MAINTAIN MINIMUM CLEARANCE BETWEEN LUMINAIRE AND EXISTING OVERHI UTILITY LINES PER LOCAL UTILITY REQUIREMENTS, TYPICAL.
- 8. CONTRIBUTION FROM EXISTING LIGHT SOURCES OUTSIDE OF PROJECT LIM ARE NOT INCLUDED IN CALCULATION.



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	NO. DATE REVISION		BY
000	PHOTOMETRIC SITE LIGHTING (MAP 165, LOT 155)	PLAN	
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OWNER. N AS	HUDSON, NEW HA	MPSH	IIRE
R BY	HUDSON-VICKERR	Y, L	\underline{C}
т	c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY,	NH 03053 (603	3) 434–6700
	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	60 80) FEET
EAD	10 0 10 SCALE: 1"=20 Feet 1"=6.096 Meters	20	METERS
IITS	16 FEBRUARY 2	024	
	PREPARED BY :		
	DUBOIS & KING, INC		
	15 CONSTITUTION DRIVE, SUITE II BEDFORD, NEW HAMPSHIRE 03110 PHONE (603) 637 - 1043		
	FIELD BOOK: 1161	1708-SB	16 OF 16
	DRAWING LOC: PHOTOMETRIC PLAN\ARCH\240228\1708SB-SL31 - 20240228	File Number	Chart



NE Schematic Exterior Design STB-B (Scheme A)

Primary Cladding:

Wood cladding at entry doors and patio area to run vertically.

Secondary Cladding:

Smooth brick application. Stacked horizontally below canopy. Stacked vertically above.

Accent Cladding:

Wood cladding (black) at the Drive Thru bump in vertical application.

Canopy:

Underside of canopy to be clad with wood, typ.



PALETTE A

