

MAP 165, LOT 155
SITE PLAN

PROPOSED DRIVE-THRU RESTAURANT

77 DERRY STREET
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER

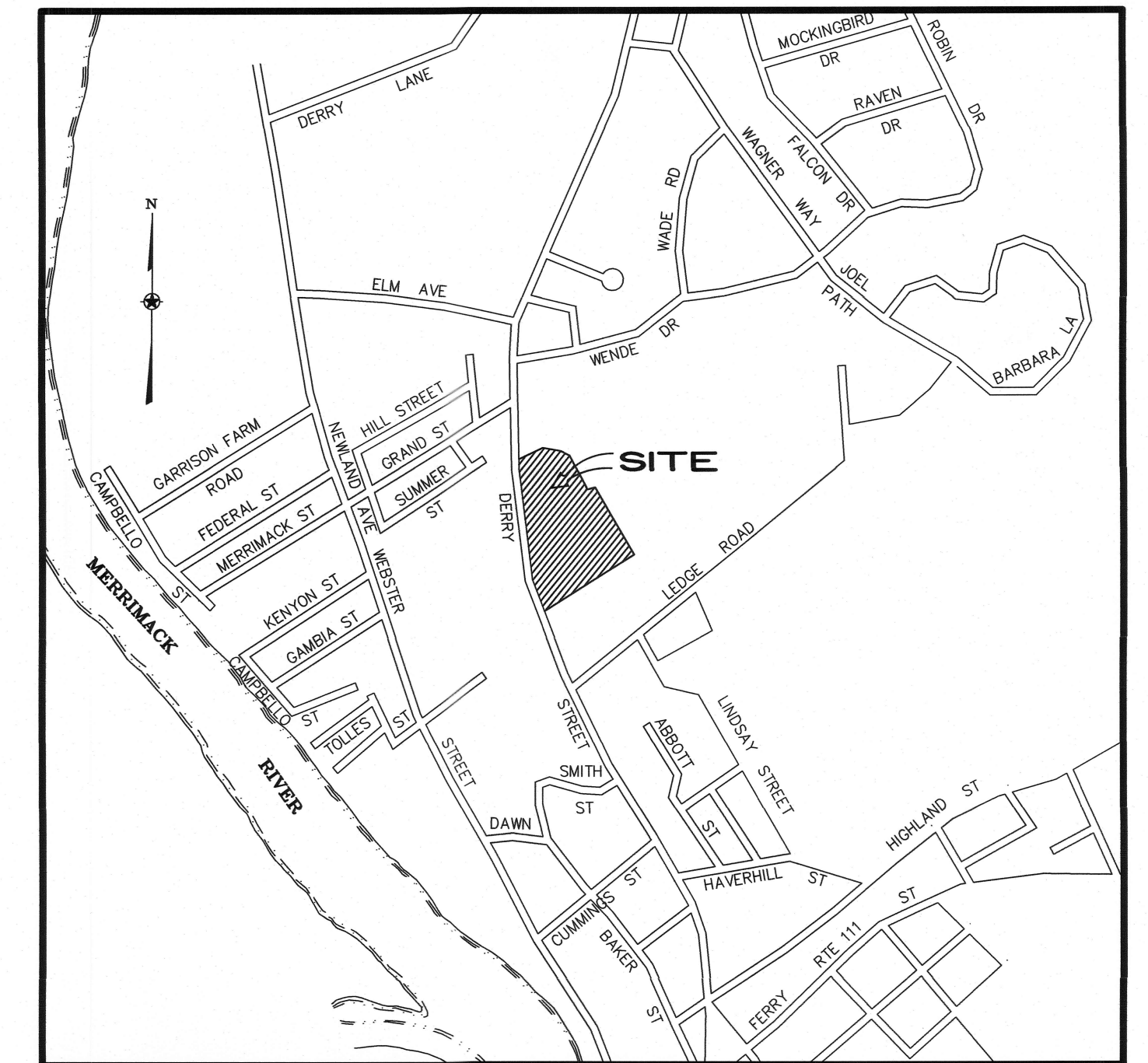
HUDSON-VICKERRY, LLC

c/o THE MEG COMPANIES
 25 ORCHARD VIEW DRIVE
 LONDONDERRY, NH 03053
 (603) 434-6700

16 FEBRUARY 2024

REVISED
 22 MAY 2024

REVIEW ONLY



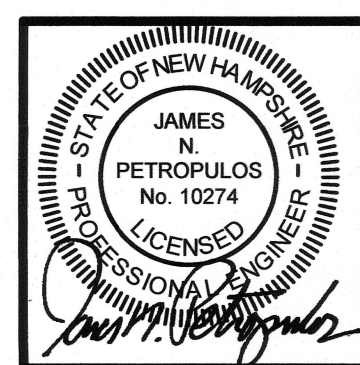
VICINITY PLAN
 SCALE: 1" = 1,000'

INDEX OF PLANS		
SHEET No.	TITLE	
1 OF 16	MASTER SITE PLAN	1" = 50'
2 OF 16	NOTES AND LEGEND	
3 OF 16	EXISTING CONDITIONS PLAN	1" = 30'
4 OF 16	SITE DEMOLITION PLAN	1" = 30'
5 OF 16	SITE GRADING & UTILITY PLAN	1" = 30'
6 OF 16	SITE LAYOUT PLAN	1" = 30'
7 OF 16	UTILITY PROFILES	1" = 30' H 1" = 3' V
8-11 OF 16	DETAIL SHEET - GENERAL SITE	
12 OF 16	EROSION CONTROL PLAN	1" = 30'
13 OF 16	DETAIL SHEET - EROSION CONTROL	
14 OF 16	LANDSCAPE PLAN	1" = 30'
15 OF 16	DETAIL SHEET - LANDSCAPE	
16 OF 16	PHOTOMETRIC SITE LIGHTING PLAN	1" = 30'
BUILDING RENDERING (FACSIMILE)		

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 CHAIRMAN: _____ SIGNATURE DATE: _____
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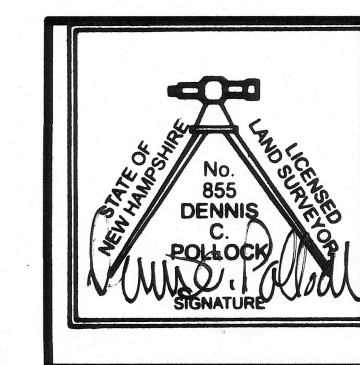
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

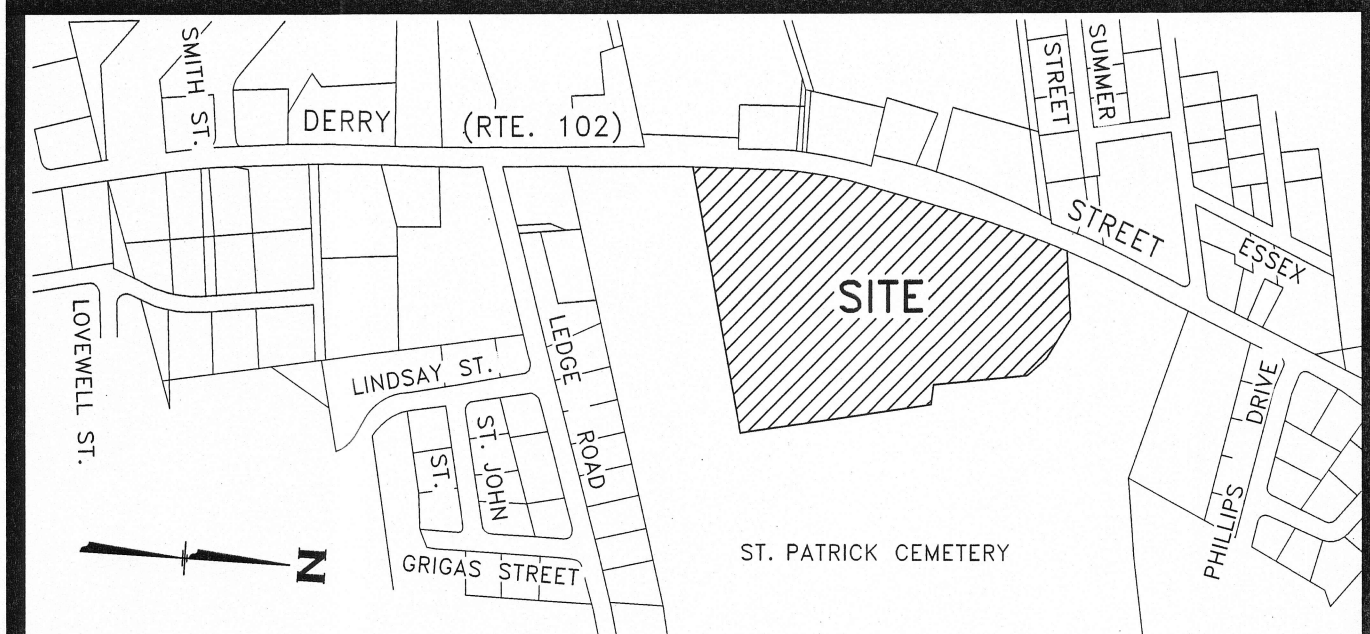
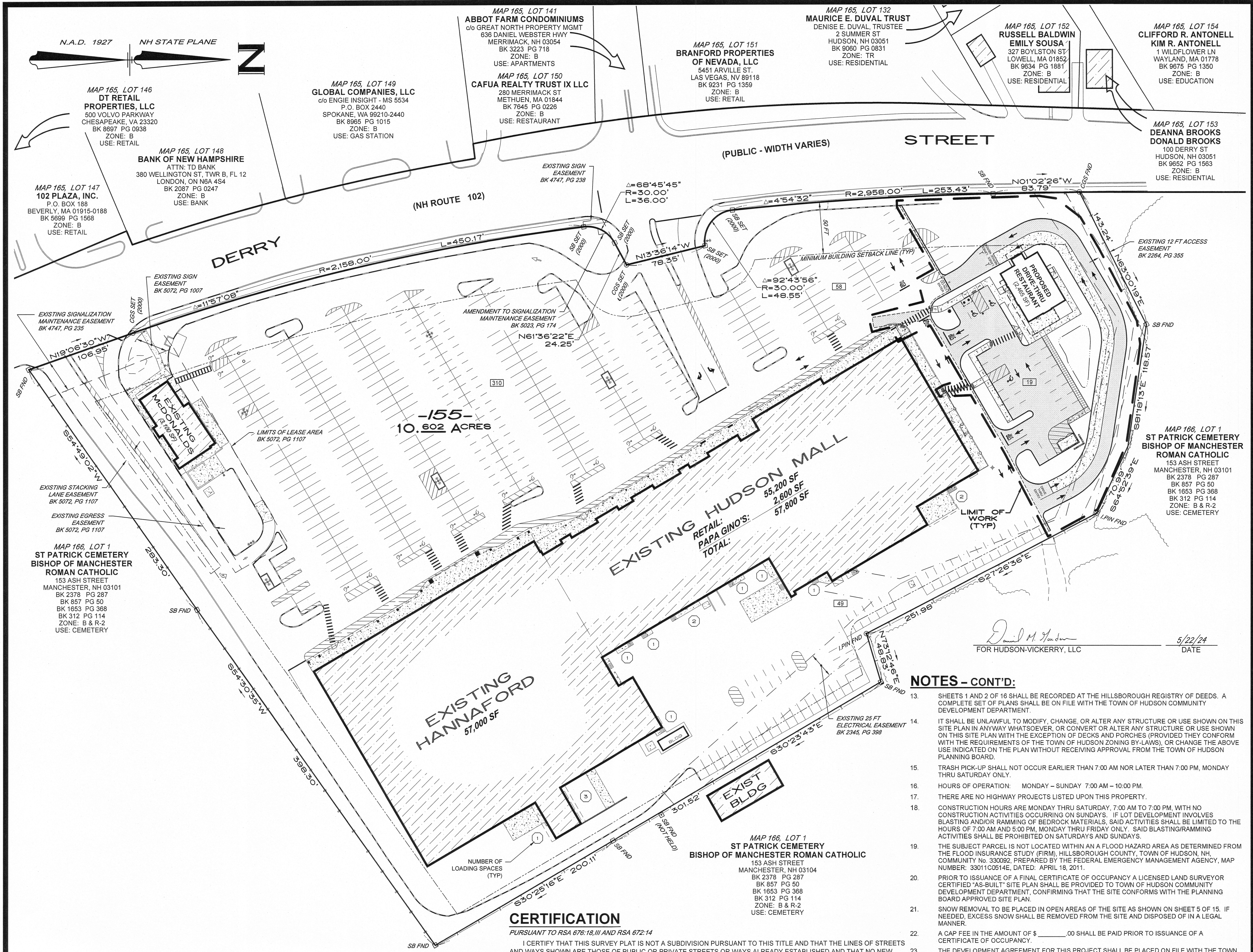


HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors

3 Congress Street
 Nashua, NH 03062
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131 Middlesex Turnpike
 Burlington, MA 01803
 (781) 203-1501
 www.hayner-swanson.com





VICINITY MAP SCALE: 1" = 500'

- NOTES:**
- LOT AREA: (MAP 165, LOT 155) 10.602± ACRES (461,823± SF)
 - PRESENT ZONING: B - BUSINESS
 MINIMUM LOT REQUIREMENTS:
 - LOT AREA 30,000 SF
 - LOT FRONTAGE 150 FT
 MINIMUM BUILDING SETBACKS REQUIREMENTS:
 - FRONT YARD 50 FT
 - SIDE YARD 35 FT
 - REAR YARD 15 FT
 MAXIMUM BUILDING HEIGHT: 15 FT
 - LOT NUMBERS REFER TO THE TOWN OF HUDSON ASSESSORS MAPS 165 & 166.
 SITE IS CURRENTLY SERVICED BY MUNICIPAL WATER AND MUNICIPAL SEWER, GAS AND OVERHEAD ELECTRIC AND TELECOMMUNICATION UTILITIES.
 - PURPOSE OF PLAN:
 TO SHOW PROPOSED DRIVE-THRU RESTAURANT ALONG WITH ACCOMPANYING PARKING AND SITE IMPROVEMENTS ON MAP 165, LOT 155.
 - PARKING:
 LOT 155:
 EXISTING: = 486 SPACES
 REQUIRED (MINIMUM):
 EXISTING MALL (RETAIL): 1 SPACE/200 SF X 55,200 SF = 276 SPACES
 EXISTING MALL (HANNAFORD): 1 SPACE/200 SF X 57,000 SF = 286 SPACES
 EXISTING MCDONALD'S: 1 SPACE/100 SF X 3,100 SF = 31 SPACES
 EXISTING PAPA GINO'S: 1 SPACE/100 SF X 2,600 SF = 26 SPACES
 PROPOSED DRIVE-THRU RESTAURANT: 1 SPACE/100 SF X 2,465 SF = 25 SPACES
 TOTAL = 644 SPACES
 PROPOSED:
 = 437 SPACES
 - LOADING:
 REQUIRED: 13 SPACES
 PROVIDED: 14 SPACES
 - OPEN SPACE:
 REQUIRED: 35%
 EXISTING: 9.64%
 PROPOSED: 13.04%
 - BUILDING HEIGHT:
 EXISTING: 21± FT (25± FT AT LOADING DOCKS)
 PROPOSED: 16 FT
 - ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO INSTALLATION THEREOF.
 - SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT (LATEST EDITION).
 - SITE LIGHTING SHALL BE SHOWN ON THE PLAN, DIRECTED ONTO THE SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.

REVIEW ONLY			
1	05/22/24	ADDRESS TOWN COMMENTS	EDB
NO.	DATE	REVISION	BY

MASTER SITE PLAN
(MAP 165, LOT 155)

PROPOSED DRIVE-THRU RESTAURANT

77 DERRY STREET
HUDSON, NEW HAMPSHIRE

PREPARED FOR/ RECORD OWNER:
HUDSON-VICKERRY, LLC
c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY, NH 03053 (603) 434-6700

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FIELD BOOK: 1161	DRAWING NAME: 1708SB-F051	1708-SB	1 OF 16
DRAWING LOC: J:\1000\1708\DWG\1708 SB		File Number	Sheet

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CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

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CERTIFICATION
PURSUANT TO RSA 676:18, III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I FURTHER CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

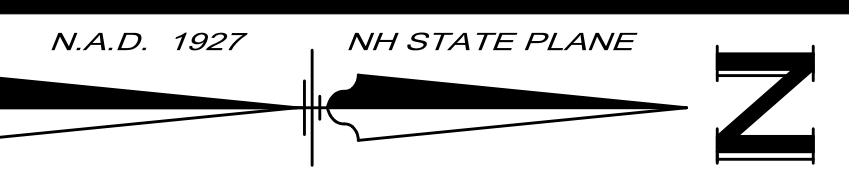
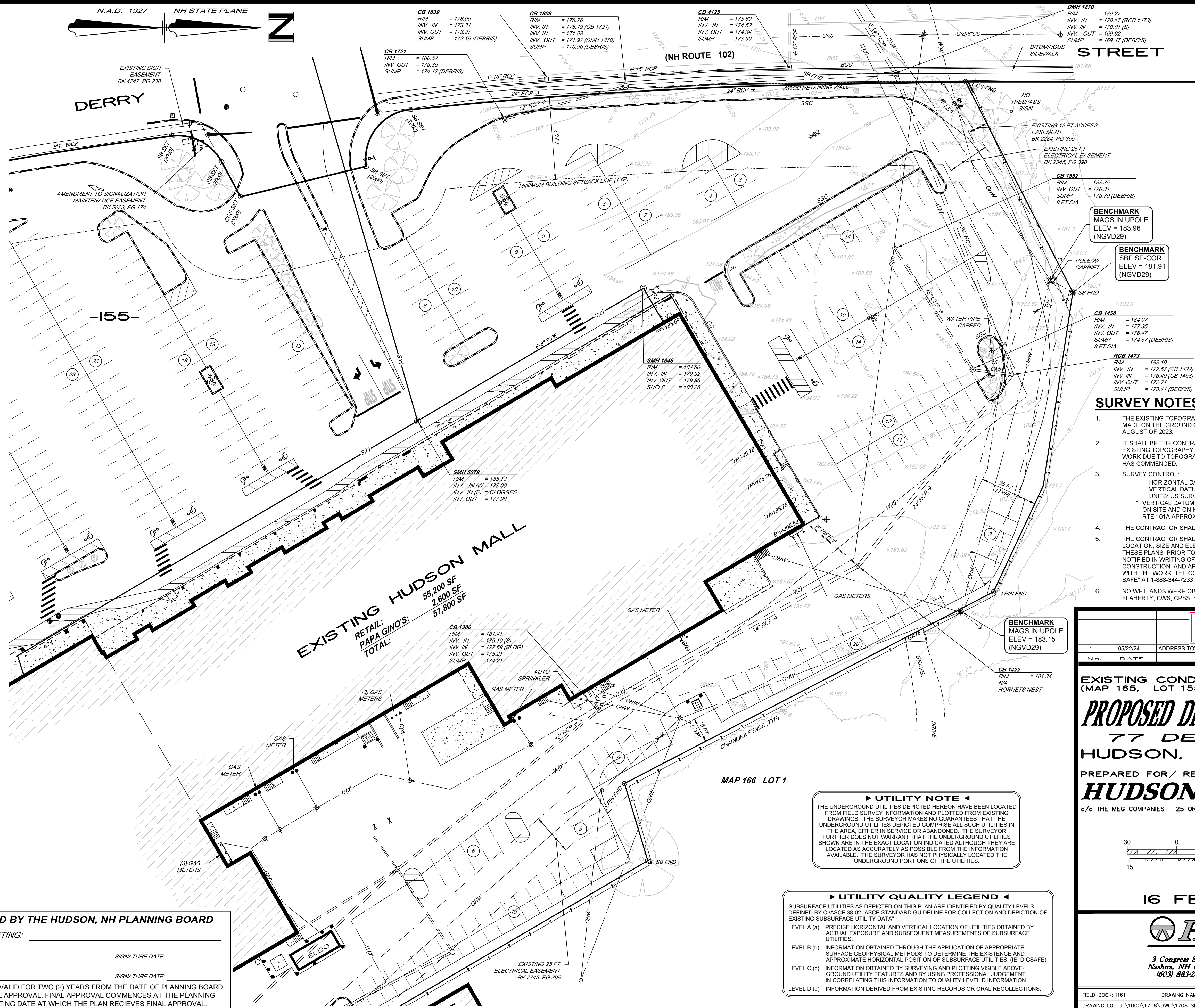
I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

5/20/24
DATE

NOTES - CONT'D:

- SHEETS 1 AND 2 OF 18 SHALL BE RECORDED AT THE HILLSBOROUGH REGISTRY OF DEEDS. A COMPLETE SET OF PLANS SHALL BE ON FILE WITH THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN WITH THE EXCEPTION OF DECKS AND PORCHES PROVIDED THEY CONFORM WITH THE REQUIREMENTS OF THE TOWN OF HUDSON ZONING BY-LAWS, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
- TRASH PICK-UP SHALL NOT OCCUR EARLIER THAN 7:00 AM NOR LATER THAN 7:00 PM, MONDAY THRU SATURDAY ONLY.
- HOURS OF OPERATION: MONDAY - SUNDAY 7:00 AM - 10:00 PM.
- THERE ARE NO HIGHWAY PROJECTS LISTED UPON THIS PROPERTY.
- CONSTRUCTION HOURS ARE MONDAY THRU SATURDAY, 7:00 AM TO 7:00 PM, WITH NO CONSTRUCTION ACTIVITIES OCCURRING ON SUNDAYS. IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS OF 7:00 AM AND 5:00 PM, MONDAY THRU FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON SATURDAYS AND SUNDAYS.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, TOWN OF HUDSON, NH, COMMUNITY No. 330092, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C0514E, DATED: APRIL 18, 2011.
- PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY A LICENSED LAND SURVEYOR CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED SITE PLAN.
- SNOW REMOVAL TO BE PLACED IN OPEN AREAS OF THE SITE AS SHOWN ON SHEET 5 OF 15. IF NEEDED, EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- A CAP FEE IN THE AMOUNT OF \$ _____ SHALL BE PAID PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THE DEVELOPMENT AGREEMENT FOR THIS PROJECT SHALL BE PLACED ON FILE WITH THE TOWN OF HUDSON PLANNING DEPARTMENT AND RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. THE INSPECTION AND MAINTENANCE PLAN FOR STORMWATER SHALL BE INCLUDED IN THE DEVELOPMENT AGREEMENT.
- PRESENT OWNER OF RECORD:
MAP 165 LOT 155
HUDSON-VICKERRY, LLC
c/o THE MEG COMPANIES
25 ORCHARD VIEW DRIVE
LONDONDERRY, NH 03063
BK 6307 PG. 1987

DENNIS C. POLLOCK, LLS



EXISTING SIGN EASEMENT BK 4747, PG 238

AMENDMENT TO SIGNALIZATION MAINTENANCE EASEMENT BK 5023, PG 174

CB 1839
RIM = 178.09
INV. IN = 173.31
INV. OUT = 173.27
SUMP = 172.19 (DEBRIS)

CB 1809
RIM = 178.76
INV. IN = 175.19 (CB 1721)
INV. IN = 171.98
INV. OUT = 171.97 (DMH 1870)
SUMP = 170.96 (DEBRIS)

CB 4125
RIM = 178.69
INV. IN = 174.52
INV. OUT = 174.34
SUMP = 173.99

DMH 1870
RIM = 180.27
INV. IN = 170.17 (RCB 1473)
INV. IN = 170.01 (S)
INV. OUT = 169.92
SUMP = 169.47 (DEBRIS)

CB 1721
RIM = 180.52
INV. OUT = 175.36
SUMP = 174.12 (DEBRIS)

CB 1552
RIM = 183.35
INV. OUT = 176.31
SUMP = 173.70 (DEBRIS)
8 FT DIA.

BENCHMARK
MAGS IN UPOLE
ELEV = 183.96
(NGVD29)

BENCHMARK
SBF SE-COR
ELEV = 181.91
(NGVD29)

CB 1458
RIM = 184.07
INV. IN = 177.35
INV. OUT = 176.47
SUMP = 174.57 (DEBRIS)
8 FT DIA.

RCB 1473
RIM = 183.19
INV. IN = 172.87 (CB 1422)
INV. IN = 176.40 (CB 1458)
INV. OUT = 172.71
SUMP = 173.11 (DEBRIS)

SMH 5079
RIM = 185.13
INV. IN (W) = 178.00
INV. IN (E) = CLOGGED
INV. OUT = 177.99

EXISTING HUDSON MALL
RETAIL: PAPA GINO'S
TOTAL:
55,200 SF
2,600 SF
57,800 SF

CB 1380
RIM = 181.41
INV. IN = 175.10 (S)
INV. IN = 177.69 (BLDG)
INV. OUT = 175.21
SUMP = 174.21

BENCHMARK
MAGS IN UPOLE
ELEV = 183.15
(NGVD29)

CB 1422
RIM = 181.34
N/A
HORNETS NEST

SURVEY NOTES:

- THE EXISTING TOPOGRAPHY, AS SHOWN ON THE PLANS, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND ORIGINALLY IN JUNE OF 1998 AND AS PERIODICALLY UPDATED THROUGH AUGUST OF 2023.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
- SURVEY CONTROL:
HORIZONTAL DATUM: NAD27
VERTICAL DATUM: NGVD29
UNITS: US SURVEY FEET
SCALE FACTOR APPLIED: 1.00000
* VERTICAL DATUM WAS VERIFIED USING GPS (KEYNET NETWORK) BY TAKING OBSERVATIONS ON SITE AND ON NGS (FORMERLY USGS) "DISK D-26" LOCATED ON THE NORTHERLY SIDE OF RTE 101A APPROXIMATELY 4.5 MILES WEST OF THE NASHUA LIBRARY.
- THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- NO WETLANDS WERE OBSERVED ON, OR WITHIN 100 FEET OF, THE PROPOSED NEW LOT PER GARY FLAHERTY, CWS, CPSS, BASED ON A SITE INSPECTION ON JANUARY 27, 2018.

REVIEW ONLY

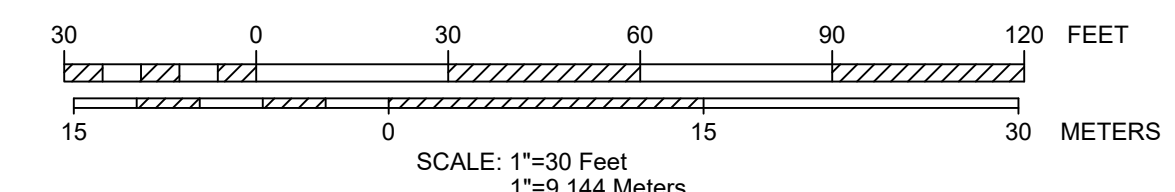
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EXISTING CONDITIONS PLAN
(MAP 165, LOT 155)

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HUDSON, NEW HAMPSHIRE

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UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

UTILITY QUALITY LEGEND

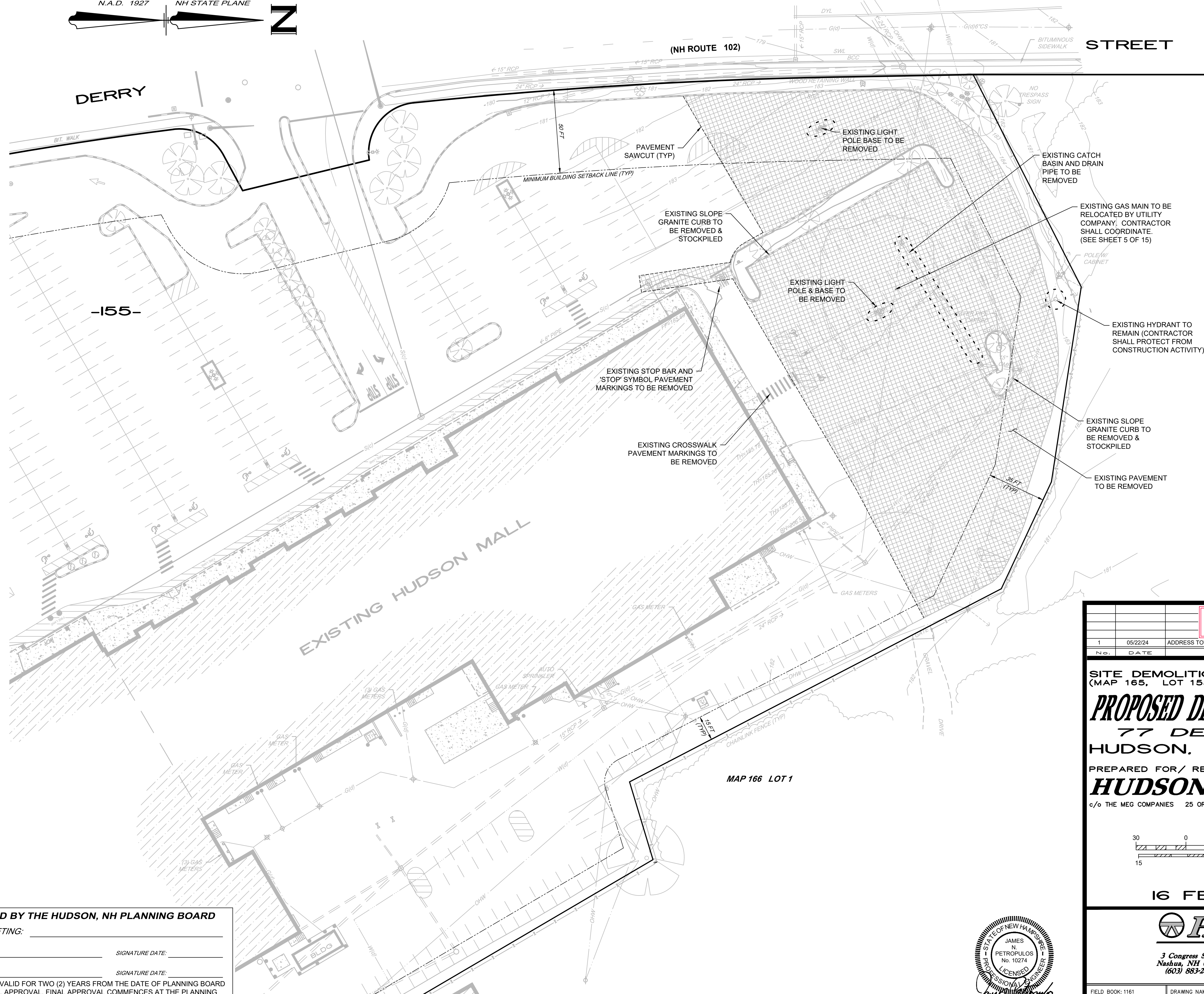
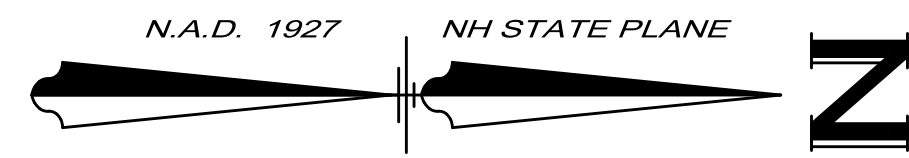
SUBSURFACE UTILITIES AS DEPICTED ON THIS PLAN ARE IDENTIFIED BY QUALITY LEVELS DEFINED BY CIVASCE 38-02 "ASCE STANDARD GUIDELINE FOR COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

LEVEL A (a) PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY ACTUAL EXPOSURE AND SUBSEQUENT MEASUREMENTS OF SUBSURFACE UTILITIES.

LEVEL B (b) INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. (IE. DIGSAFE)

LEVEL C (c) INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.

LEVEL D (d) INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.



-155-

NOTE
SEE SHEET 2 OF 16 FOR
SITE DEMOLITION NOTES

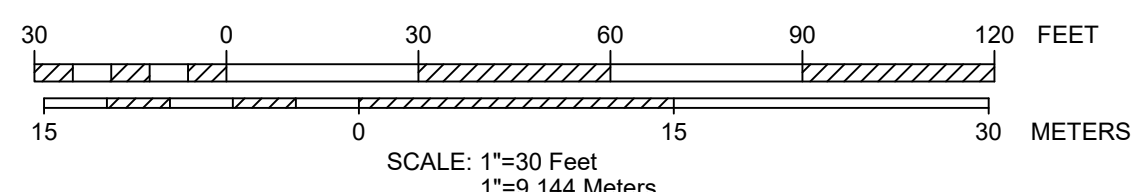
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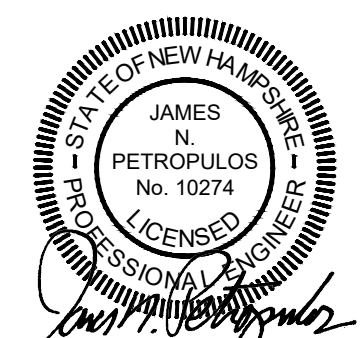
SITE DEMOLITION PLAN
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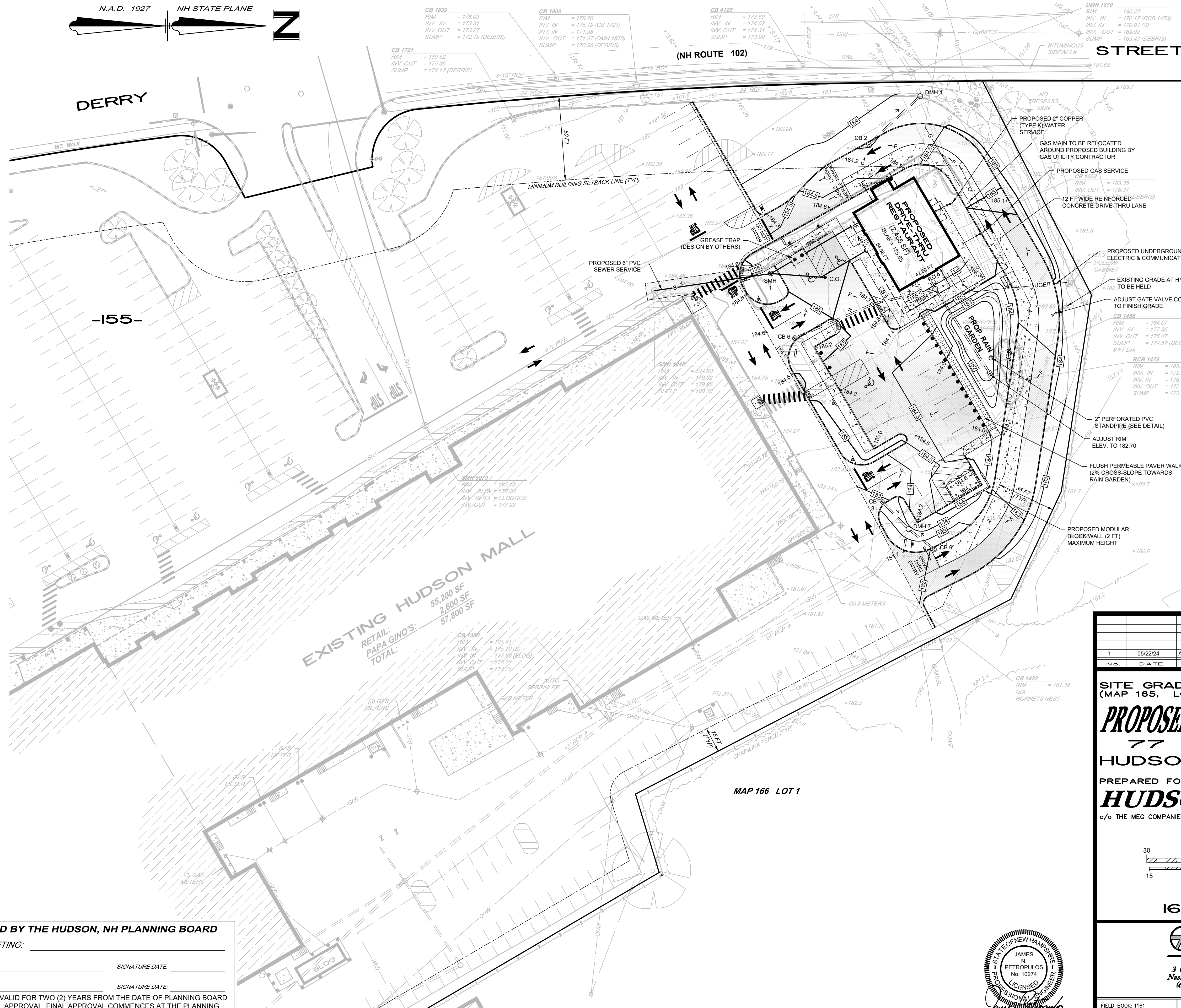
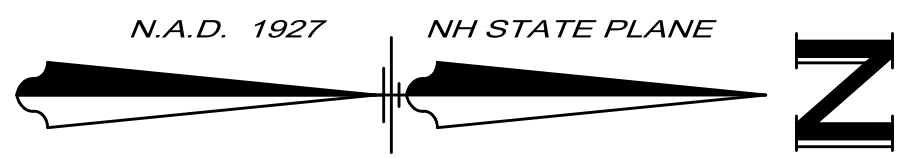
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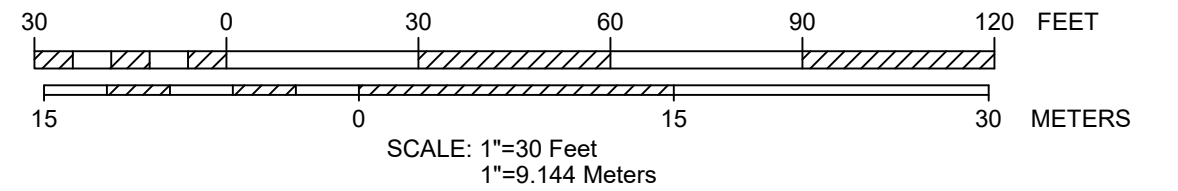
NOTE
 THE CONTRACTOR SHALL DIG A TEST PIT DURING CONSTRUCTION IN THE PROPOSED RAIN GARDEN AREA, UNDER THE SUPERVISION OF HAYNER/SWANSON, INC. AND AN INFILTRATION TEST SHALL BE CONDUCTED BY HAYNER/SWANSON, INC., TO CONFIRM DESIGN ASSUMPTIONS. TEST PIT RESULTS SHALL BE SUBMITTED TO THE HUDSON TOWN ENGINEER.

NOTE
 SEE SHEET 2 OF 16 FOR CONSTRUCTION NOTES

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SITE GRADING & UTILITY PLAN
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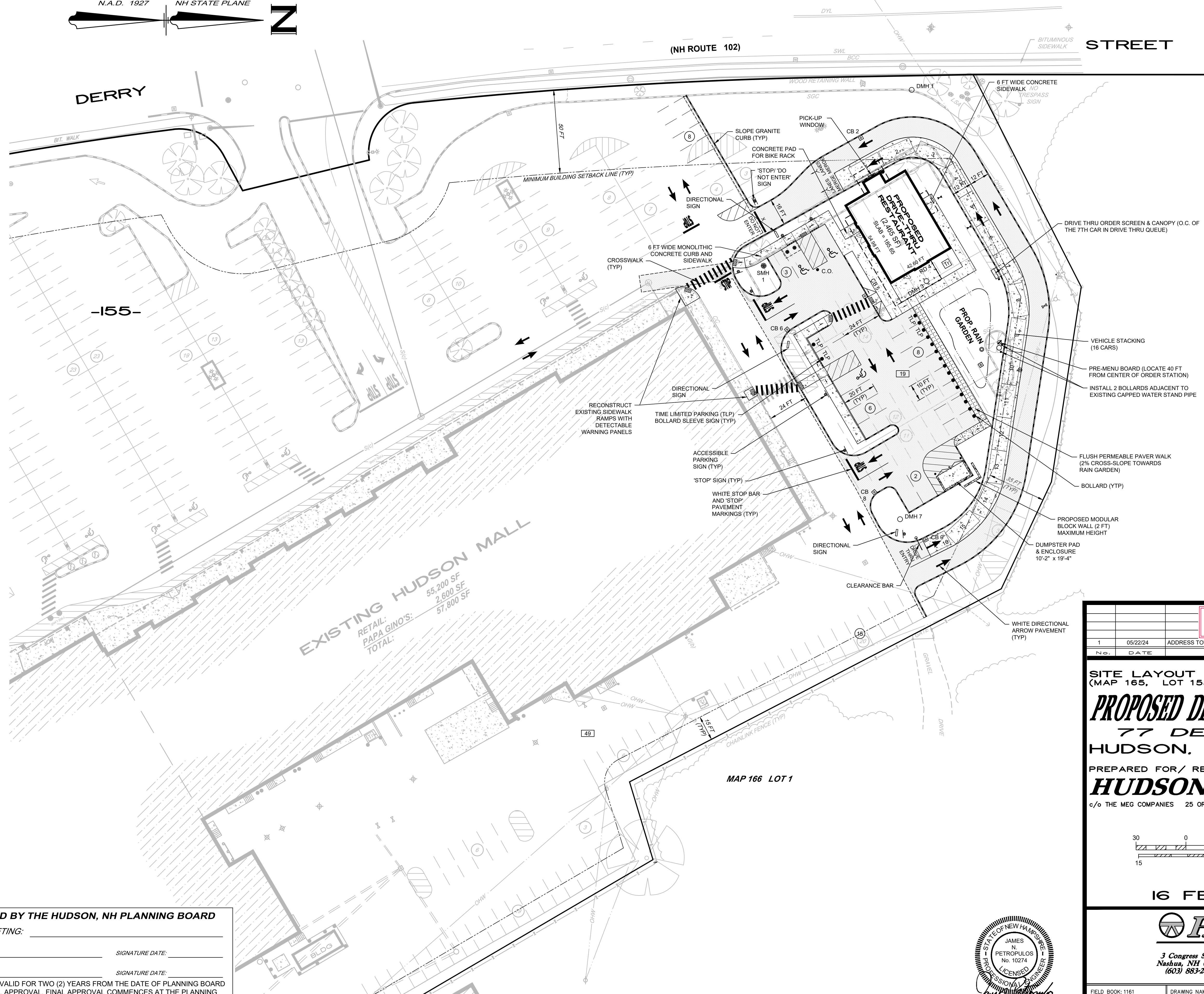
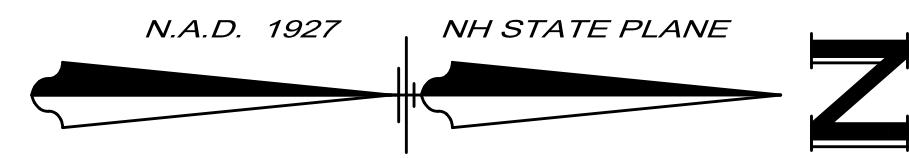
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DERRY

(NH ROUTE 102)

STREET

-155-

EXISTING HUDSON MALL
 RETAIL: 55,200 SF
 PAPA GINO'S: 2,600 SF
 TOTAL: 57,800 SF

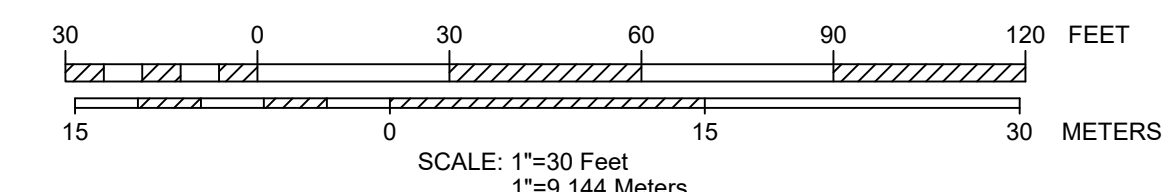
MAP 166 LOT 1

NOTE
 SEE SHEET 2 OF 16 FOR
 CONSTRUCTION NOTES

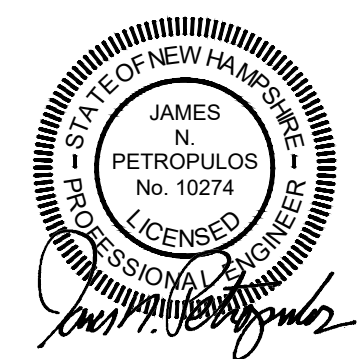
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SITE LAYOUT PLAN
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 c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY, NH 03053 (603) 434-6700



16 FEBRUARY 2024



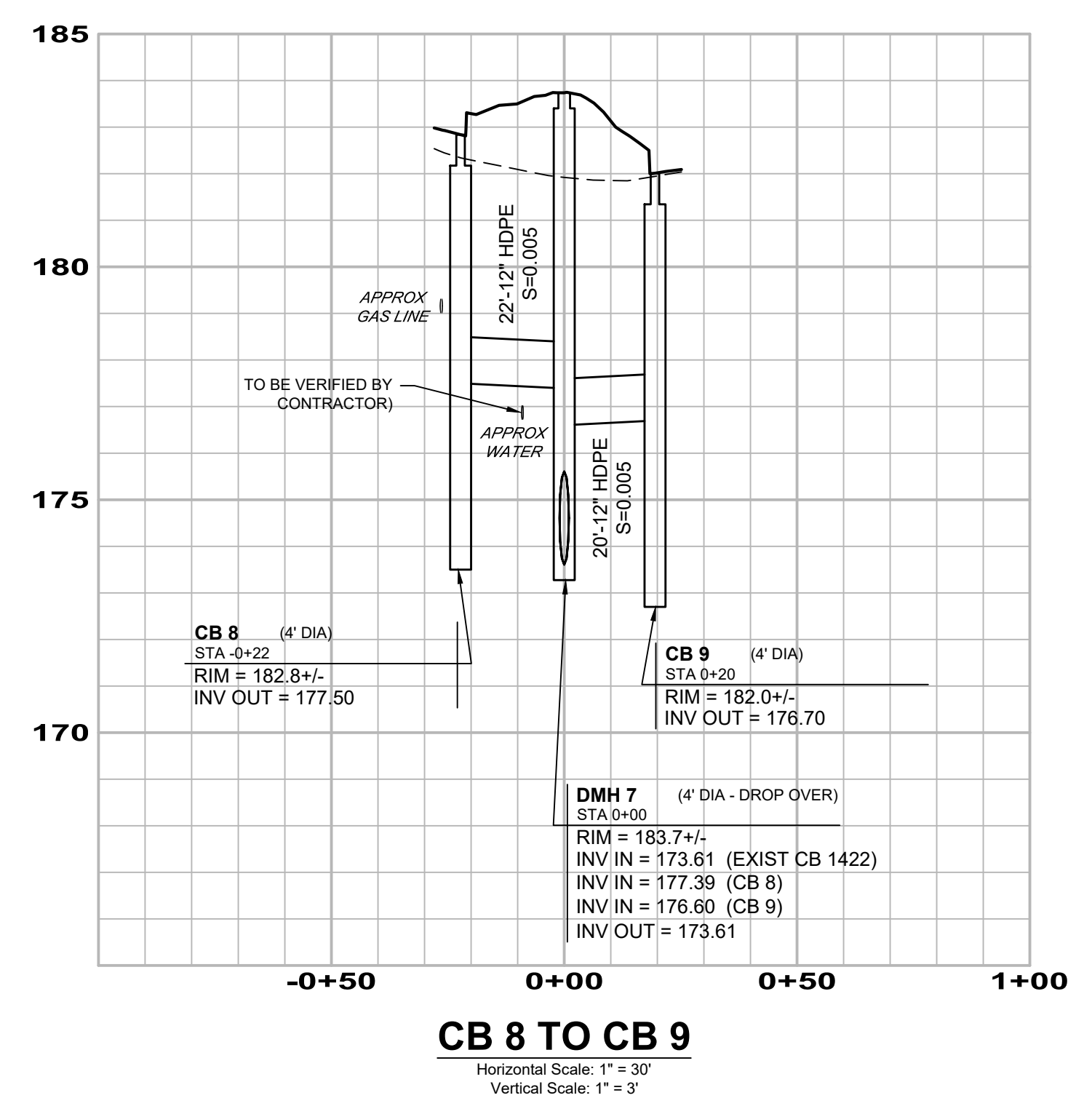
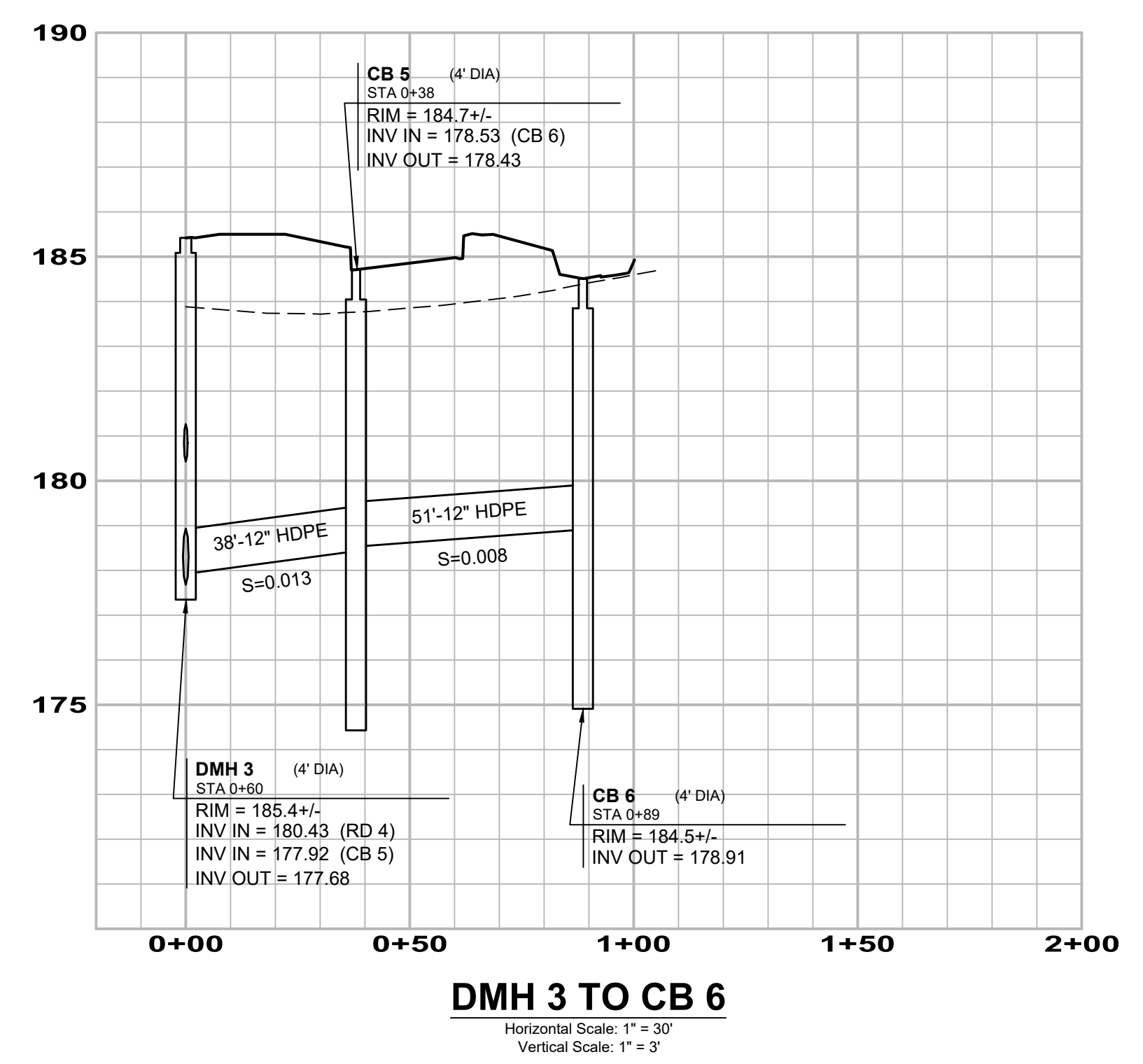
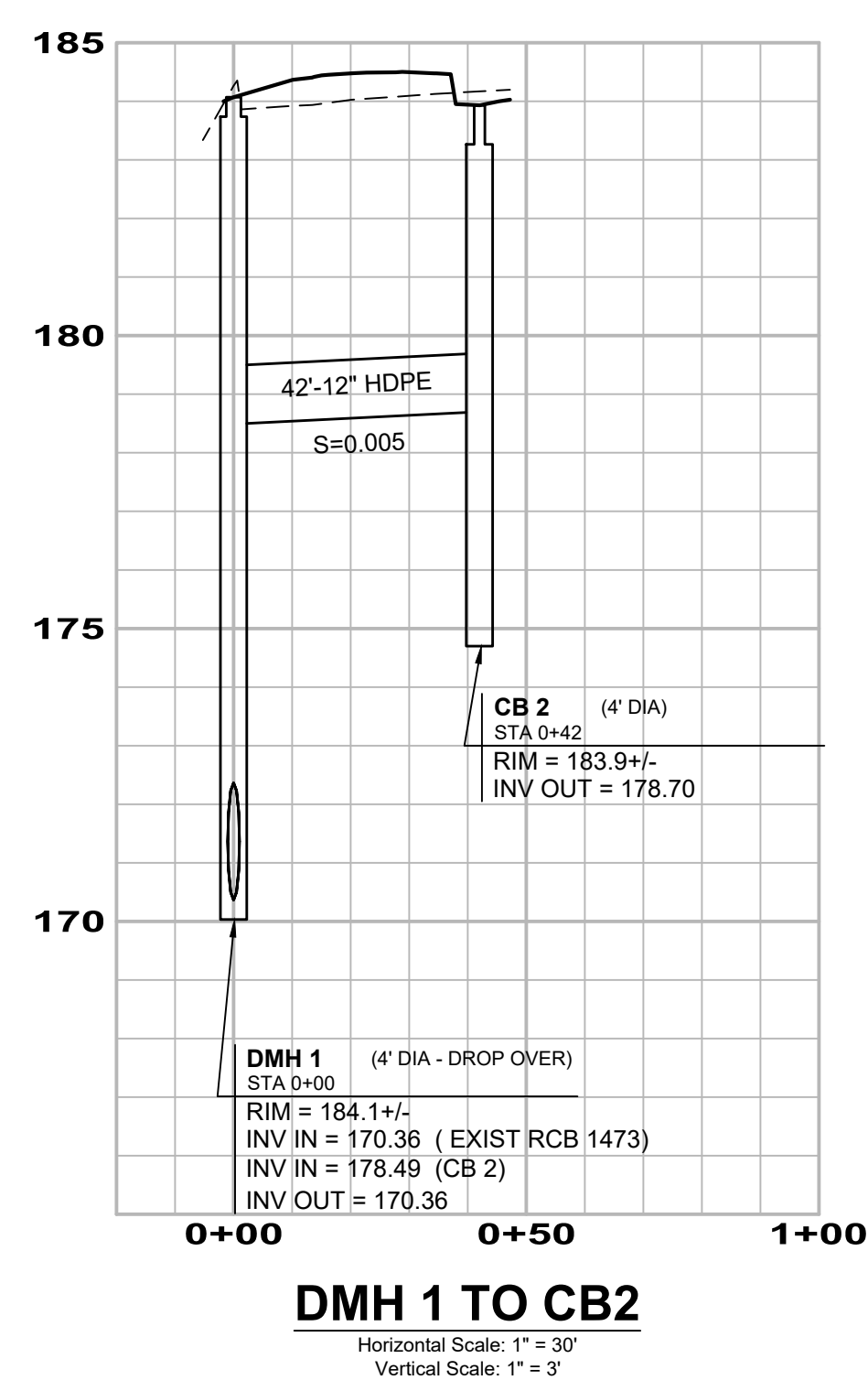
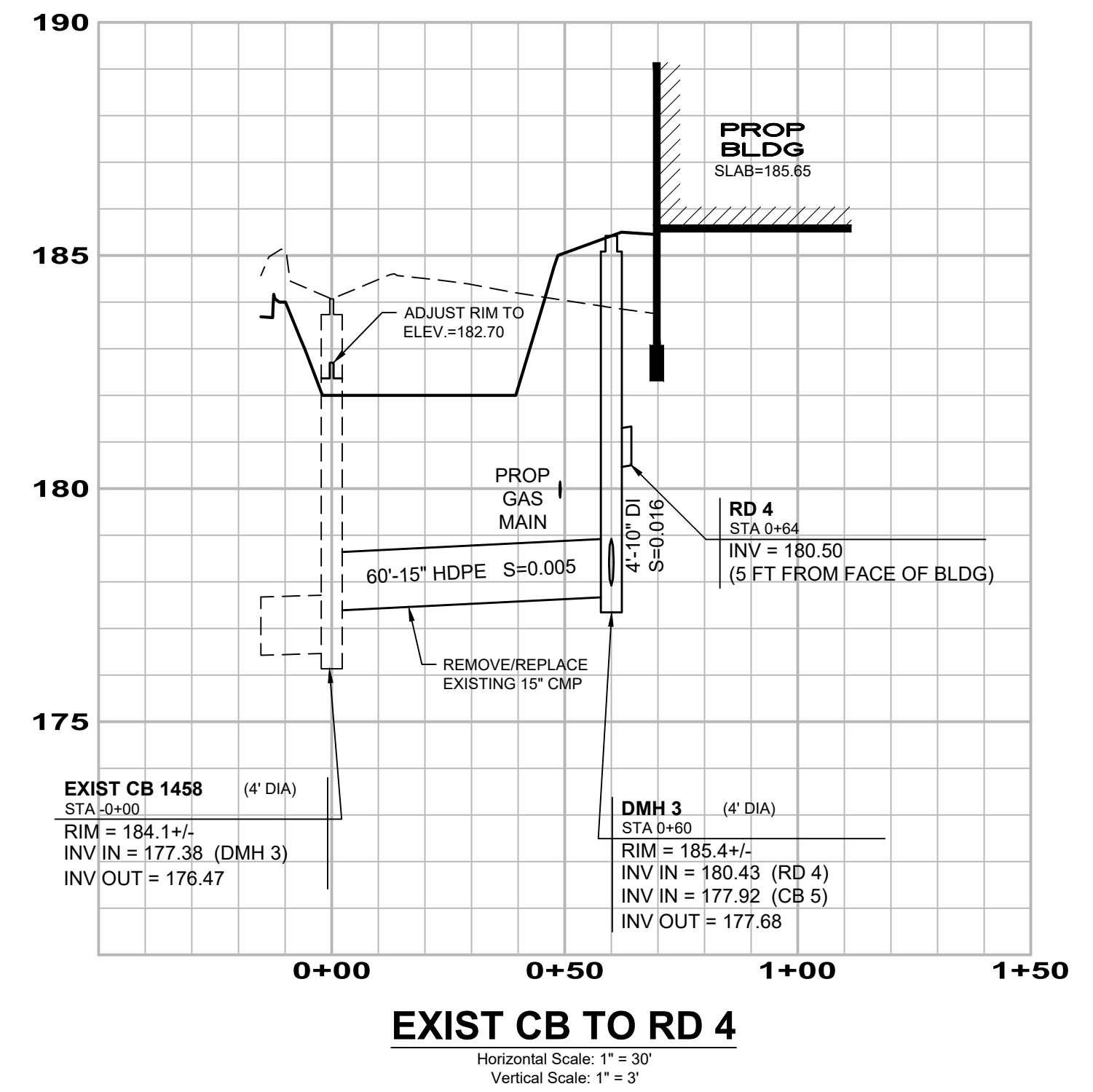
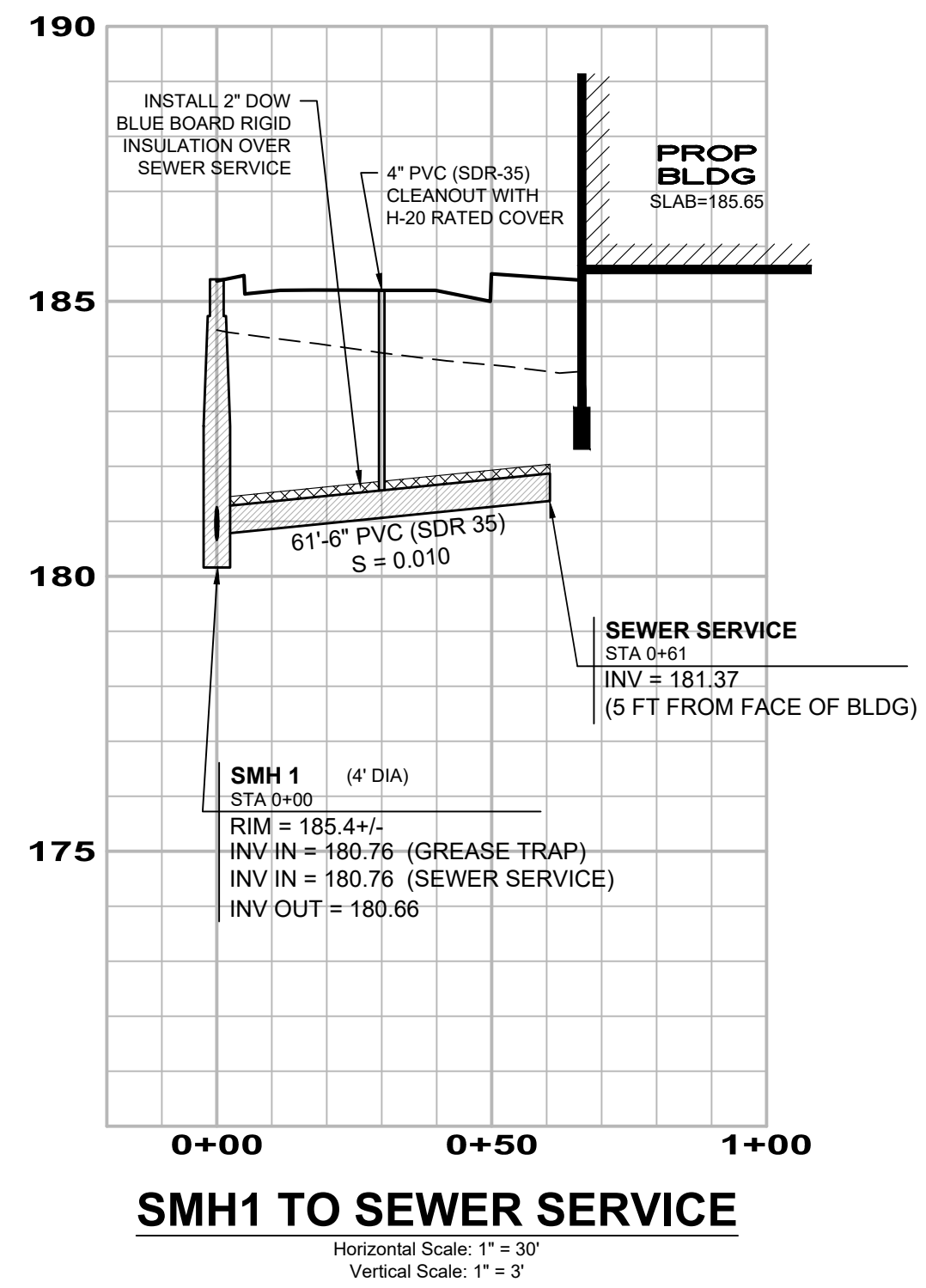
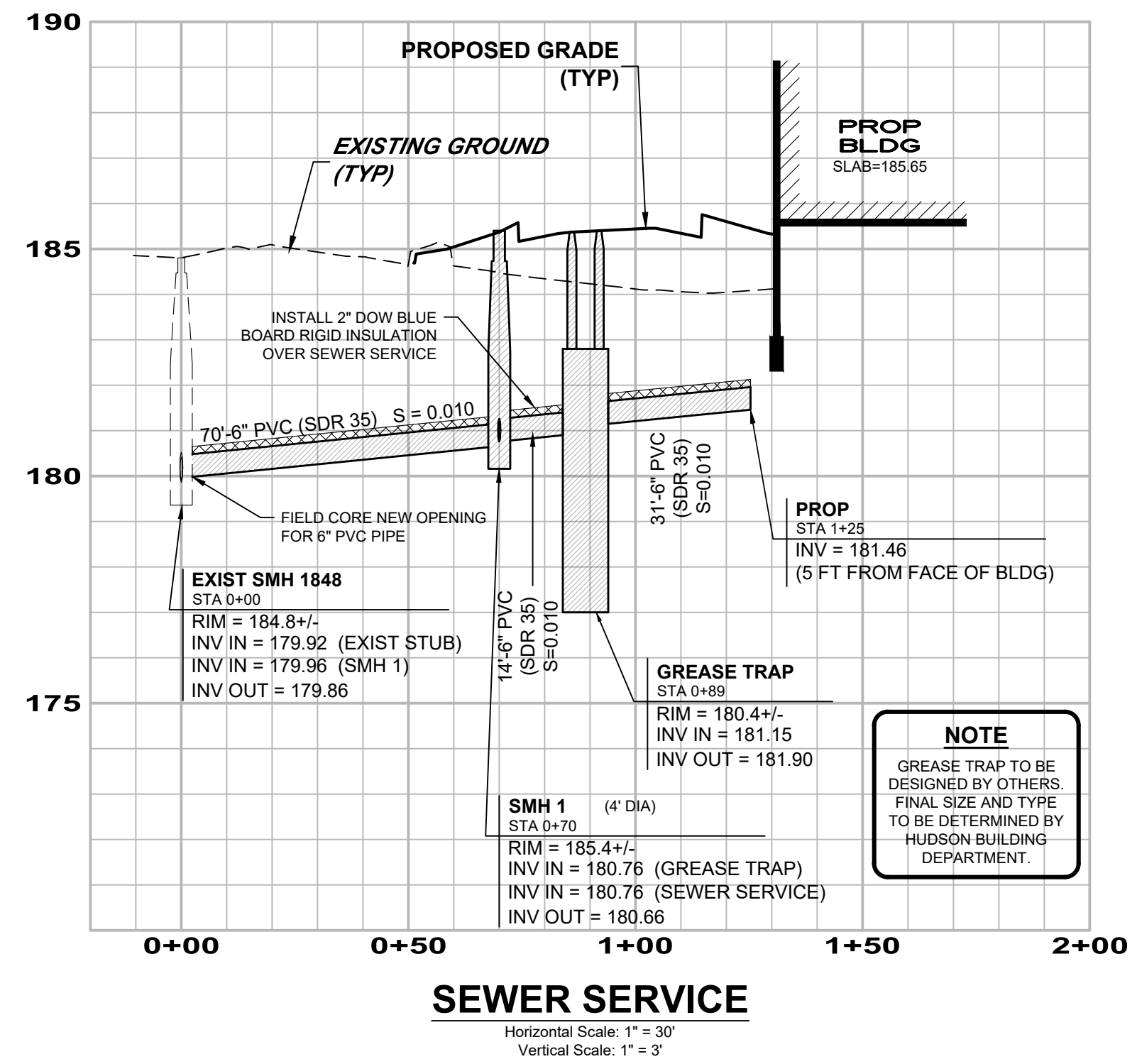
HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street Nashua, NH 03062
 131 Middlesex Turnpike Burlington, MA 01803
 (603) 883-2057
 www.haynerswanson.com

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 CHAIRMAN: _____ SIGNATURE DATE: _____
 SECRETARY: _____ SIGNATURE DATE: _____

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FIELD BOOK: 1161	DRAWING NAME: 1708SB-F031	1708-SB	6 OF 16
DRAWING LOC: J:\1000\1708\DWG\1708 SB		File Number	Sheet



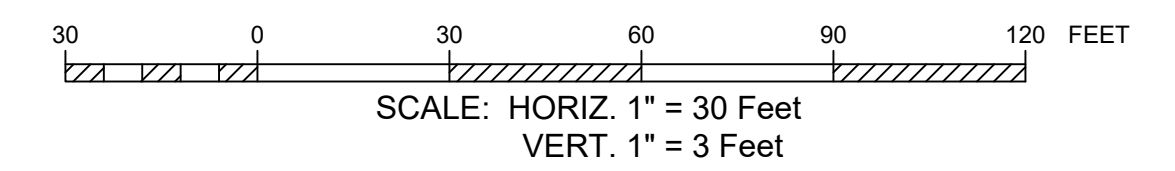
REVIEW ONLY

No.	DATE	ADDRESS TOWN COMMENTS	REVISION	BY
1	05/22/24			EDB

UTILITY PROFILES
(MAP 165, LOT 155)

PROPOSED DRIVE-THRU RESTAURANT
77 DERRY STREET
HUDSON, NEW HAMPSHIRE

PREPARED FOR/ RECORD OWNER:
HUDSON-VICKERRY, LLC
c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY, NH 03053 (603) 434-6700



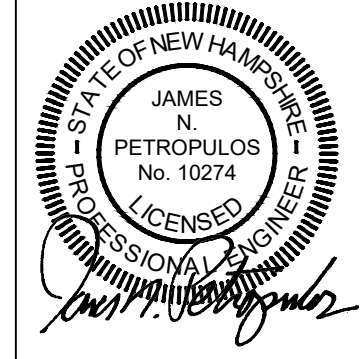
16 FEBRUARY 2024

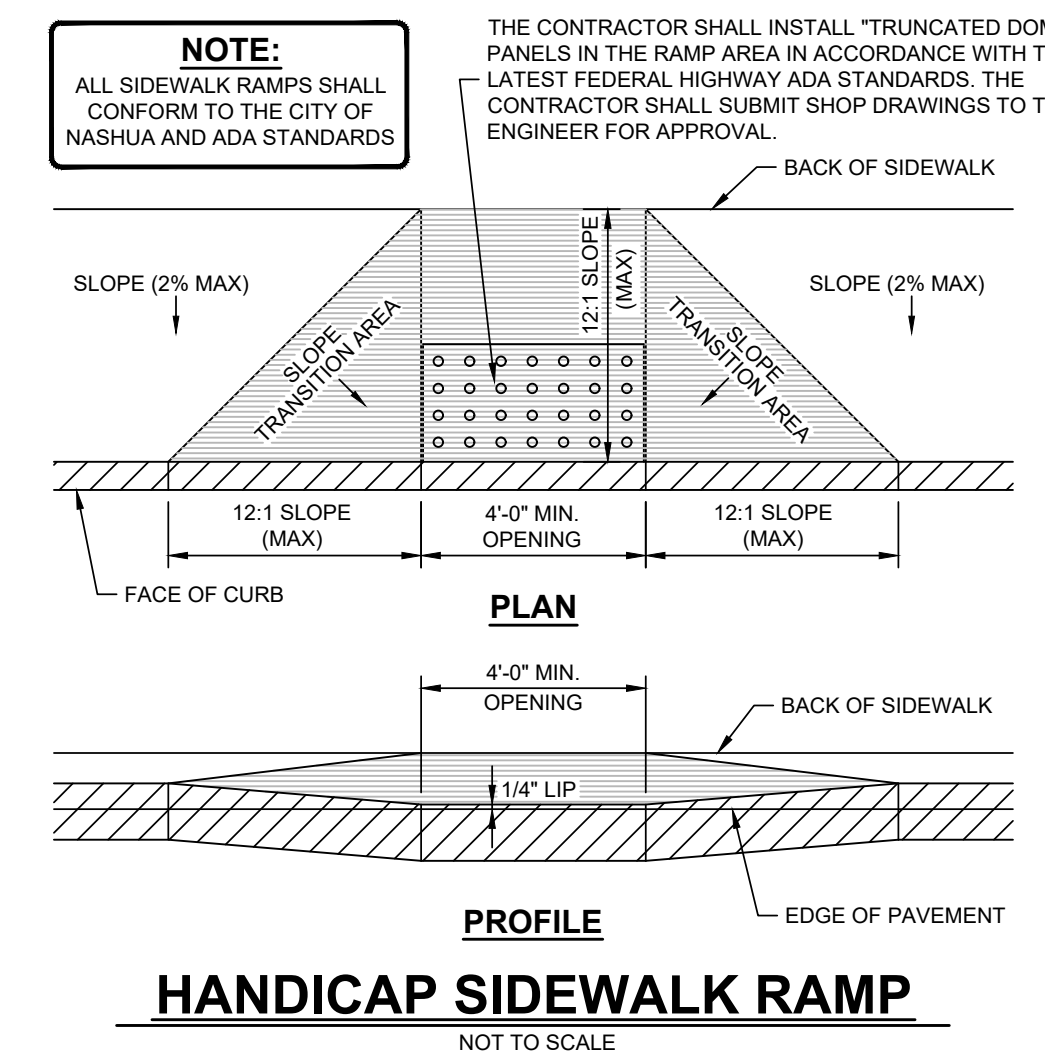
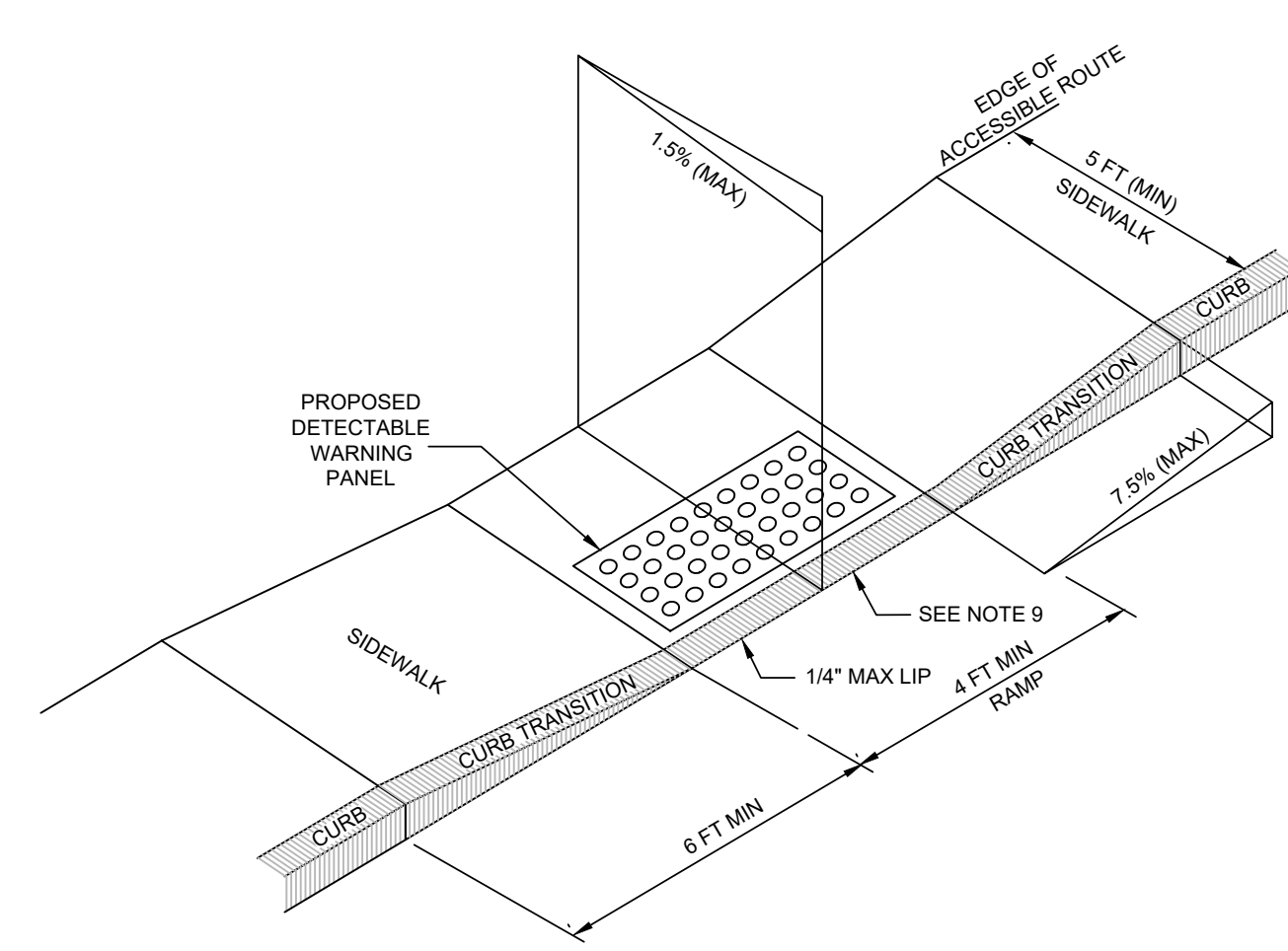
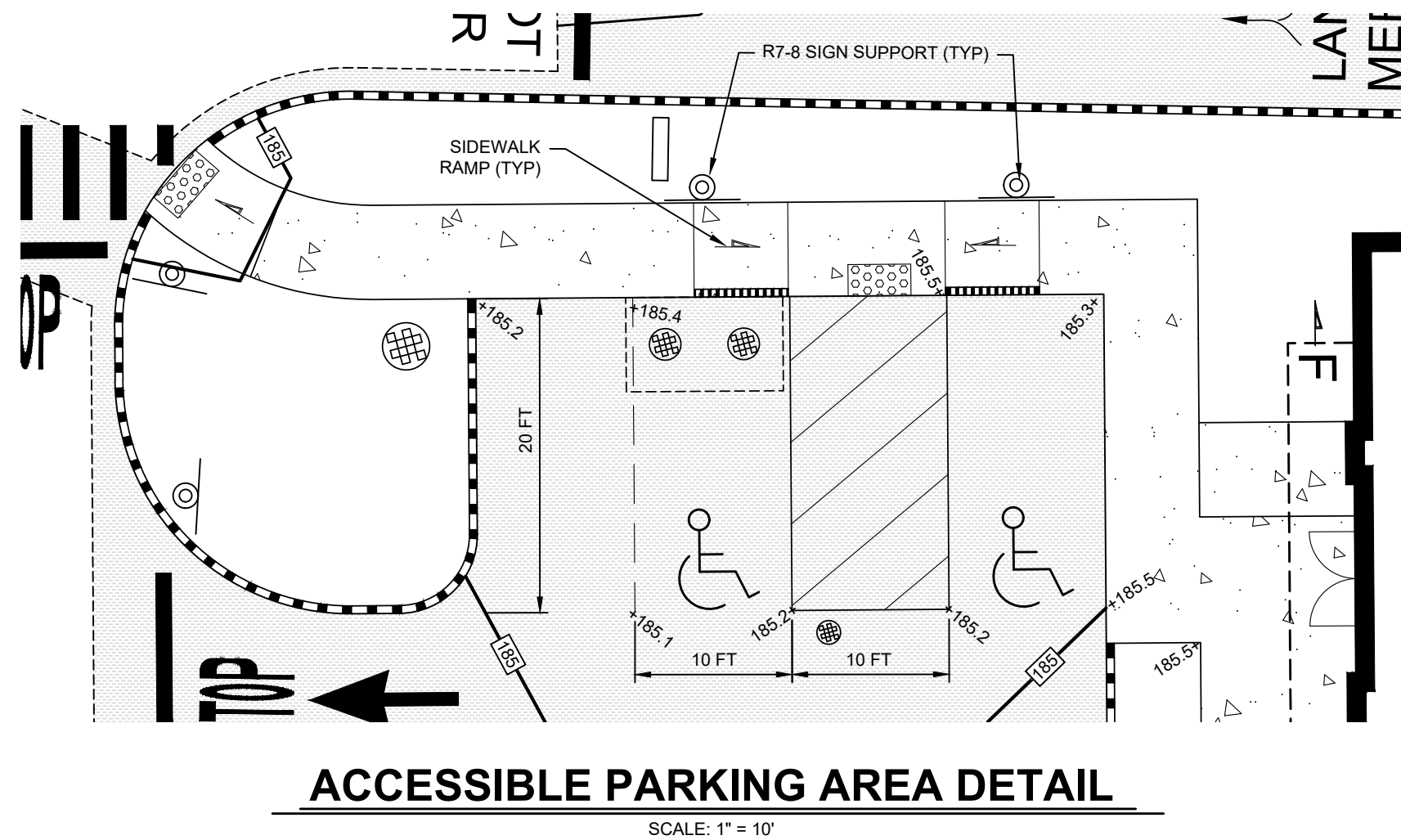
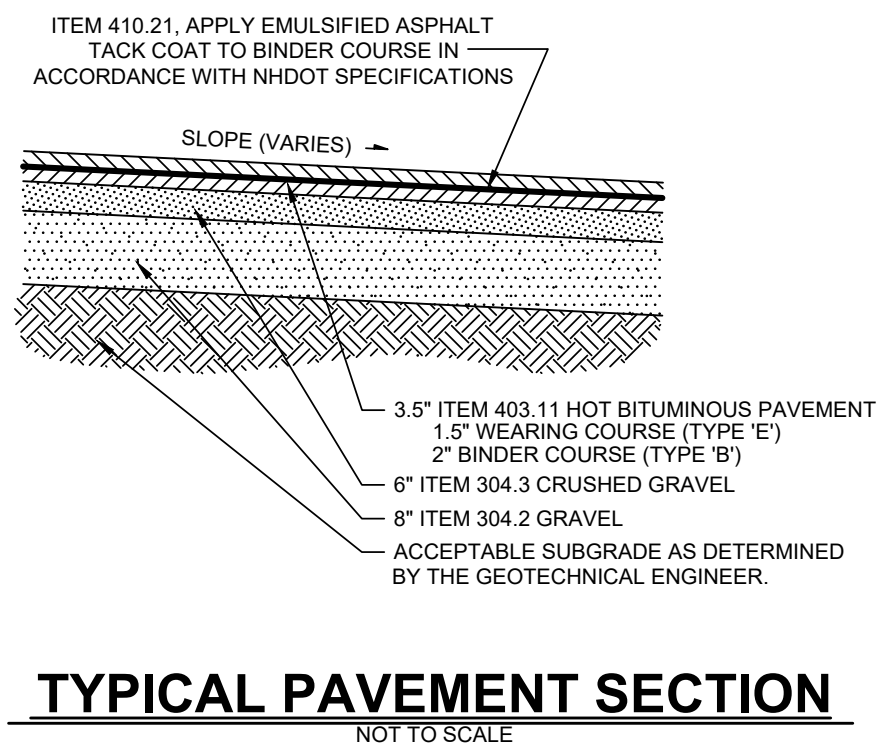
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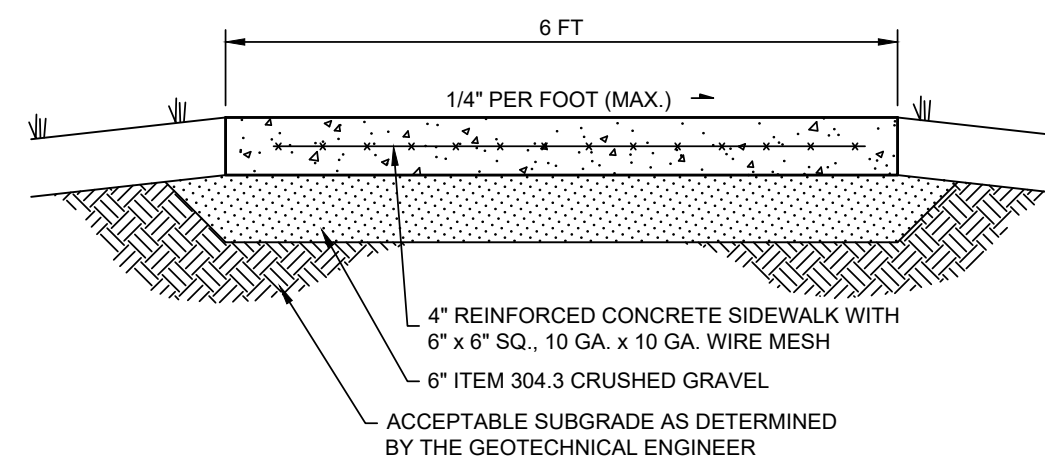
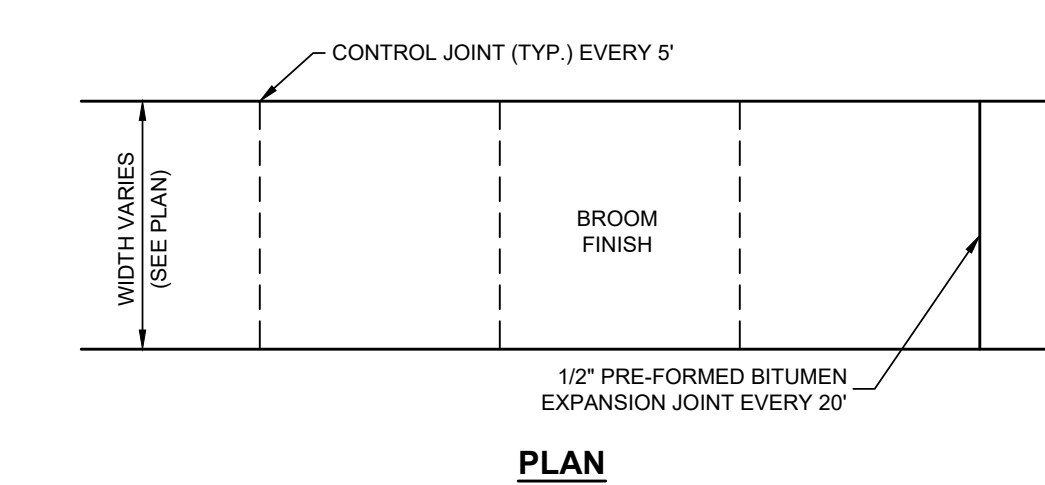
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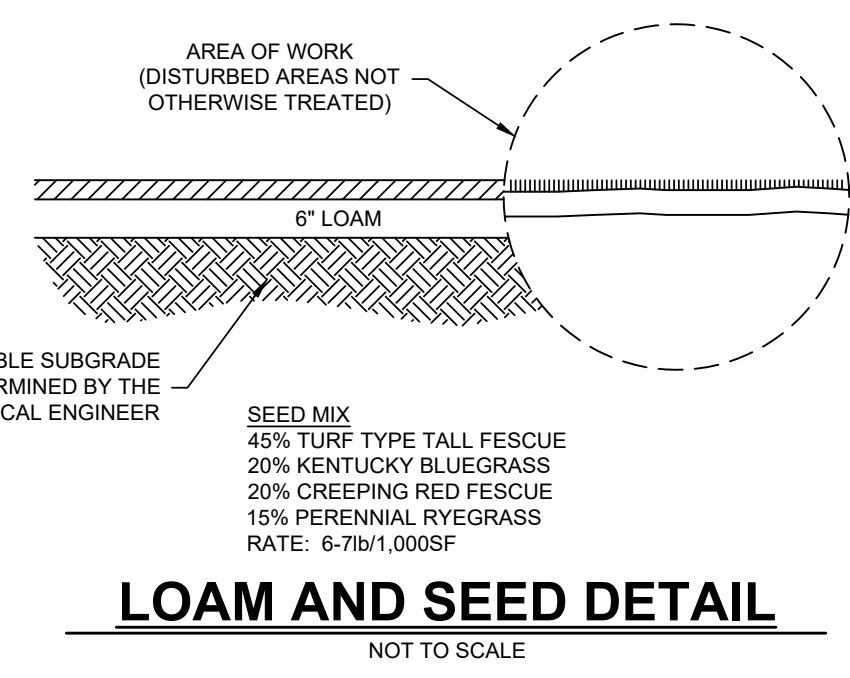


- NOTES:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5 FT IN WIDTH (EXCLUDING CURB) A 5 FT X 5 FT PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE ALL CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS PAVEMENT.

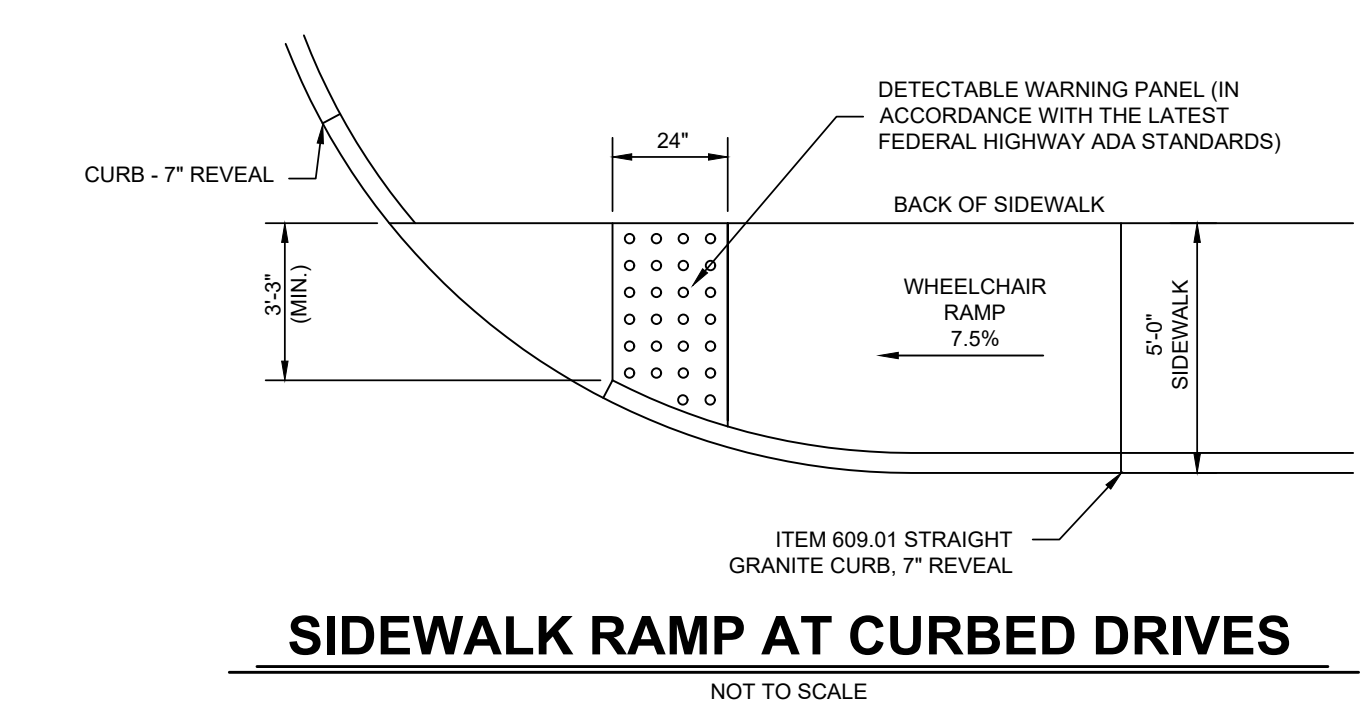
HANDICAP ACCESSIBLE CURB RAMP DETAIL
NOT TO SCALE



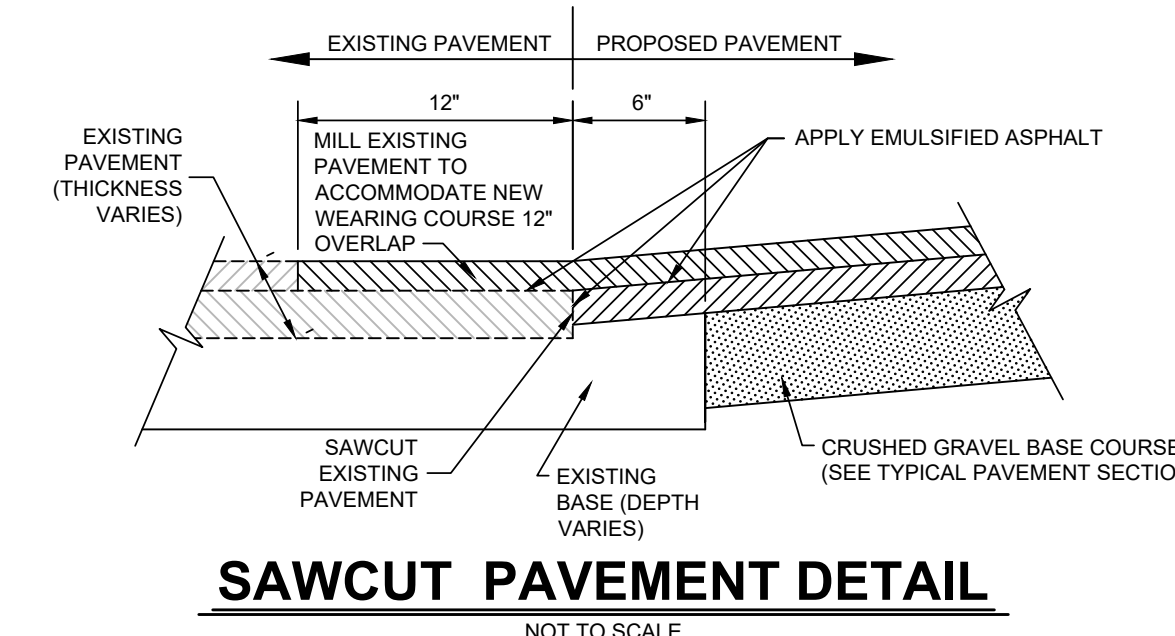
REINFORCED CONCRETE SIDEWALK DETAIL (PEDESTRIAN TRAFFIC ONLY)
NOT TO SCALE



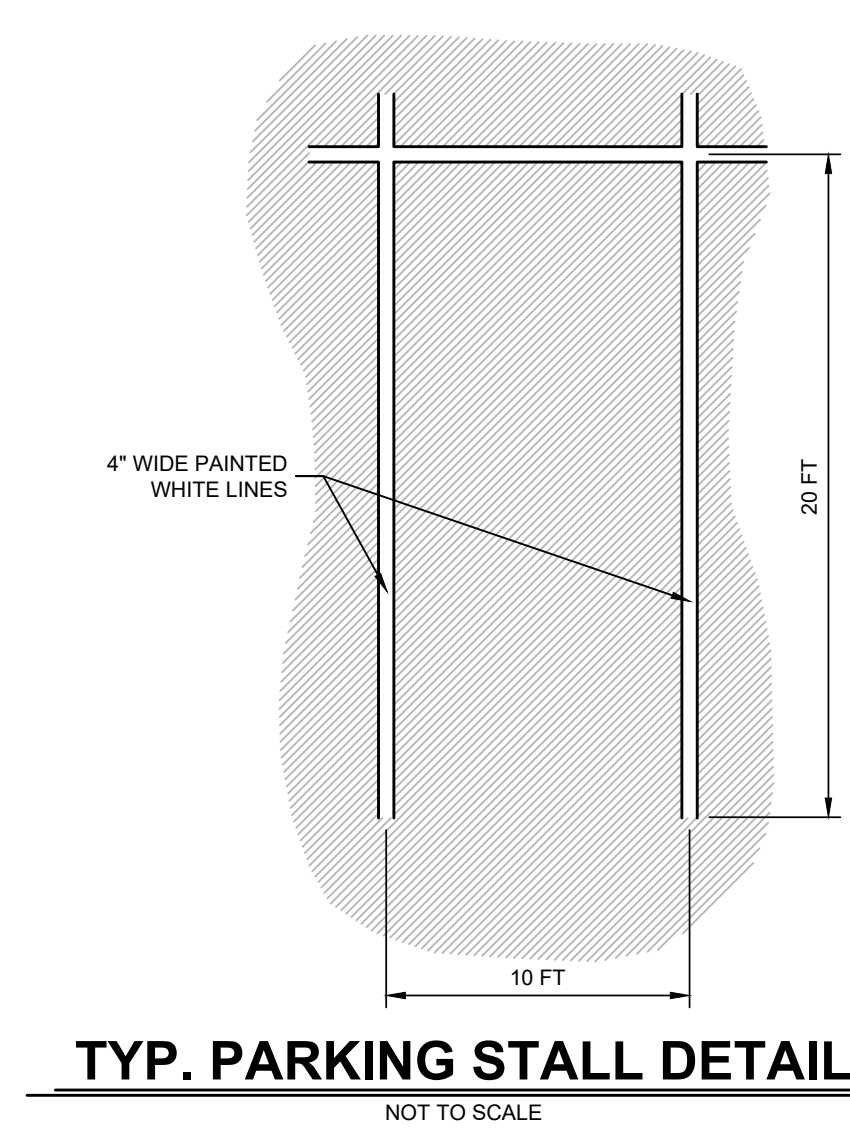
LOAM AND SEED DETAIL
NOT TO SCALE



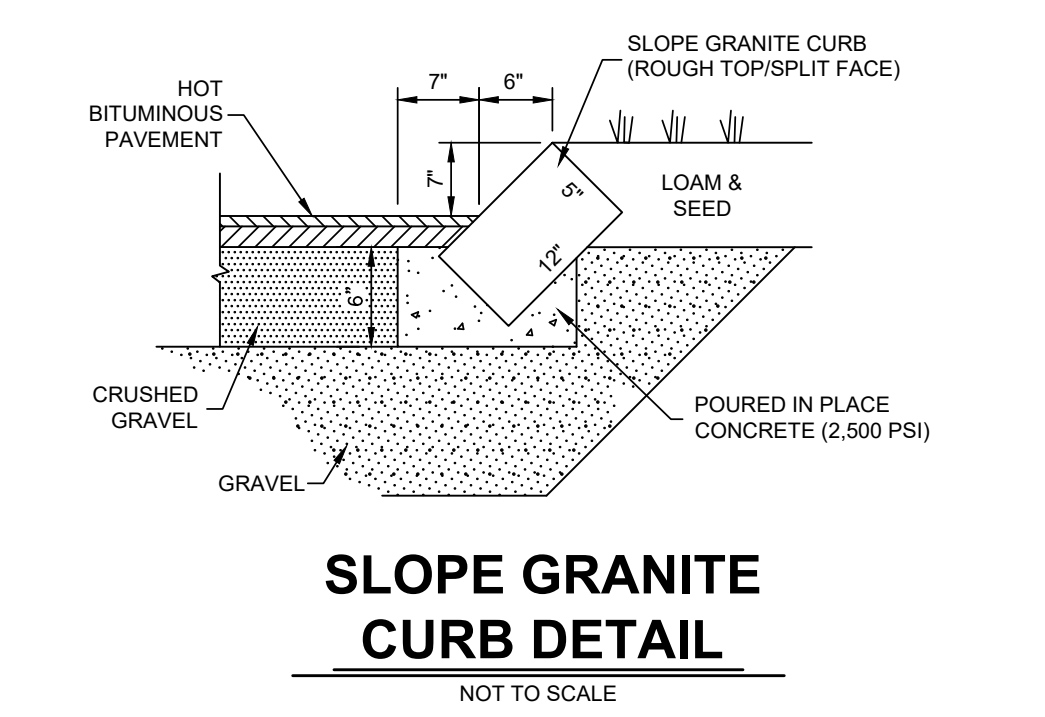
SIDEWALK RAMP AT CURBED DRIVES
NOT TO SCALE



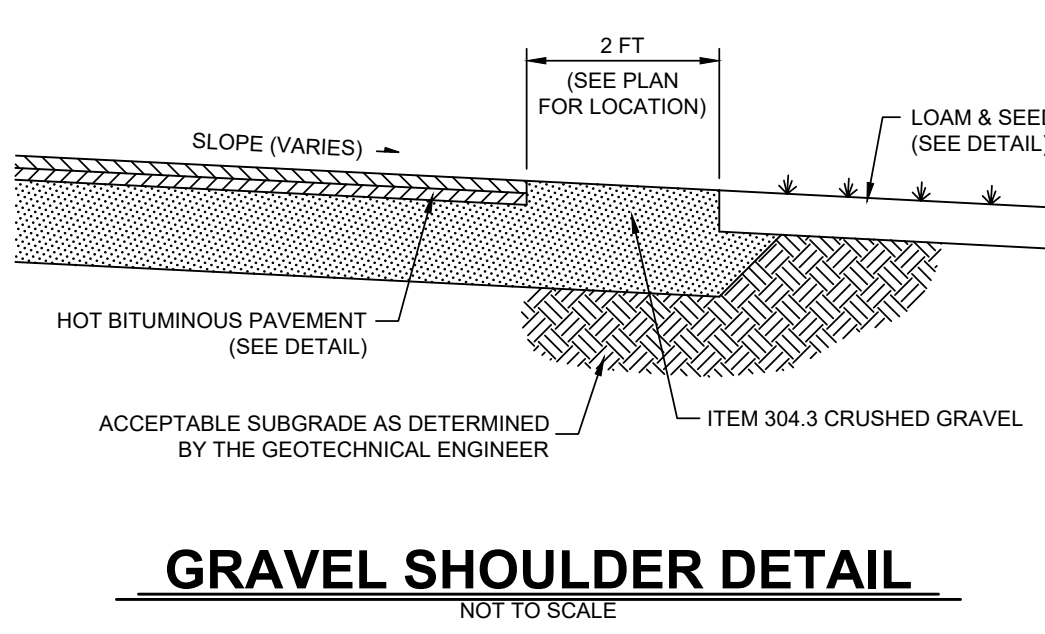
SAWCUT PAVEMENT DETAIL
NOT TO SCALE



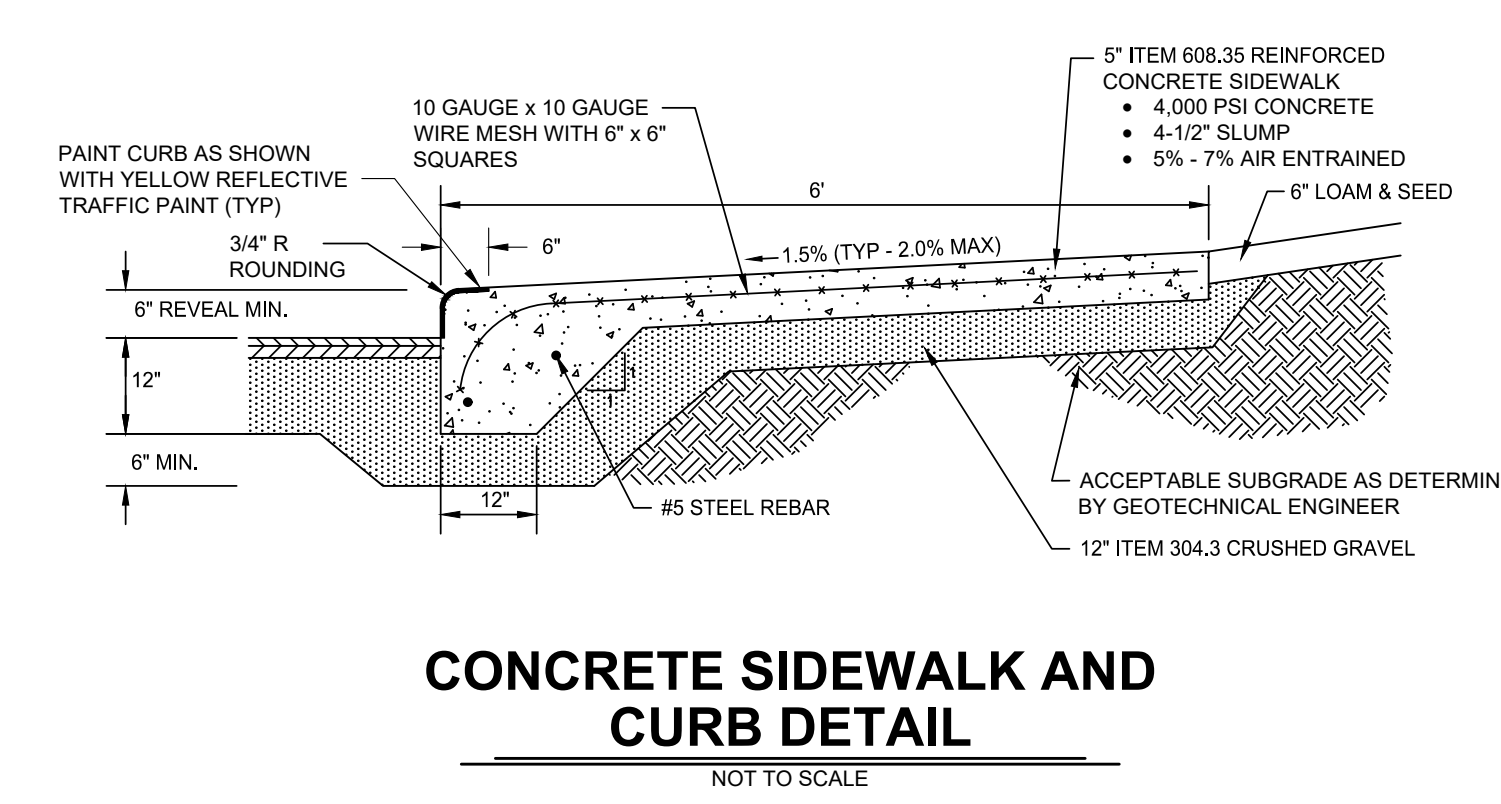
TYP. PARKING STALL DETAIL
NOT TO SCALE



SLOPE GRANITE CURB DETAIL
NOT TO SCALE



GRAVEL SHOULDER DETAIL
NOT TO SCALE

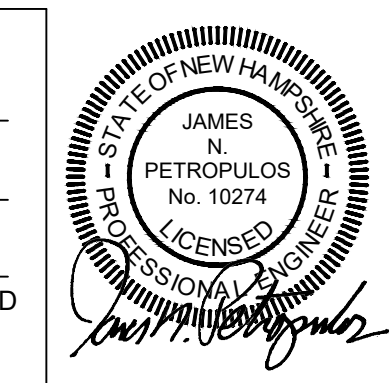


CONCRETE SIDEWALK AND CURB DETAIL
NOT TO SCALE

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DETAIL SHEET - GENERAL SITE (MAP 165, LOT 155)

PROPOSED DRIVE-THRU RESTAURANT

77 DERRY STREET
HUDSON, NEW HAMPSHIRE

PREPARED FOR/ RECORD OWNER:
HUDSON-VICKERRY, LLC
c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY, NH 03053 (603) 434-6700

SCALE AS SHOWN

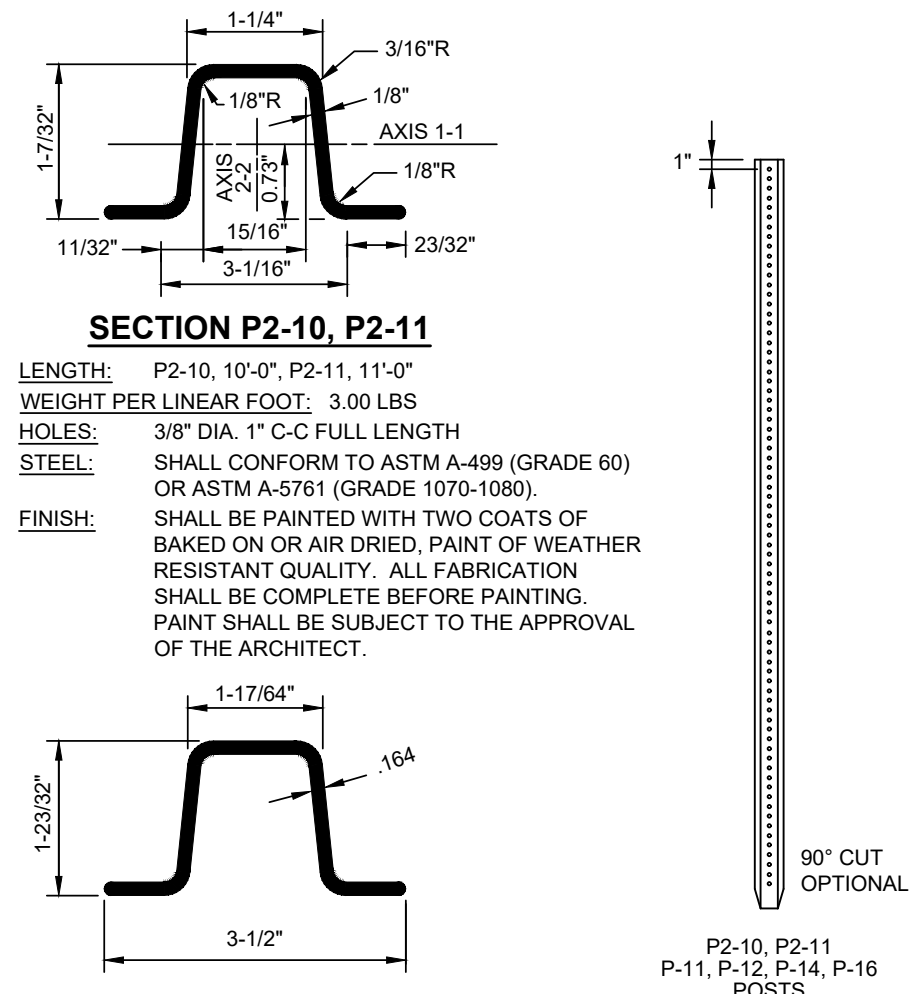
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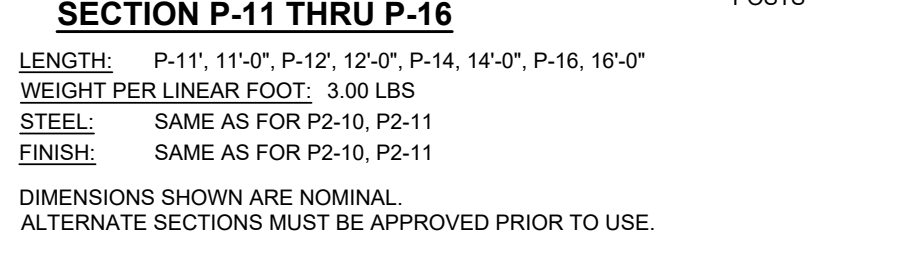
FIELD BOOK: 1161	DRAWING NAME: 1708SB-DET1	1708-SB	8 OF 16
DRAWING LOC.: J:\1000\1708\DWG\1708 SB		File Number	Sheet



ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE

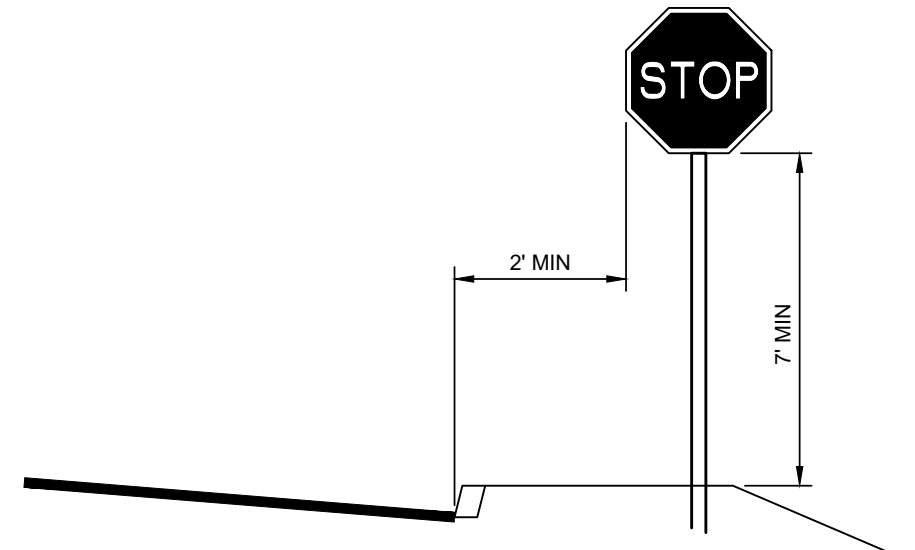


SECTION P2-10, P2-11
 LENGTH: P2-10, 10'-0"; P2-11, 11'-0"
 WEIGHT PER LINEAR FOOT: 3.00 LBS
 HOLES: 3/8" DIA. 1" C-C FULL LENGTH
 STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-5761 (GRADE 1070-1080).
 FINISH: SHALL BE PAINTED WITH TWO COATS OF BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING. PAINT SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT.

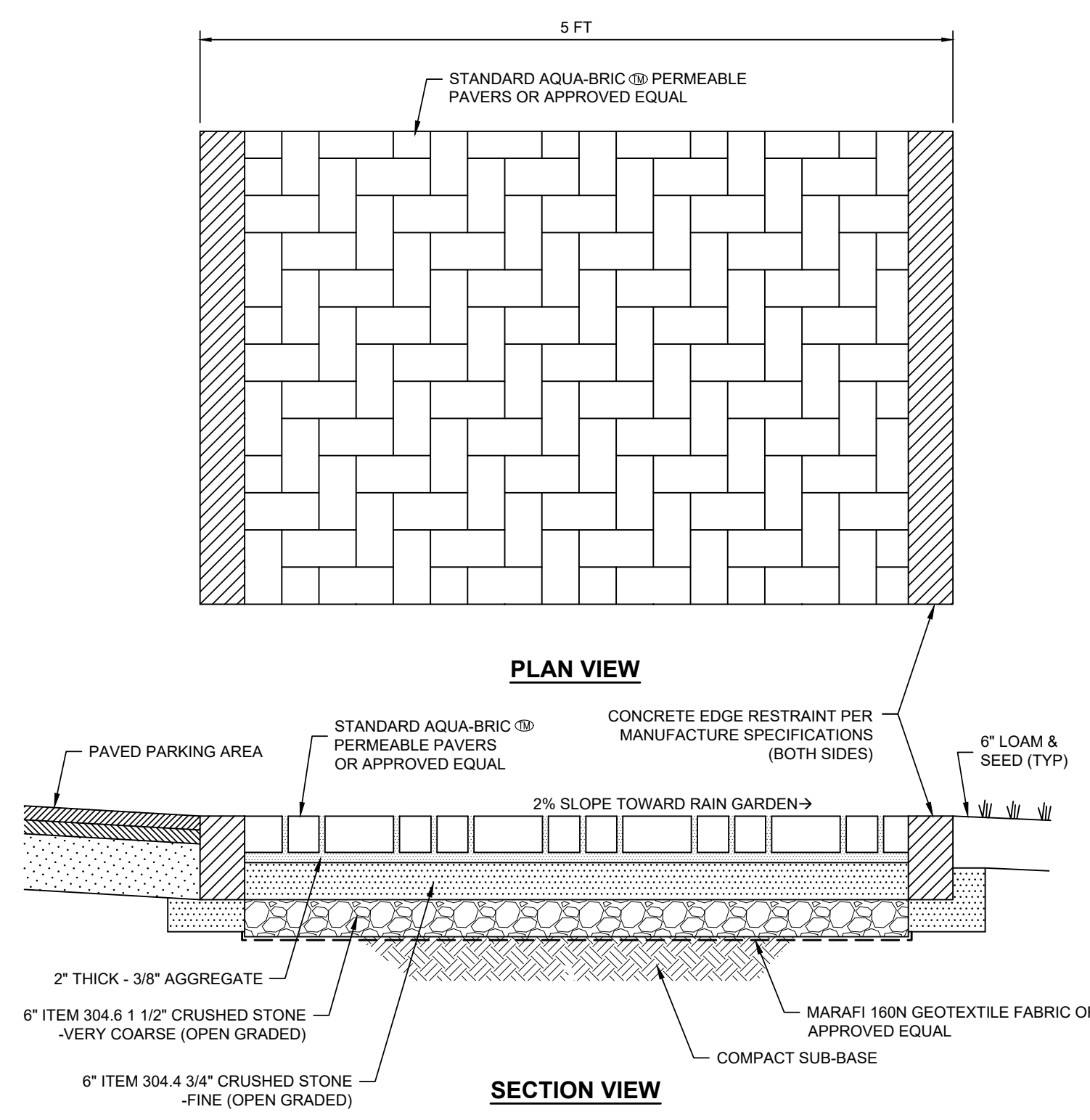


SECTION P-11 THRU P-16
 LENGTH: P-11, 11'-0"; P-12, 12'-0"; P-14, 14'-0"; P-16, 16'-0"
 WEIGHT PER LINEAR FOOT: 3.00 LBS
 STEEL: SAME AS FOR P2-10, P2-11
 FINISH: SAME AS FOR P2-10, P2-11
 DIMENSIONS SHOWN ARE NOMINAL.
 ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.

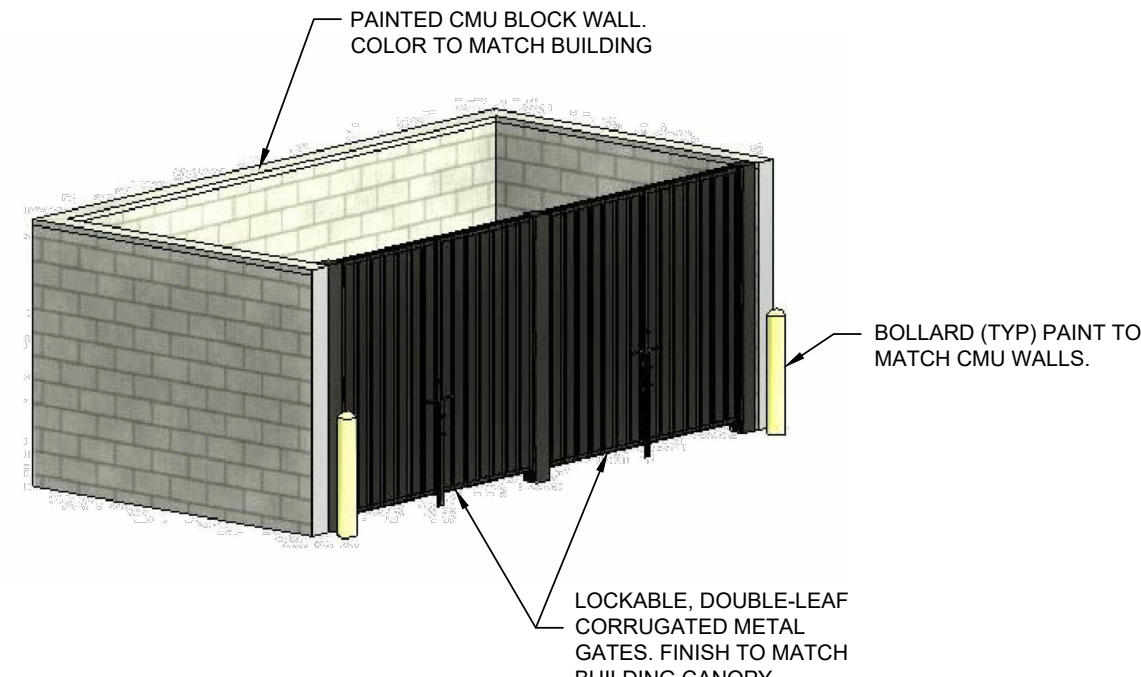
TRAFFIC SIGN SUPPORT DETAIL
NOT TO SCALE



STOP SIGN LOCATION DETAIL
NOT TO SCALE



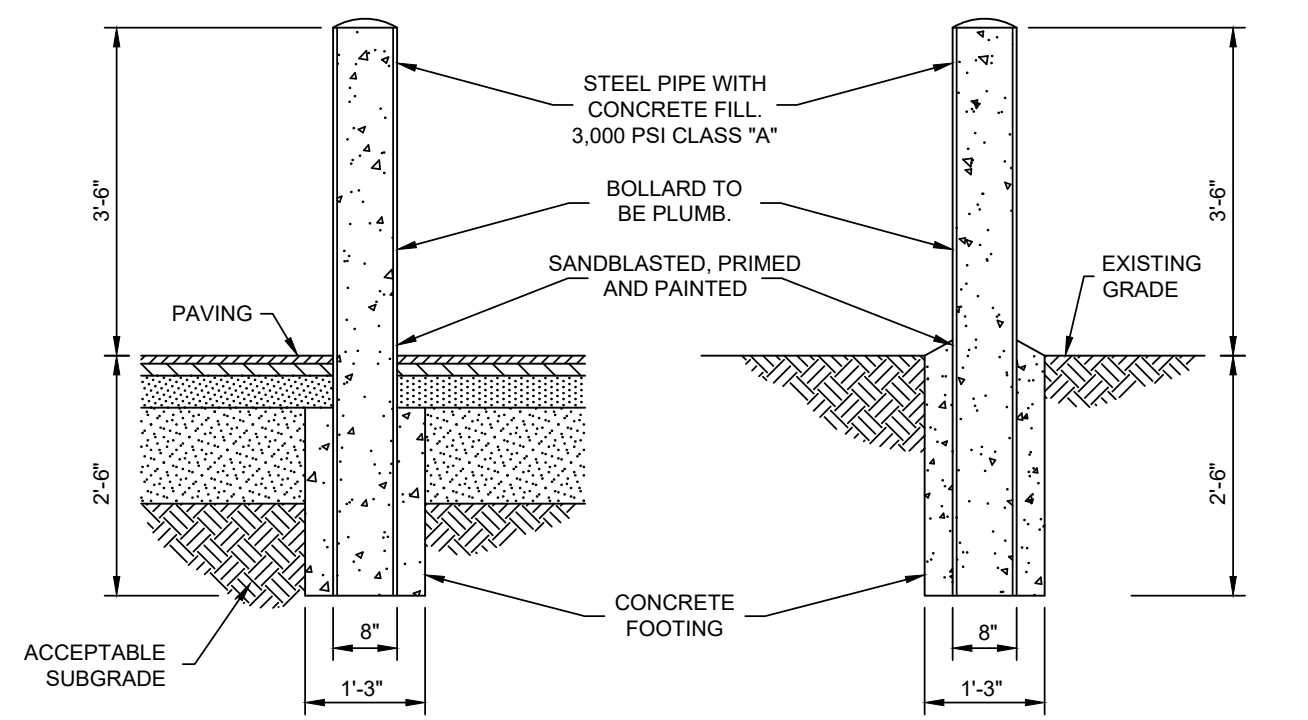
PERMEABLE PAVER WALK TYPICAL SECTION
NOT TO SCALE



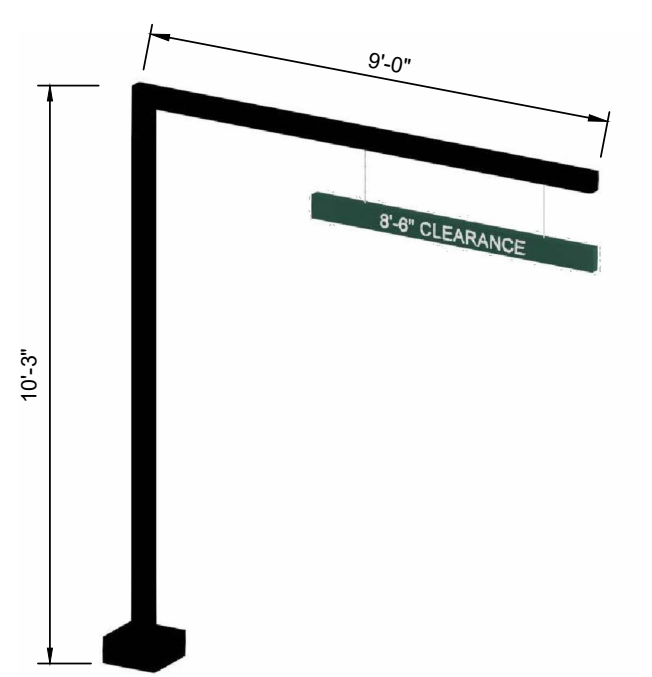
TRASH ENCLOSURE DETAIL
NOT TO SCALE



DRIVE THRU FREESTANDING ORDER SCREEN & CANOPY DETAIL
NOT TO SCALE

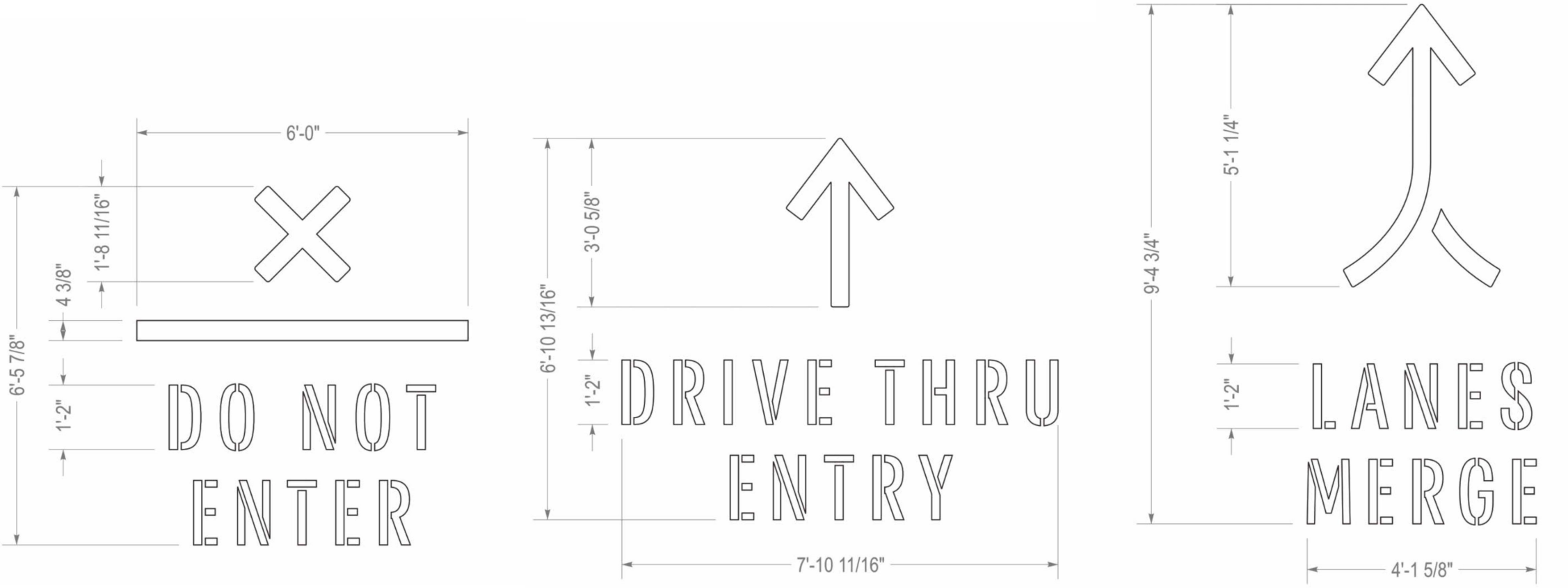


BOLLARD DETAIL
NOT TO SCALE



DRIVE THRU FREESTANDING CLEARANCE BAR DETAIL
NOT TO SCALE

SIGN LEGEND		
TEXT	IDENTIFICATION NUMBER	SIZE WIDTH/HEIGHT
SEE MUTCD FOR TEXT DIMENSIONS		
REFERENCE		
	R1-1	30"/30"
SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS		
	R5-1	30"/30"
SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS		
	R7-8	12"/18"
SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS		



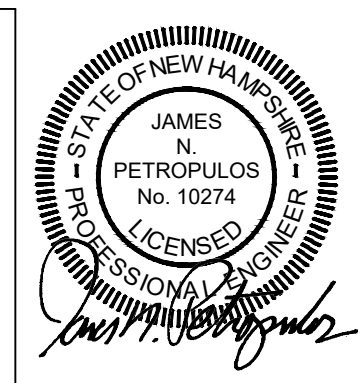
PAVEMENT MARKING DETAILS
NOT TO SCALE

NOTE:
ALL PAVEMENT MARKINGS TO BE PAINTED WITH WHITE REFLECTIVE TRAFFIC PAINT

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DETAIL SHEET - GENERAL SITE
(MAP 165, LOT 155)

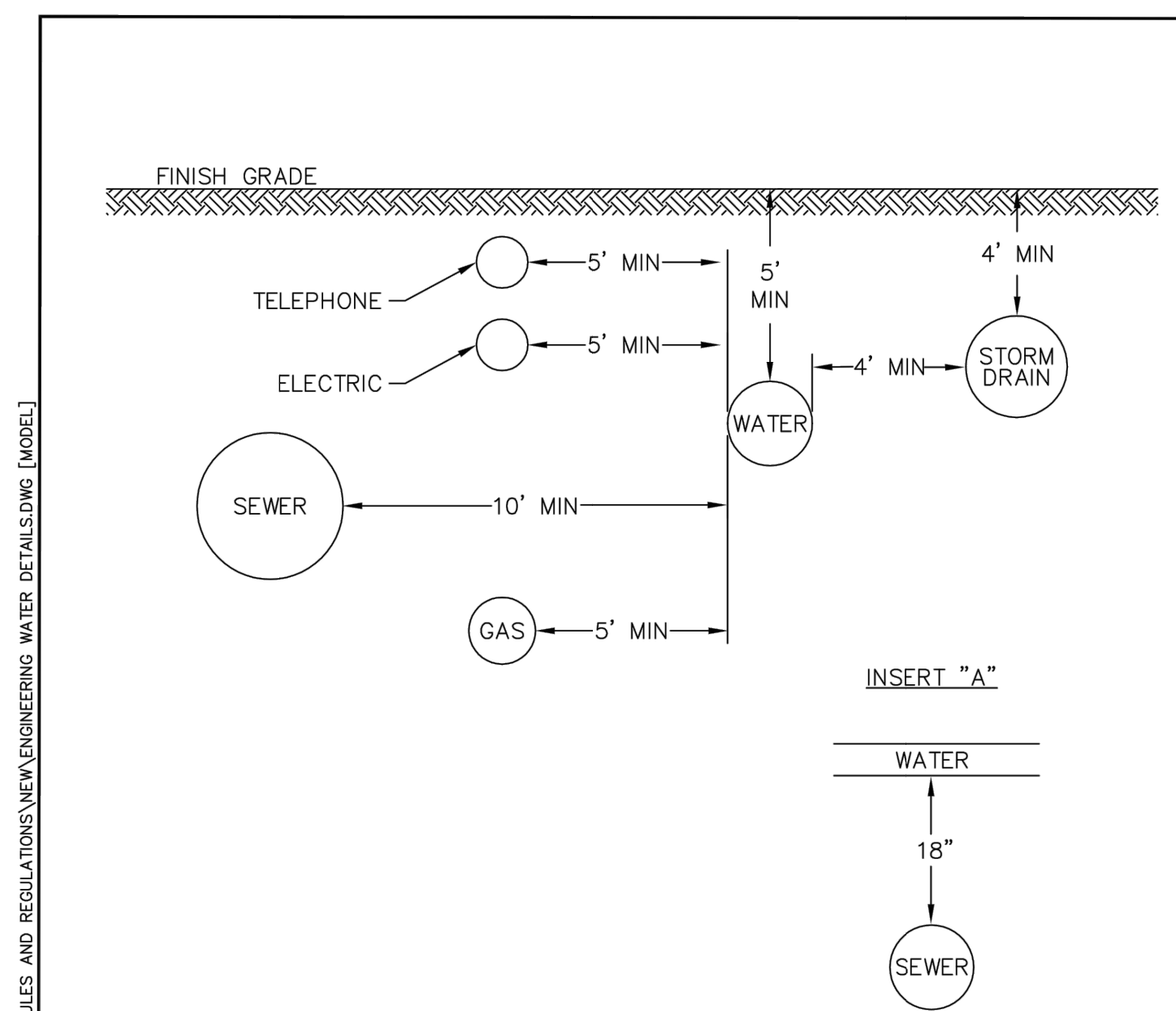
PROPOSED DRIVE-THRU RESTAURANT
 77 DERRY STREET
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/ RECORD OWNER:
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 c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY, NH 03053 (603) 434-6700

SCALE AS SHOWN

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NOTES:

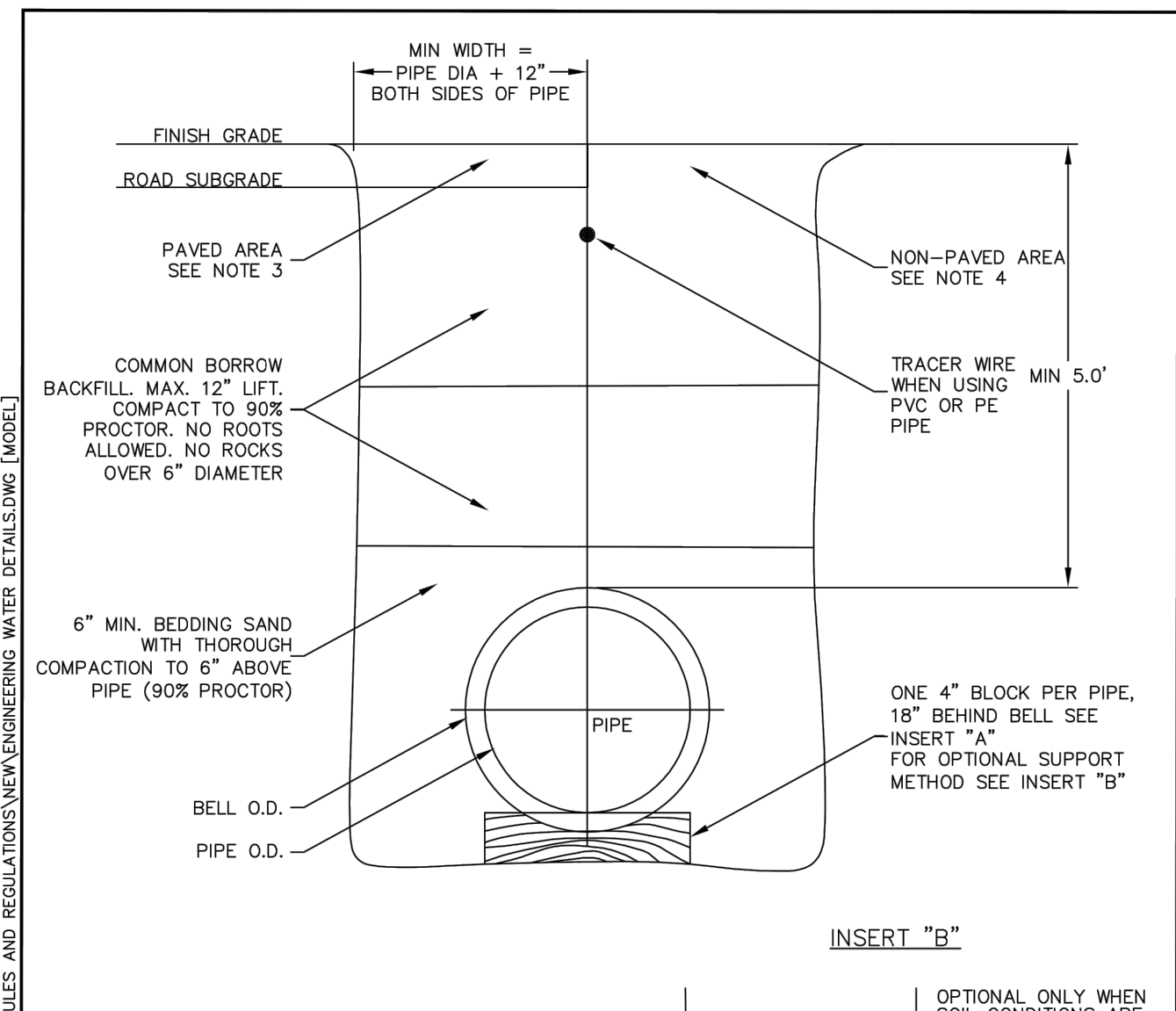
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
2. ALL WATER MAINS SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
3. SEE DETAIL A-2 FOR TRENCH DETAIL.
4. AT CROSSINGS WHERE 10' HORIZONTAL SEPARATION IS NOT POSSIBLE, 18" VERTICAL SEPARATION SHALL BE PROVIDED. SEE INSERT "A".

DRAWINGS COURTESY PENNICK WATER WORKS.

TOWN OF HUDSON
18 SCHOOL STREET
HUDSON, NH 03051

DETAIL W-1
WATER UTILITY SEPARATION
REV. 2019

SCALE: NTS



NOTES:

1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
3. REQUIREMENTS FOR SUBBASE AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH TOWN OF HUDSON STANDARDS. SEE DETAIL R-1.
4. REQUIREMENTS FOR GRAVEL, LOAM AND/OR SEED ARE TO BE IN ACCORDANCE WITH TOWN OF HUDSON STANDARDS. SEE DETAIL.

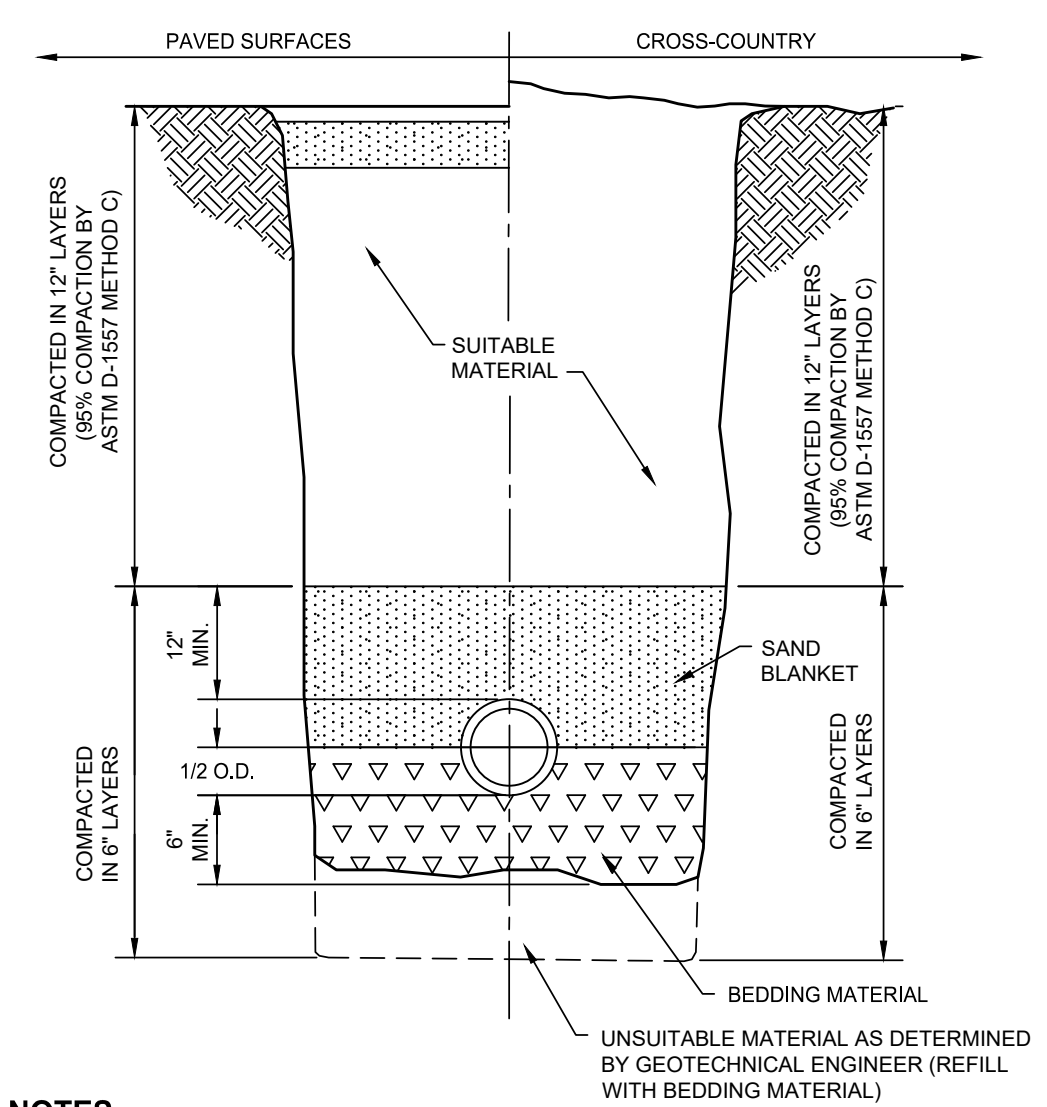
OPTIONAL ONLY WHEN SOIL CONDITIONS ARE EQUAL TO 6\"/>

DRAWINGS COURTESY PENNICK WATER WORKS.

TOWN OF HUDSON
18 SCHOOL STREET
HUDSON, NH 03051

DETAIL W-2
WATER TRENCH
REV. 2019

SCALE: NTS

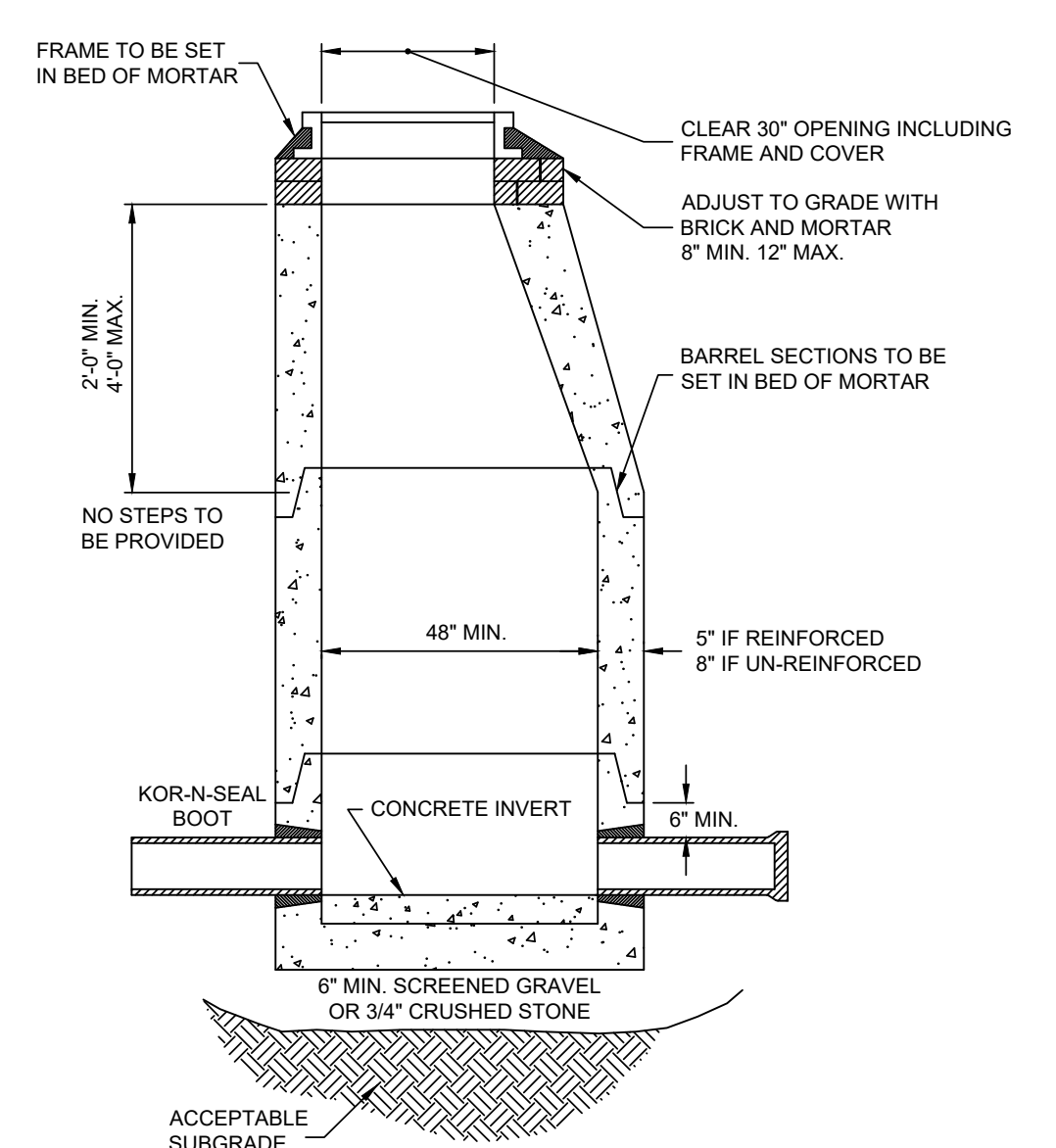


NOTES:

1. THE SEWER TRENCH SECTION SHALL CONFORM TO THE NHDES STANDARD TRENCH SECTION, AND TO THE ADDITIONAL REQUIREMENTS OF THIS TYPICAL SECTION.
2. IN GENERAL, DISTURBED CROSS-COUNTRY AREAS SHALL BE RESTORED TO THE SATISFACTION OF THE ENGINEER AND SHALL BE LOAMED AND SEED IN ACCORDANCE WITH THE DETAIL AND SHALL BE MAINTAINED UNTIL A VIABLE STAND OF GRASS HAS BEEN ESTABLISHED.
3. ROADWAYS, DRIVEWAYS, AND OTHER PAVED AREAS SHALL BE RECONSTRUCTED IN ACCORDANCE WITH THE PLANS. THE BINDER COURSE SHALL BE PLACED IMMEDIATELY AFTER CONSTRUCTION, AND ALLOWED TO STAND FOR FOUR MONTHS. A LEVELING COURSE SHALL BE APPLIED OVER THE TRENCH AFTER FOUR MONTHS AND THE ENTIRE ROAD OR PAVED AREA OVERLAYED TO THE LIMITS SHOWN ON THE PLANS.

TYPICAL SEWER TRENCH SECTION

NOT TO SCALE



SEWER MANHOLE DETAIL

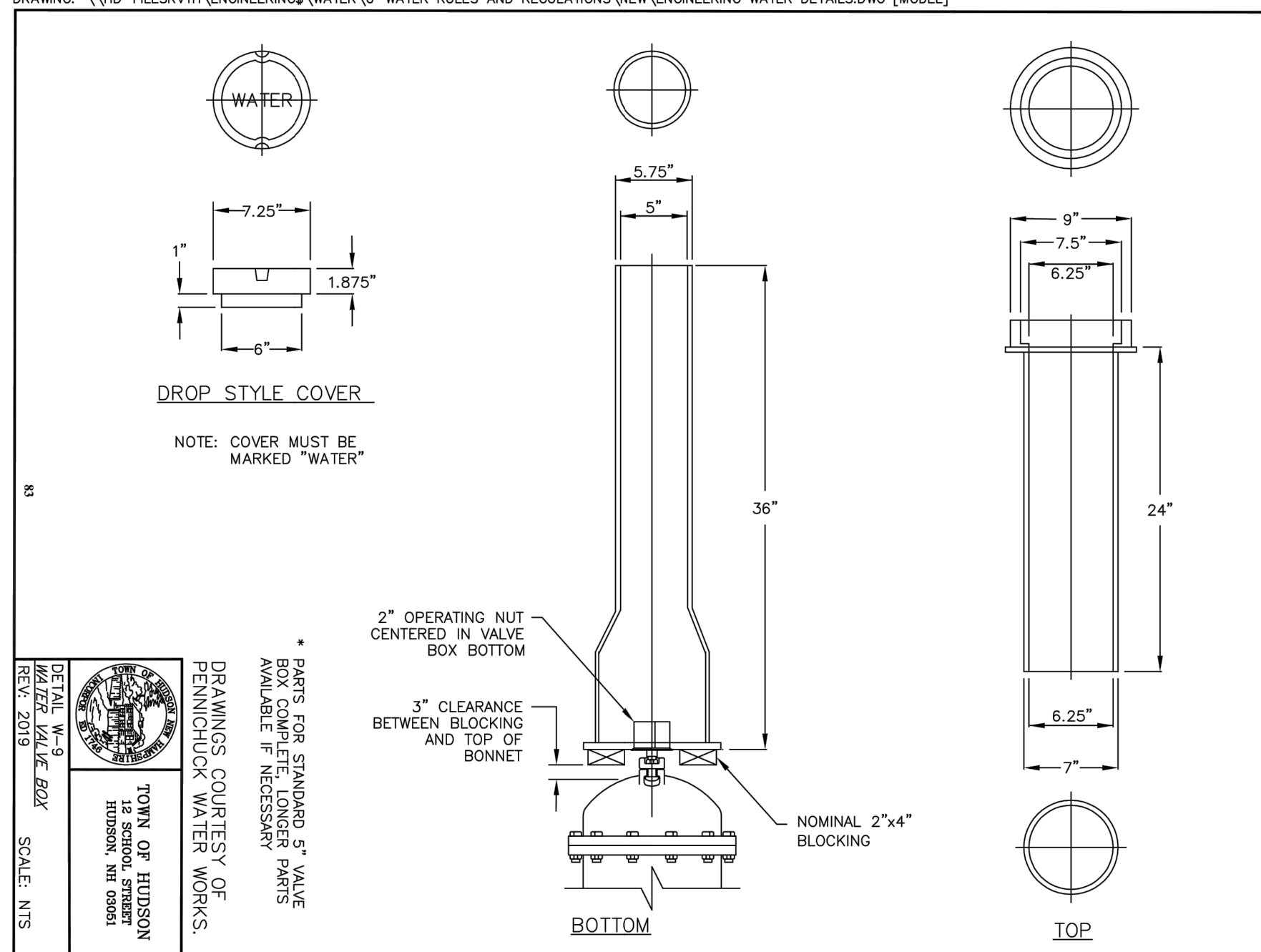
NOT TO SCALE

SEALED CLEANOUT CAP SHALL BE DESIGNED FOR H-20 LOADING

FINISH GRADE

DEPTH VARIES

4\"/>



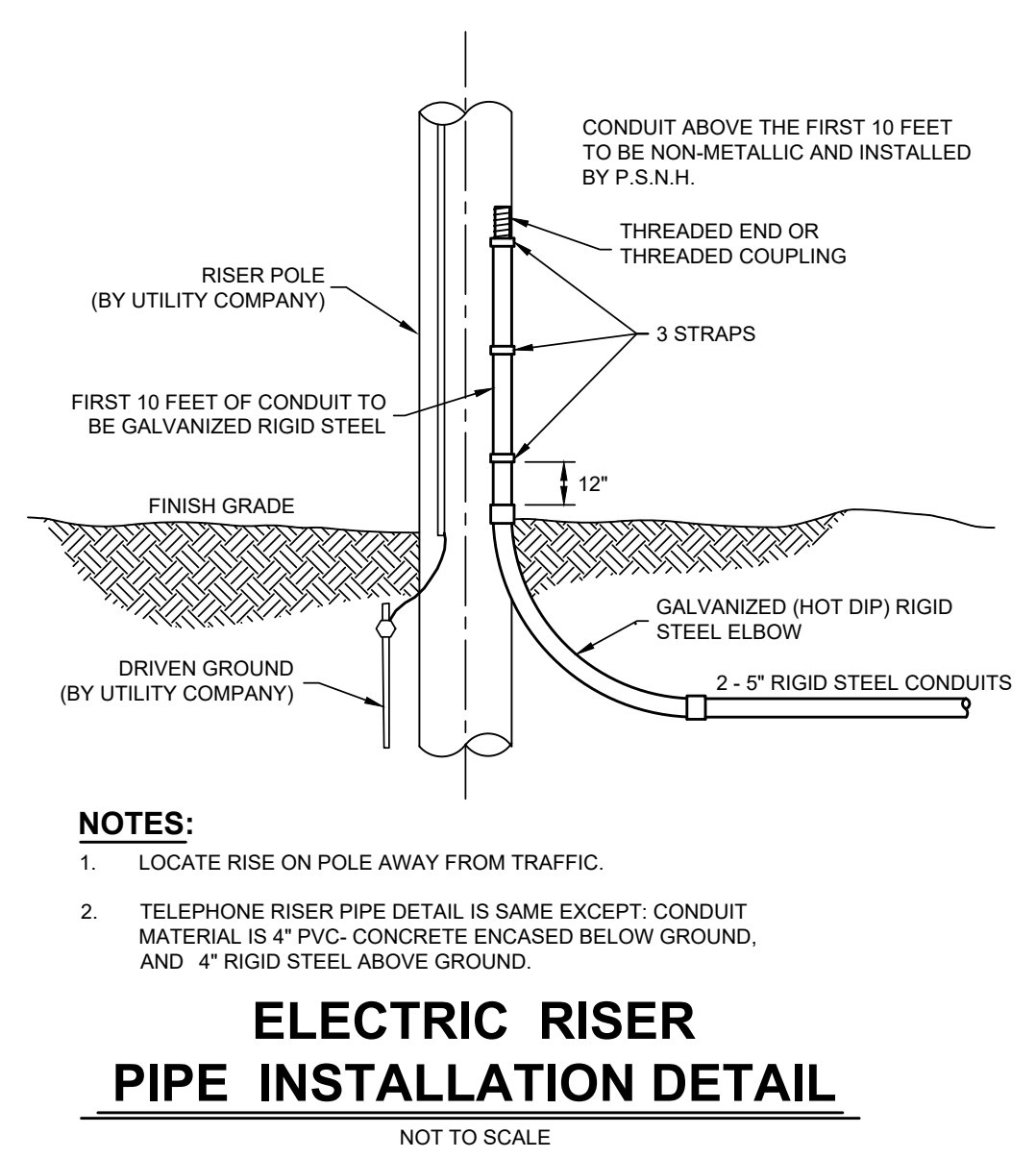
NOTE: COVER MUST BE MARKED "WATER"

DETAIL W-3
WATER VALVE BOX
REV. 2019

SCALE: NTS

DRAWINGS COURTESY OF PENNICK WATER WORKS.

* PARTS FOR STANDARD 5\"/>



NOTES:

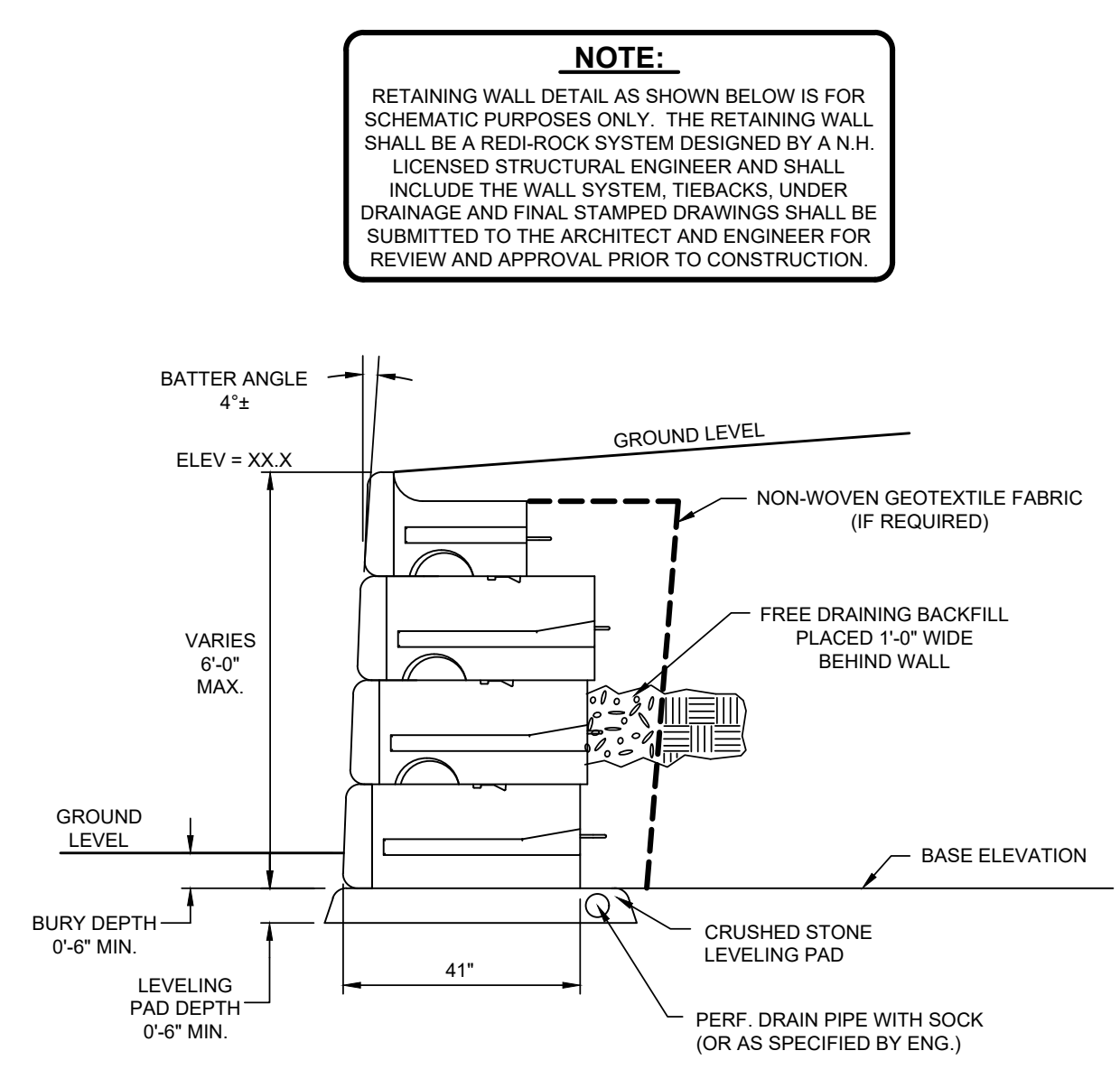
1. LOCATE RISE ON POLE AWAY FROM TRAFFIC.
2. TELEPHONE RISER PIPE DETAIL IS SAME EXCEPT: CONDUIT MATERIAL IS 4\"/>

ELECTRIC RISER PIPE INSTALLATION DETAIL

NOT TO SCALE

HEAVY DUTY LANDSCAPE EDGING

6\"/>

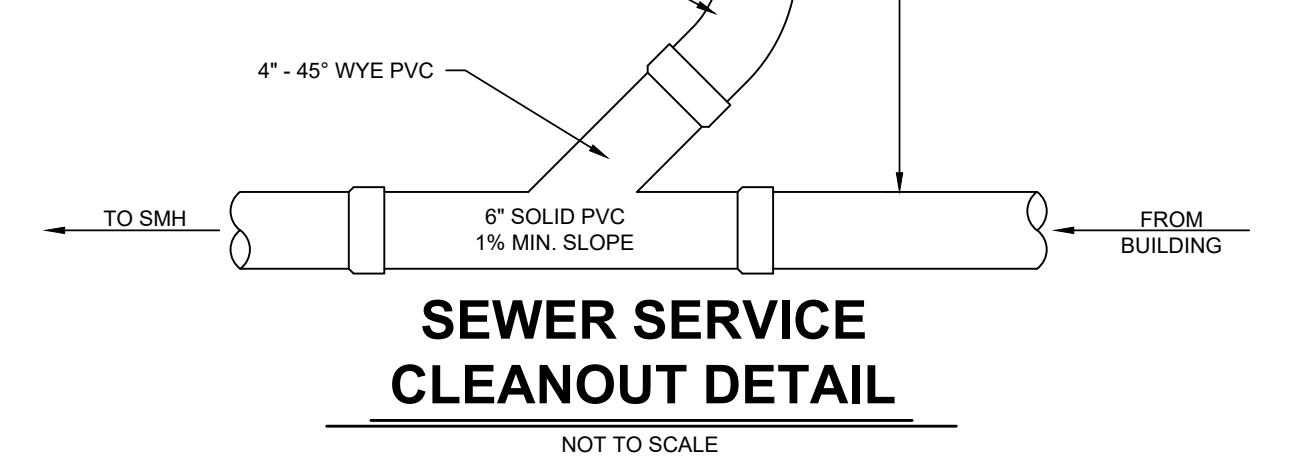


NOTE:

RETAINING WALL DETAIL AS SHOWN BELOW IS FOR SCHEMATIC PURPOSES ONLY. THE RETAINING WALL SHALL BE A REDI-ROCK SYSTEM DESIGNED BY A N.H. LICENSED STRUCTURAL ENGINEER AND SHALL INCLUDE THE WALL SYSTEM, TIEBACKS, UNDER DRAINAGE AND FINAL STAMPED DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

REDI ROCK RETAINING WALL DETAIL

NOT TO SCALE



SEWER SERVICE CLEANOUT DETAIL

NOT TO SCALE

REVIEW ONLY

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DETAIL SHEET - GENERAL SITE
(MAP 165, LOT 155)

PROPOSED DRIVE-THRU RESTAURANT

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c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY, NH 03053 (603) 434-6700

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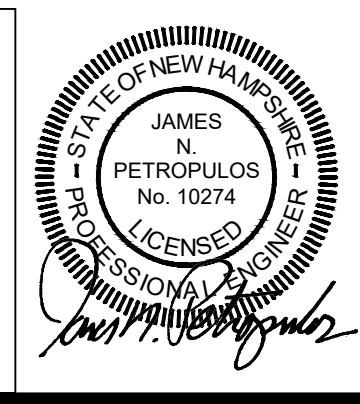
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CRUSHED STONE DRIP EDGE DETAIL

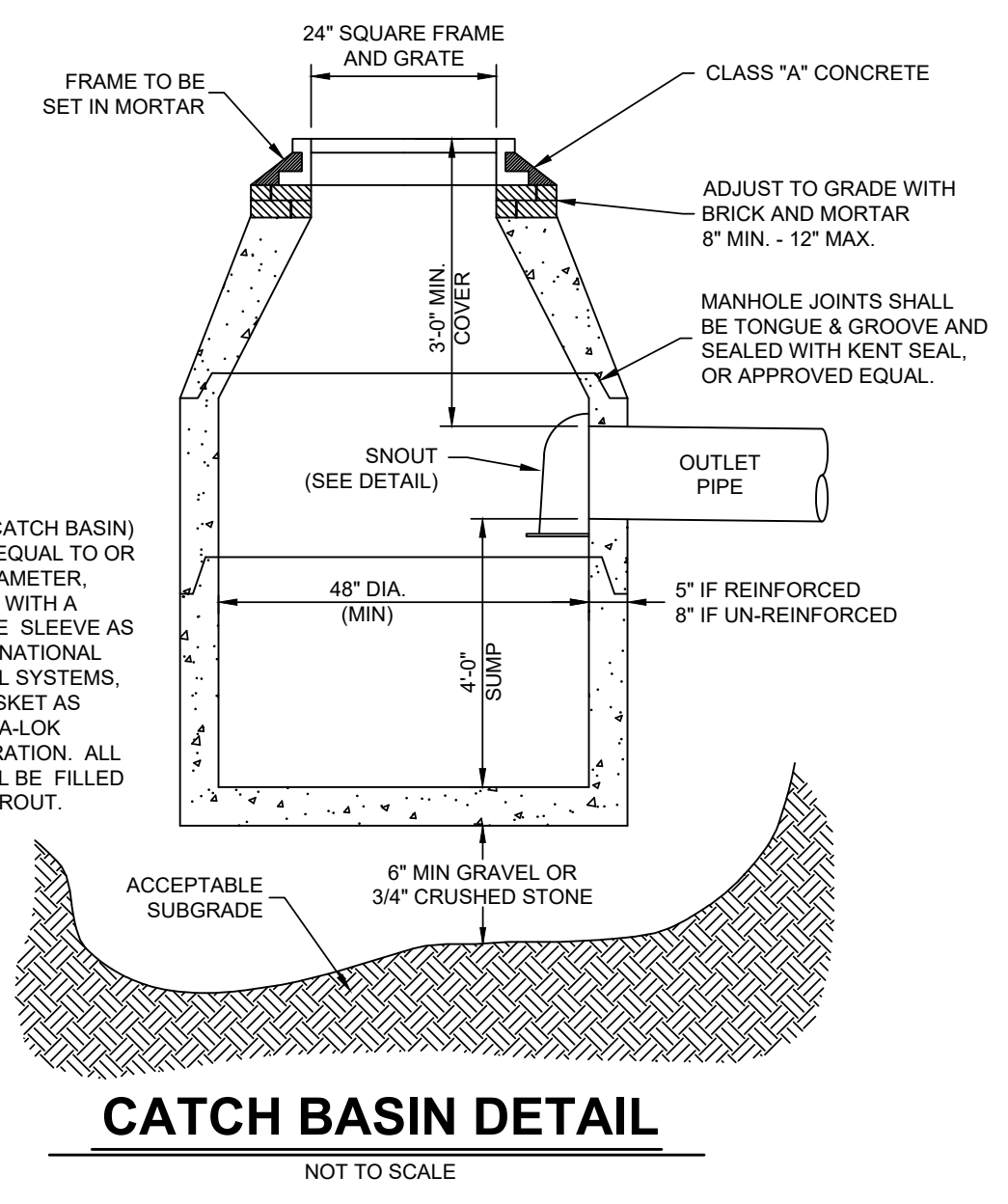
NOT TO SCALE

SCALE AS SHOWN

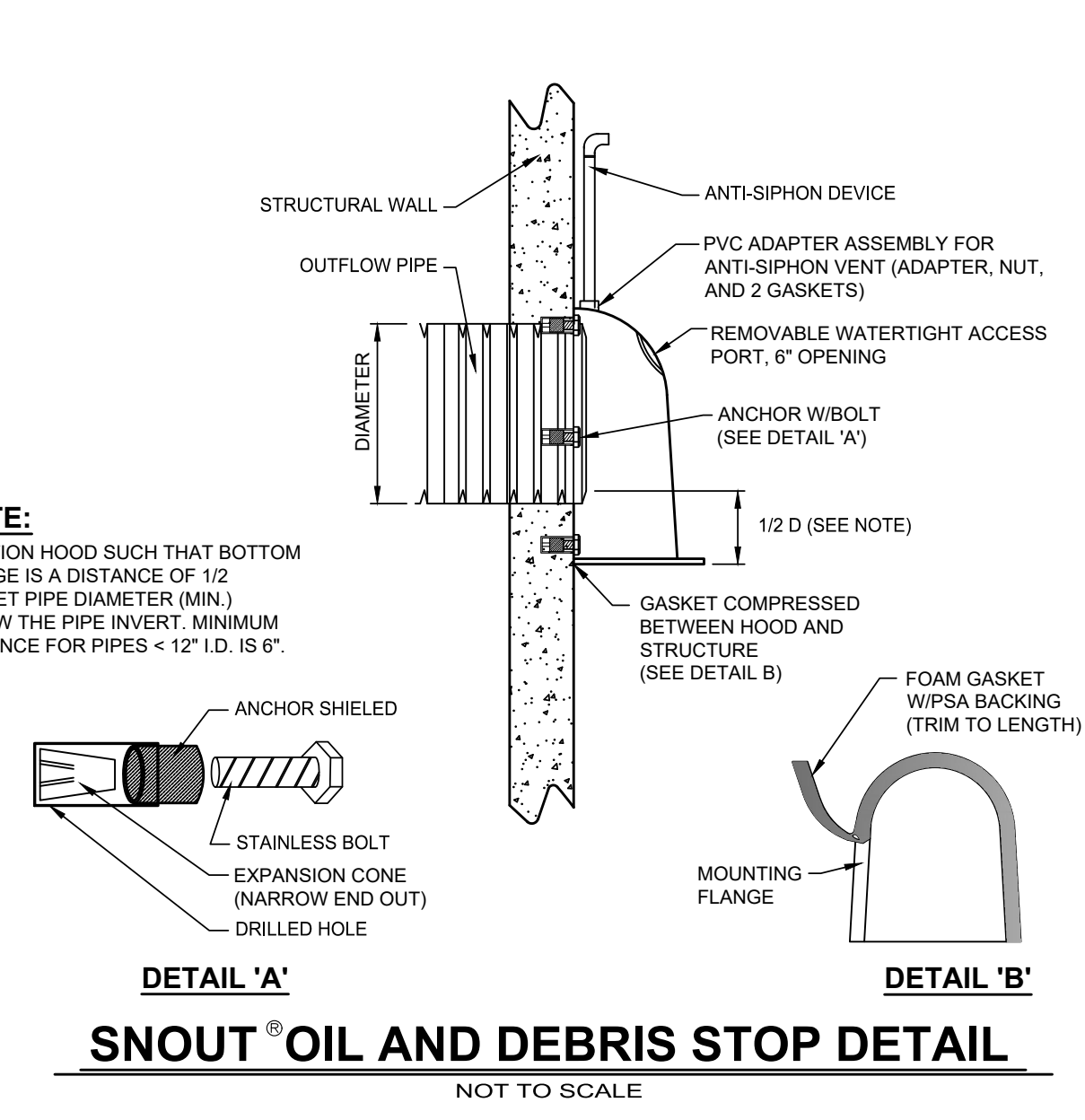
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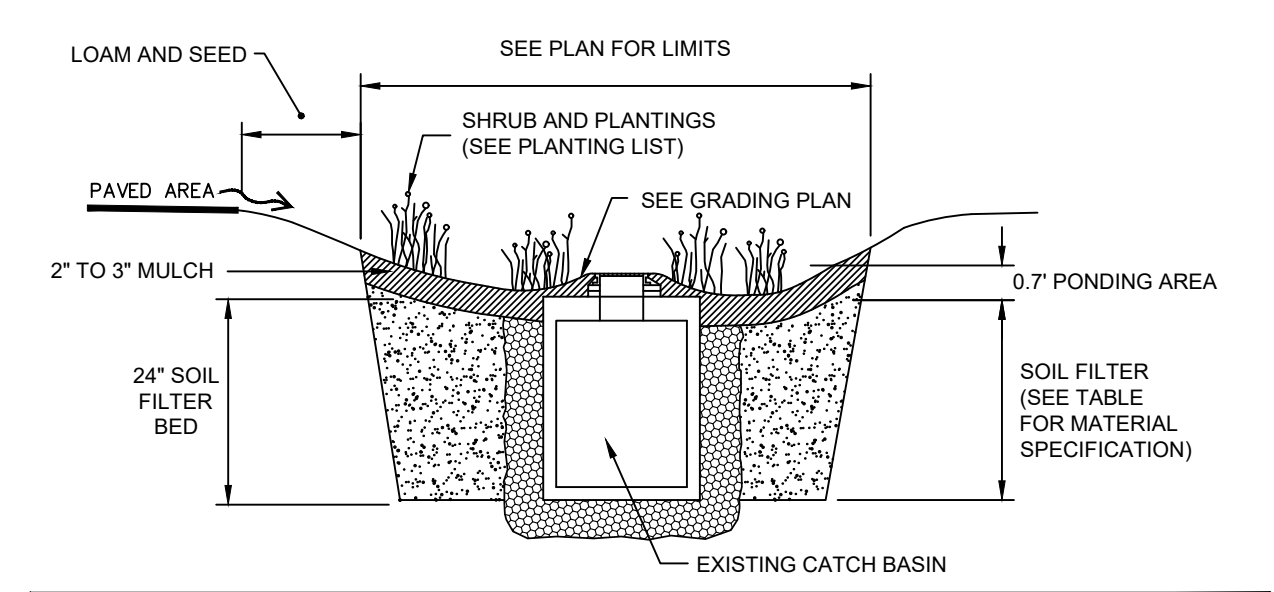
FIELD BOOK: 1161	DRAWING NAME: 1708SB-DET1	1708-SB	10 OF 16
DRAWING LOC: J:\1000\1708\DWG\1708 SB		File Number	Sheet



CATCH BASIN DETAIL
NOT TO SCALE



SNOUT OIL AND DEBRIS STOP DETAIL
NOT TO SCALE

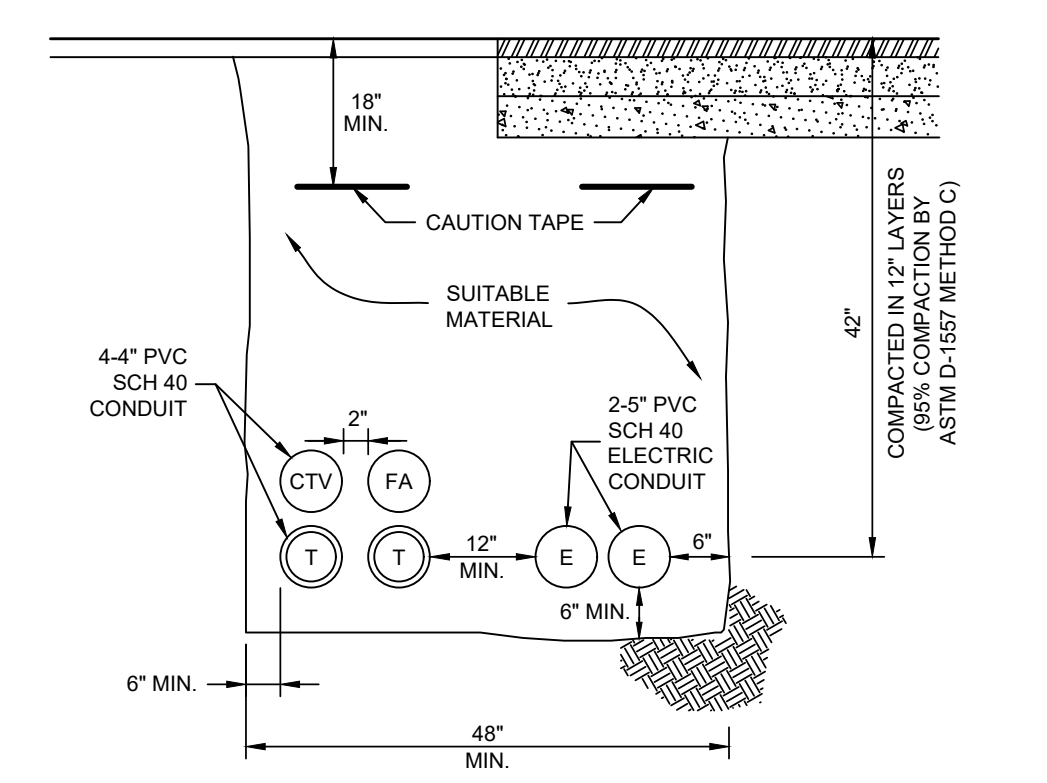


RAIN GARDEN MATERIAL TABLE FOR BIORETENTION FILTER MEDIA

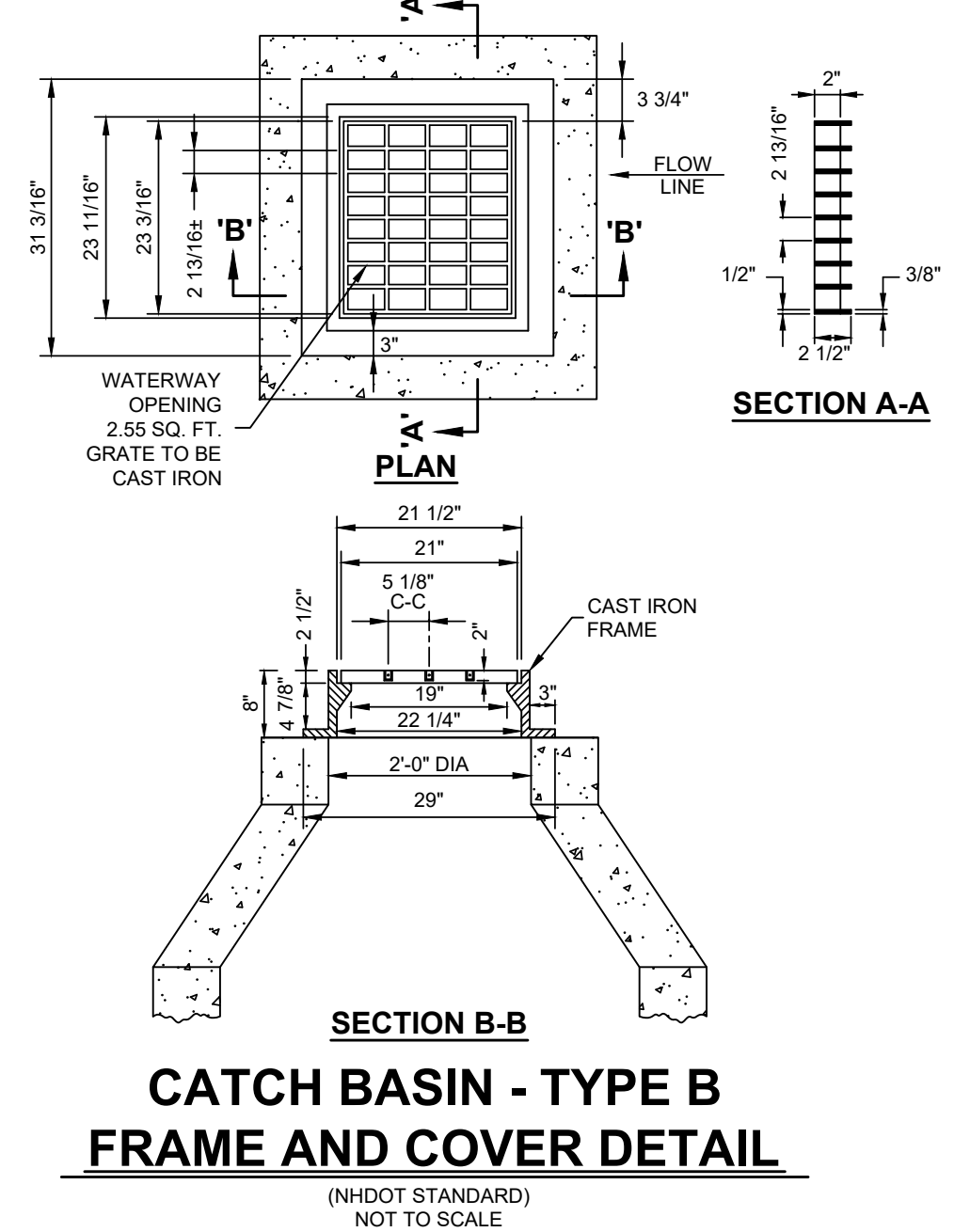
COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	
		SIEVE No.	PERCENT BY WEIGHT PASSING STANDARD SIEVE
FILTER MEDIA OPTION A			
ASTM C-33 CONCRETE SAND	50 TO 55		
LOAMY SAND TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	15 to 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5
FILTER MEDIA OPTION B			
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5
LOAMY COARSE SAND	70 TO 80	10	85 to 100
		20	70 to 100
		60	15 to 40
		200	8 to 15

- RAIN GARDEN NOTES:**
- DO NOT PLACE THE RAIN GARDENS INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
 - DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE RAIN GARDEN DURING ANY STAGE OF CONSTRUCTION.
 - DO NOT EXPOSE SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
 - IF FINE MATERIAL THAT WOULD PERCH THE WATER TABLE IS ENCOUNTERED DURING THE CONSTRUCTION OF RAIN GARDEN, THE UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH COARSE GRAVEL (NHDOT ITEM No. 304.2).

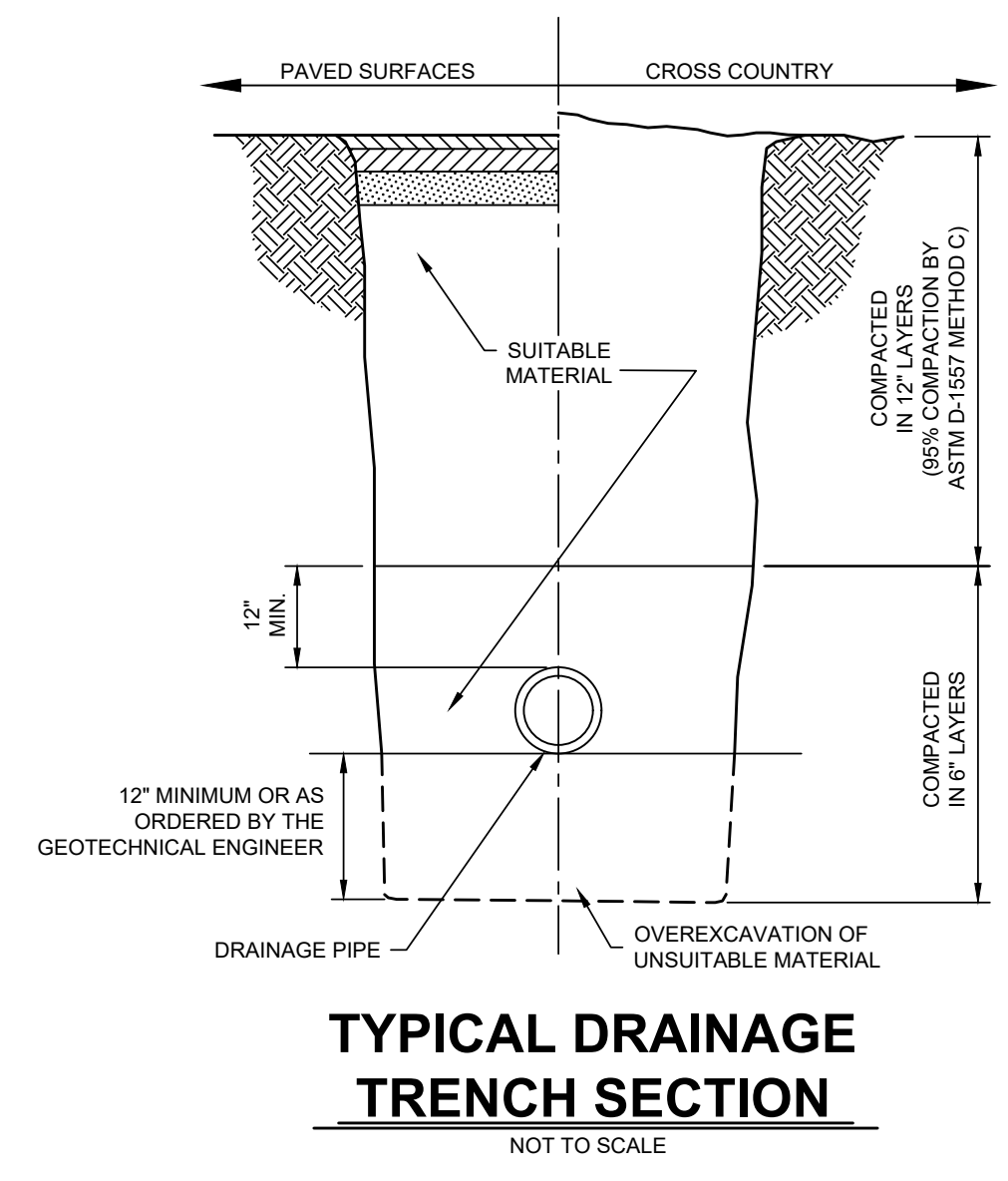
TYPICAL SECTION-RAIN GARDEN
NOT TO SCALE



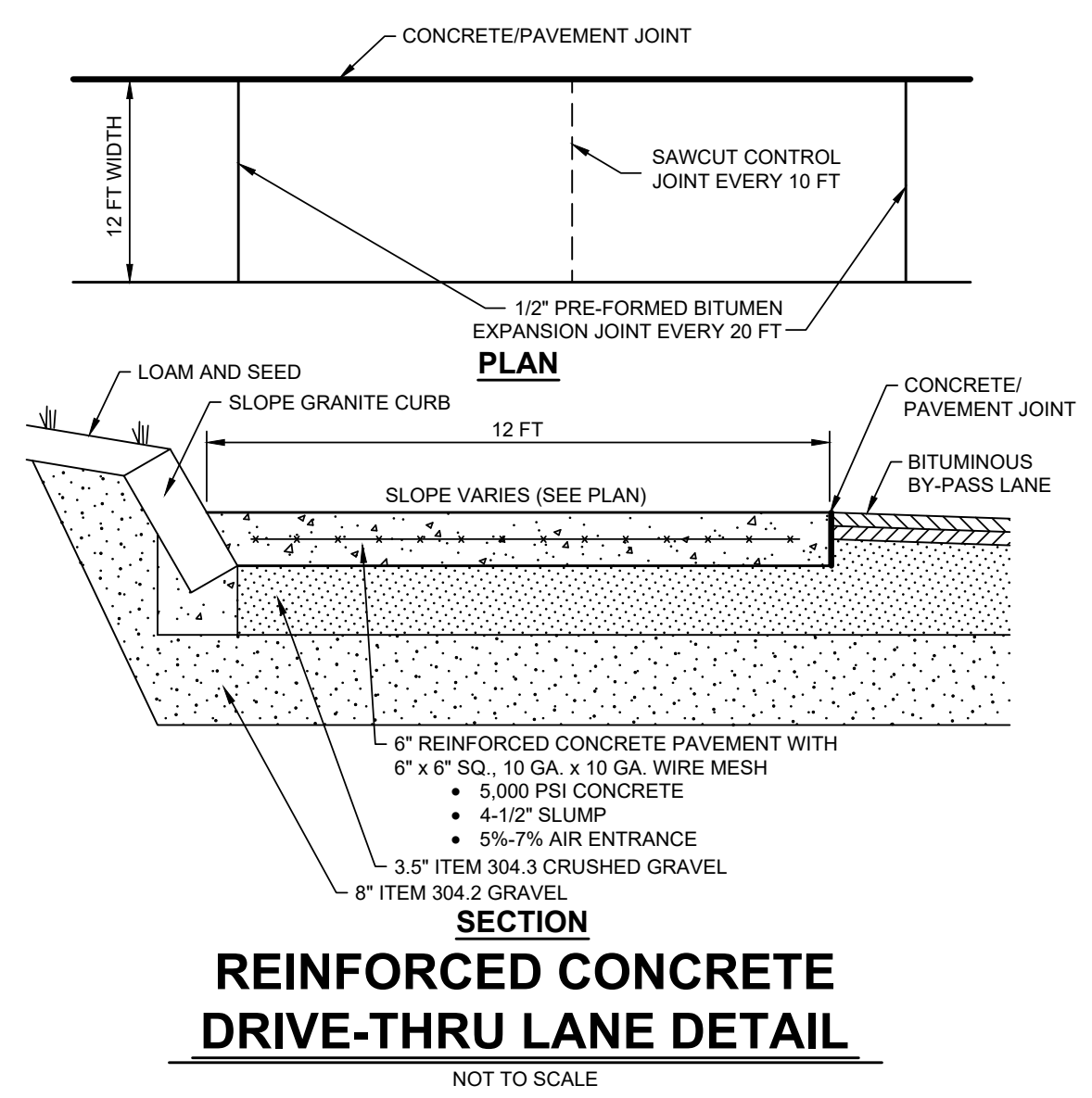
TYPICAL UTILITY TRENCH
NOT TO SCALE



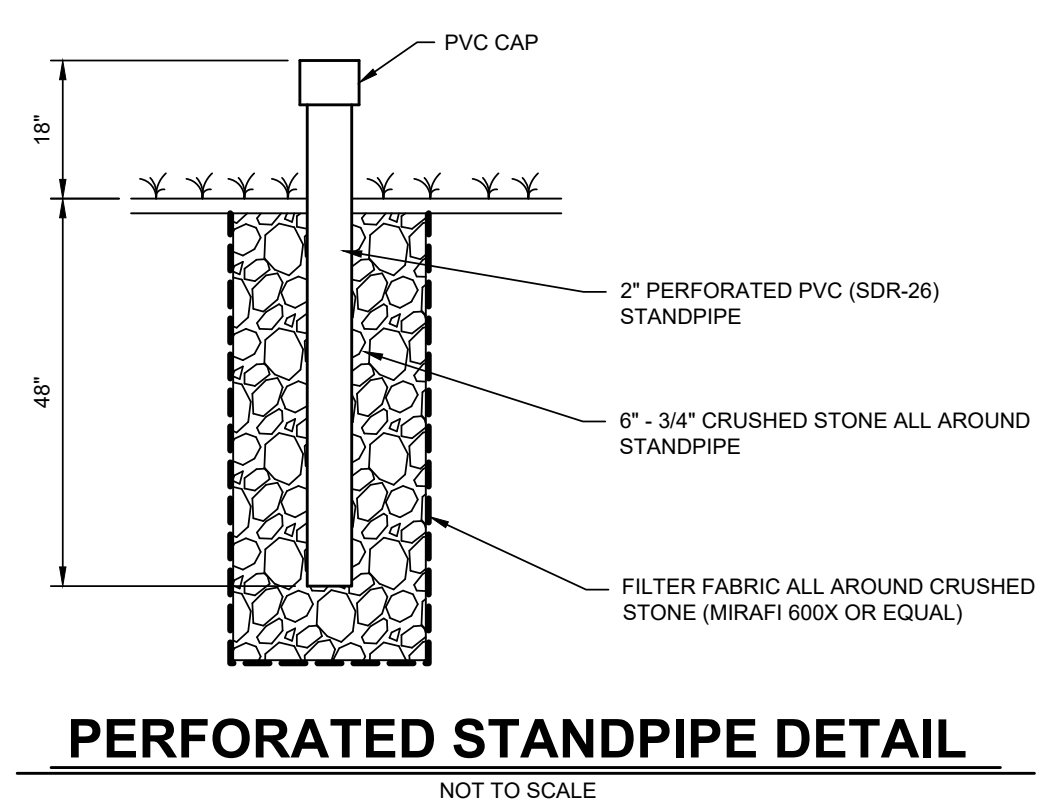
CATCH BASIN - TYPE B FRAME AND COVER DETAIL
(NHDOT STANDARD)
NOT TO SCALE



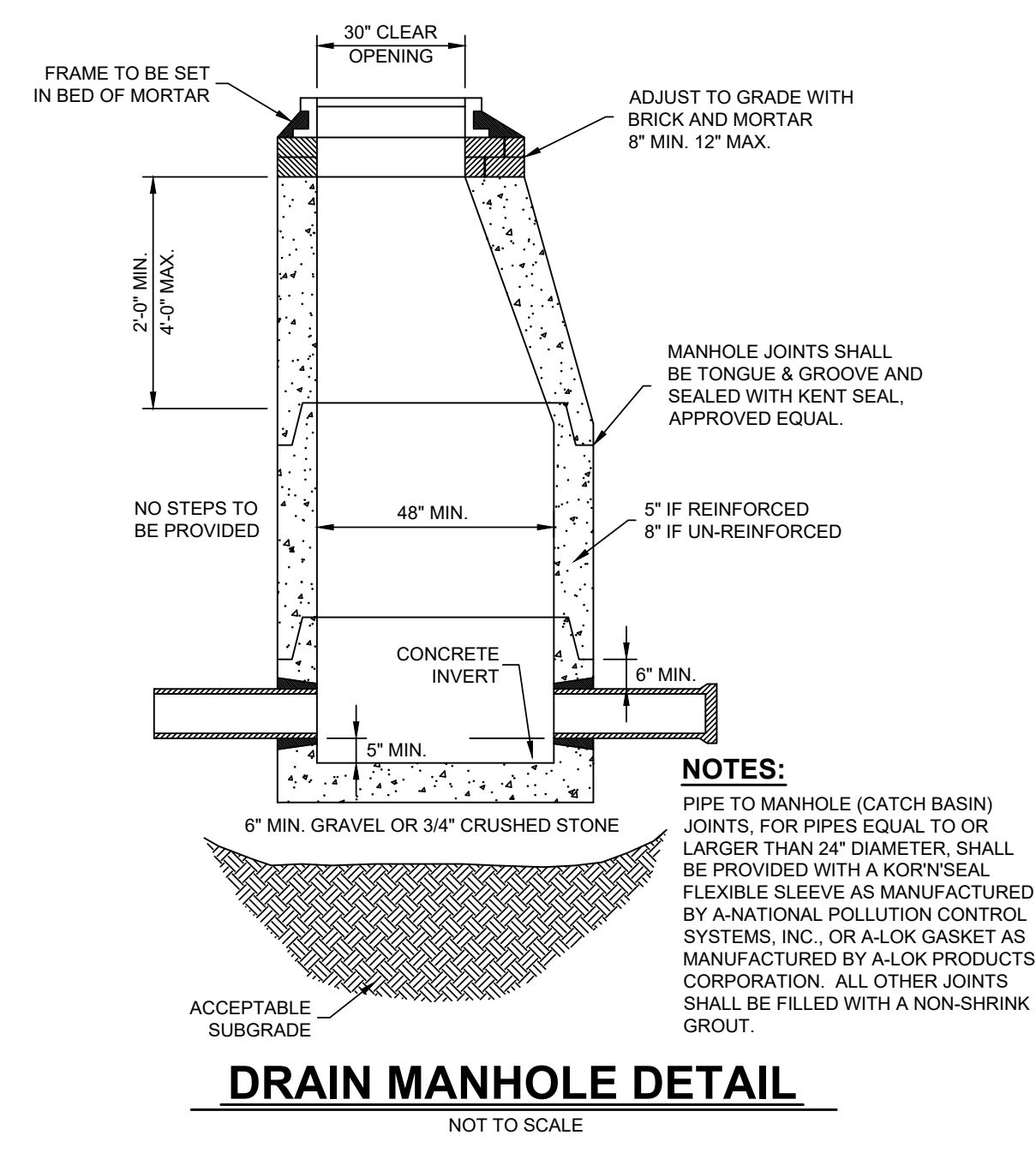
TYPICAL DRAINAGE TRENCH SECTION
NOT TO SCALE



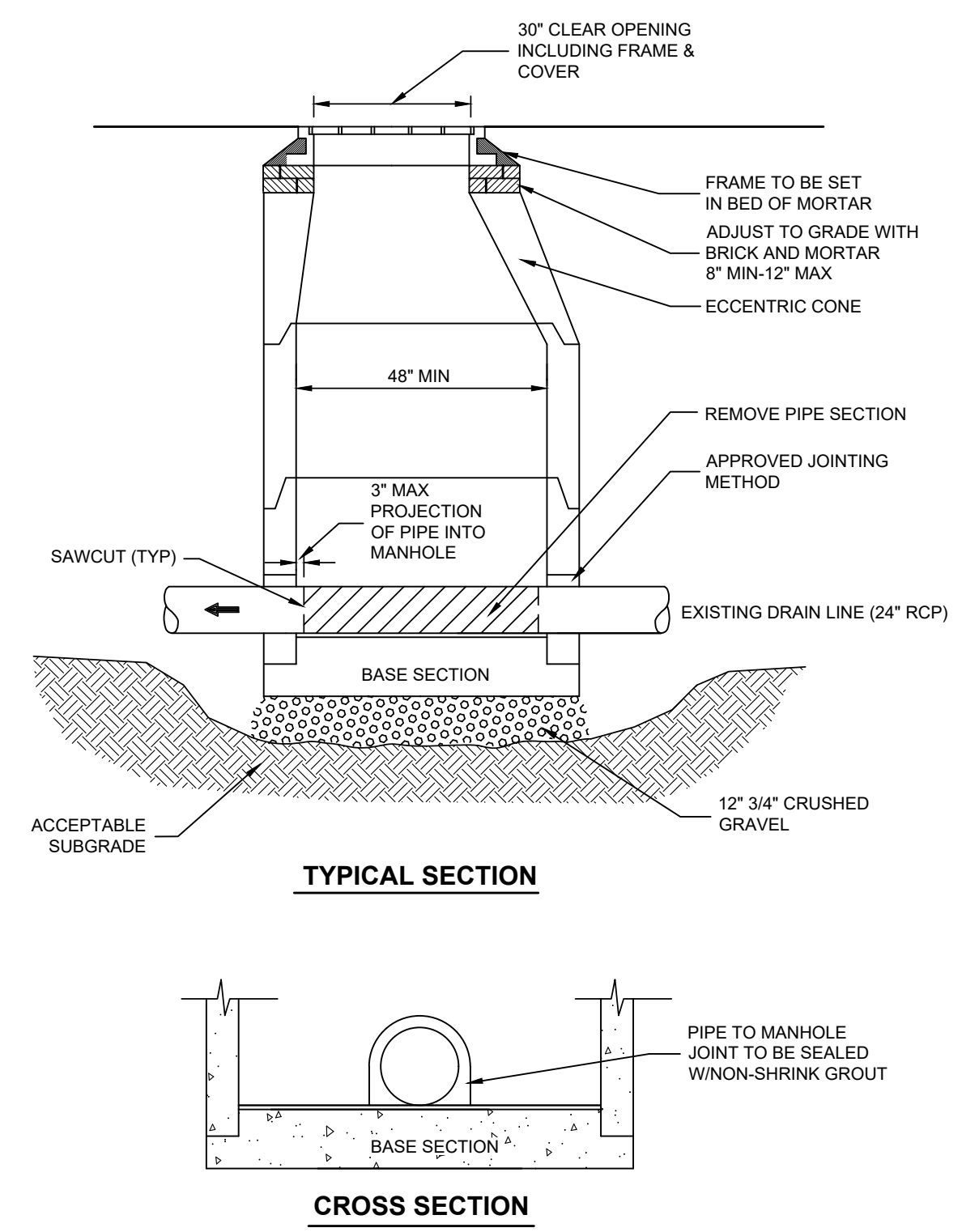
REINFORCED CONCRETE DRIVE-THRU LANE DETAIL
NOT TO SCALE



PERFORATED STANDPIPE DETAIL
NOT TO SCALE



DRAIN MANHOLE DETAIL
NOT TO SCALE



DROP-OVER DRAIN MANHOLE
NOT TO SCALE

REVIEW ONLY

1	05/22/24	ADDRESS TOWN COMMENTS	EDB
No.		DATE	REVISION
BY			

DETAIL SHEET - GENERAL SITE
(MAP 165, LOT 155)

PROPOSED DRIVE-THRU RESTAURANT

77 DERRY STREET
HUDSON, NEW HAMPSHIRE

PREPARED FOR/ RECORD OWNER:
HUDSON-VICKERRY, LLC
c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY, NH 03053 (603) 434-6700

SCALE AS SHOWN

16 FEBRUARY 2024

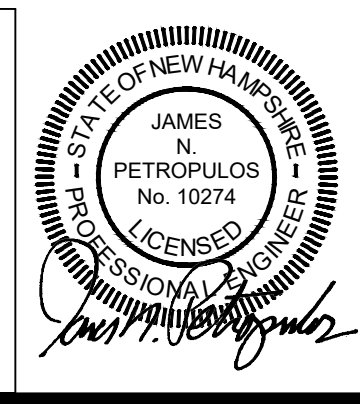
HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street Nashua, NH 03062
131 Middlesex Turnpike Burlington, MA 01803
(603) 883-2057
www.haynerswanson.com

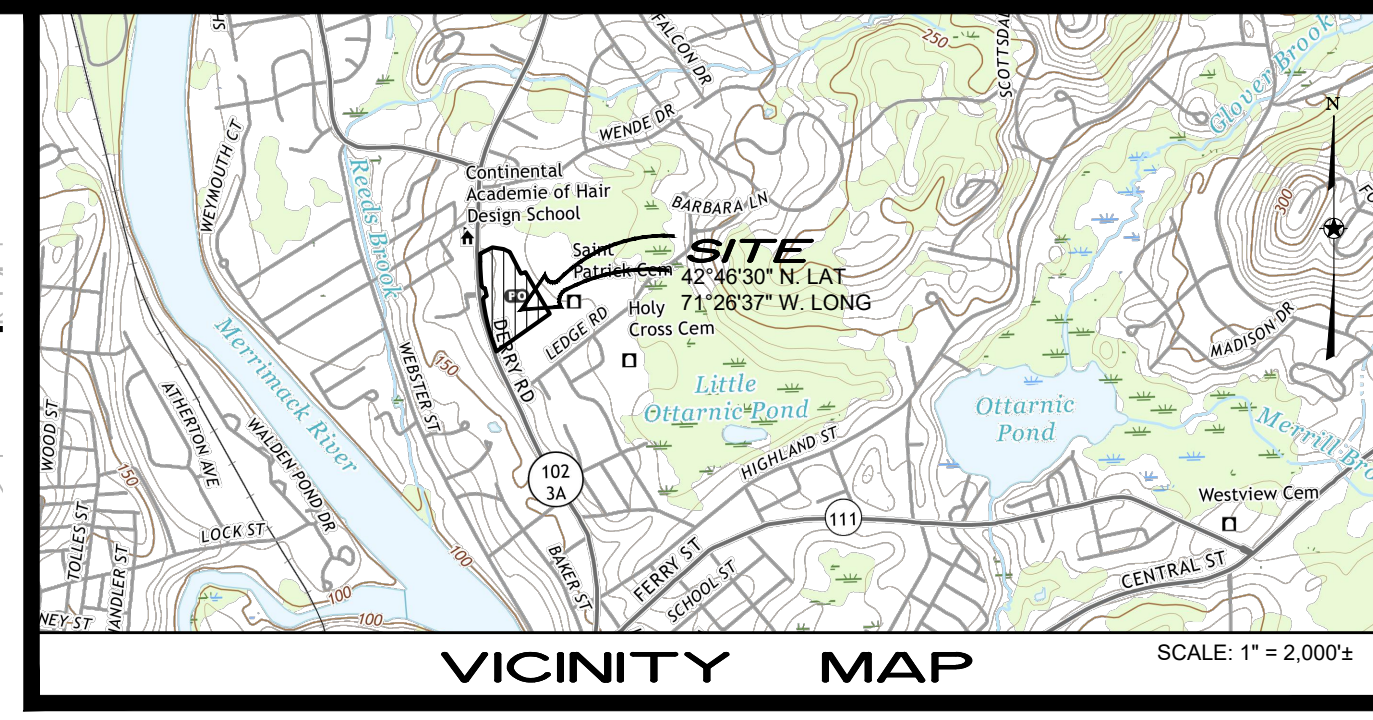
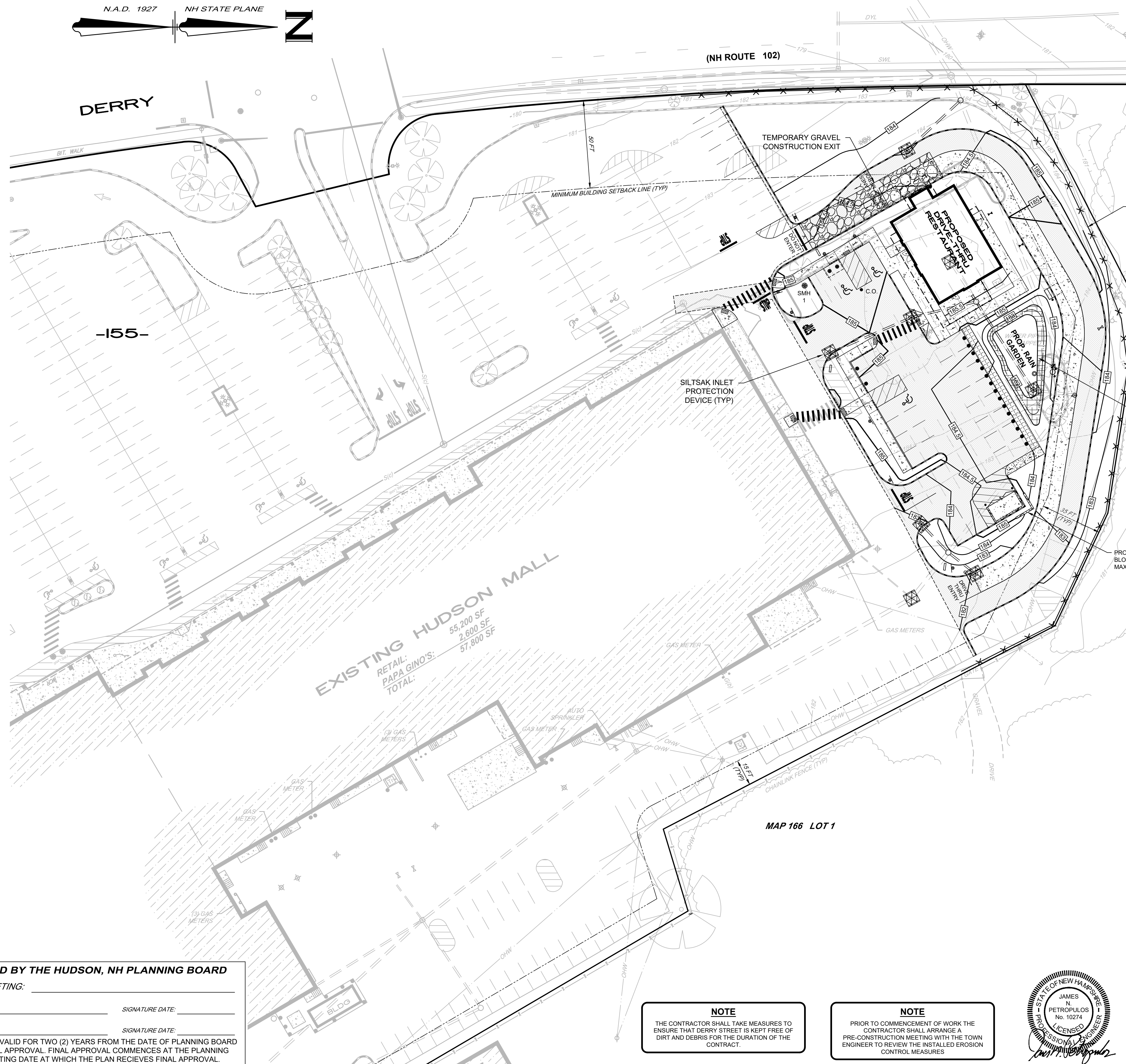
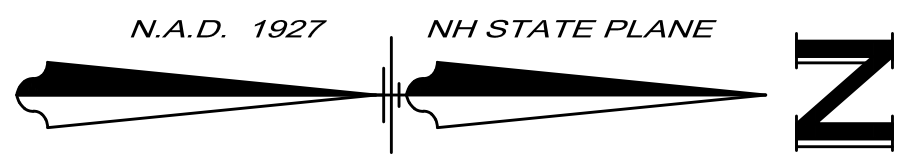
FIELD BOOK: 1161	DRAWING NAME: 1708SB-DET1	1708-SB	11 OF 16
DRAWING LOC: J:\1000\1708\DWG\1708 SB		File Number	Sheet

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.





- LEGEND**
- EXISTING GROUND CONTOUR
 - PROPOSED GRADE
 - SILT SOCK
 - SILT-SOCK INLET PROTECTION DEVICES
 - GRAVEL CONSTRUCTION EXIT
 - STABILIZATION MATTING
 - TEMPORARY STONE CHECK DAM
 - LIMIT OF WORK

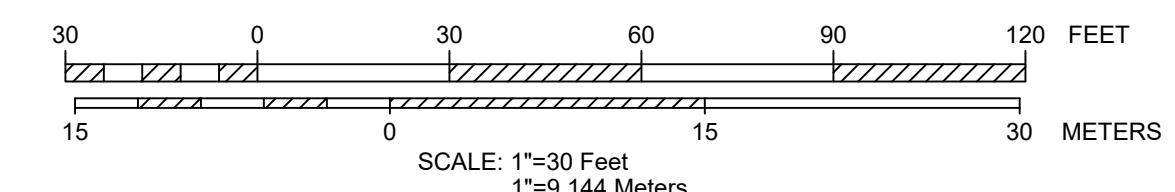
EXISTING HUDSON MALL
 RETAIL: 55,200 SF
 PAPA GINO'S: 2,600 SF
 TOTAL: 57,800 SF

MAP 166 LOT 1

REVIEW ONLY

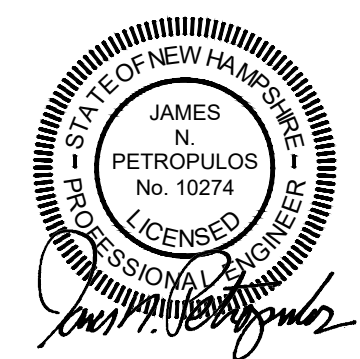
No.	DATE	ADDRESS TOWN COMMENTS	REVISION	BY
1	05/22/24			EDB

EROSION CONTROL PLAN
 (MAP 165, LOT 155)
PROPOSED DRIVE-THRU RESTAURANT
 77 DERRY STREET
 HUDSON, NEW HAMPSHIRE
 PREPARED FOR/ RECORD OWNER:
HUDSON-VICKERRY, LLC
 c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY, NH 03053 (603) 434-6700



16 FEBRUARY 2024

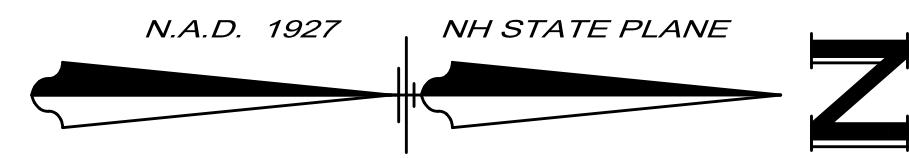
HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street 131 Middlesex Turnpike
 Nashua, NH 03062 Burlington, MA 01803
 (603) 883-2057 (781) 203-1501
 www.haynerswanson.com



NOTE
 THE CONTRACTOR SHALL TAKE MEASURES TO ENSURE THAT DERRY STREET IS KEPT FREE OF DIRT AND DEBRIS FOR THE DURATION OF THE CONTRACT.

NOTE
 PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE TOWN ENGINEER TO REVIEW THE INSTALLED EROSION CONTROL MEASURES

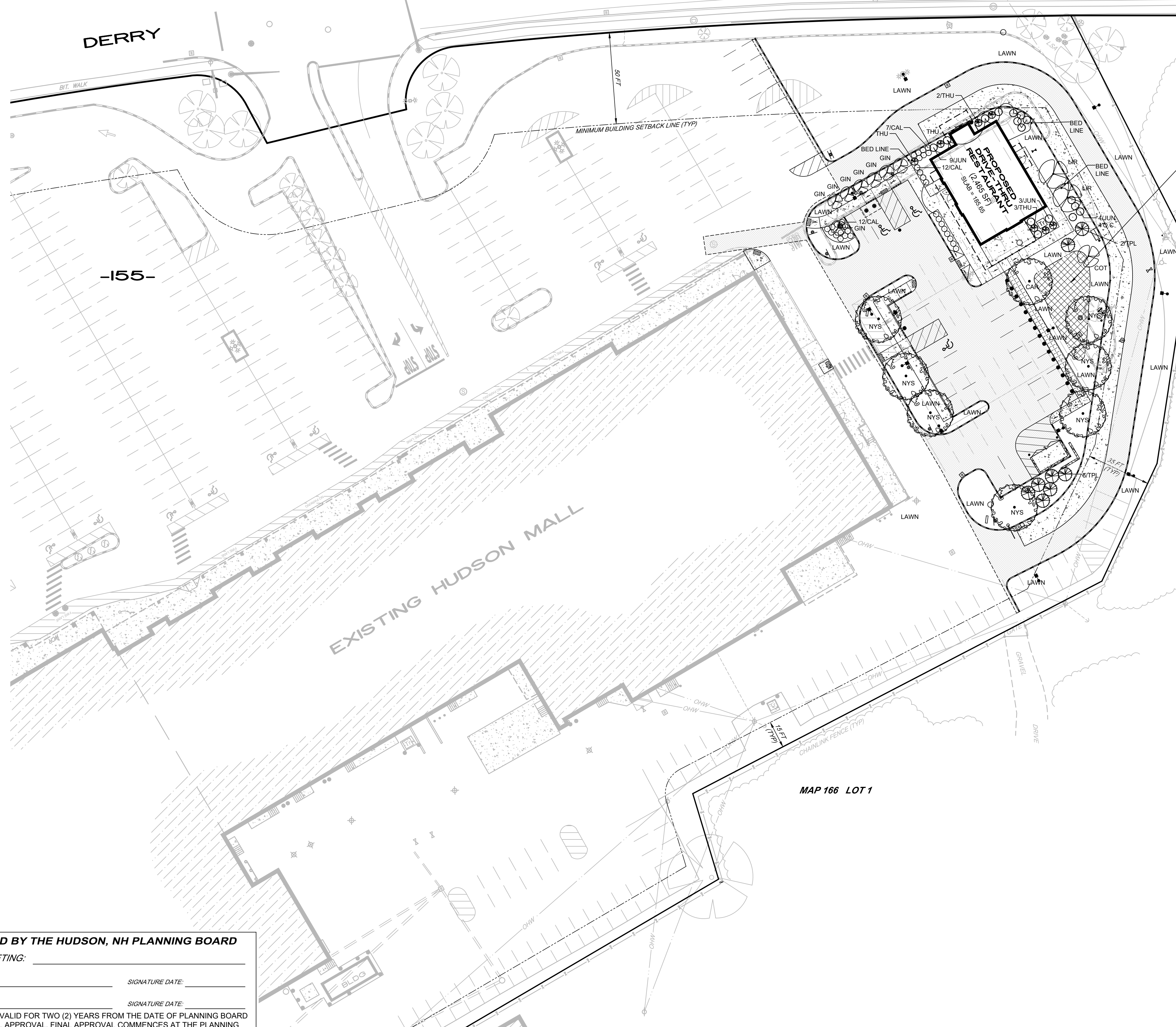
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 CHAIRMAN: _____ SIGNATURE DATE: _____
 SECRETARY: _____ SIGNATURE DATE: _____
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(NH ROUTE 102)

STREET

DERRY



-155-

RAIN GARDEN PLANTINGS
 36/EUP, 36/HIB, 36/LIA,
 36/SYM, 36/VER
 @ 30" O.C.

MATERIAL BID LIST

31/CAL CALAMAGROSTIS A. AVALANCHE (AVALANCHE REED GRASS)	#3GAL.
1/CAR CARPINUS BETULUS (EMERALD AVENUE HORNBEAM) NO SUBSTITUTIONS	3"-3.5" CAL. TREEFORM
1/COT CORINUS COGGYGRIA (GRACE SMOKEBUSH)	2.5"-3" CAL. TREEFORM
36/EUP EUPATORIUM EUTROCHUM (GATEWAY JOE PYE WEED)	#1GAL.
7/GIN GINKGO BILOBA (GOLDSPIRE GINKGO) NO SUBSTITUTIONS	2.5"-3" CAL.
36/HIB HIBISCUS MOSCHUETOS (CRIMSONEYED ROSEMALLOW)	*2" PLUG
16/JUN JUNIPERUS SABINA (NEW BLUE TAM JUNIPER)	#3GAL.
36/LIA LIATRIS SPICATA (GAYFEATHER)	#1GAL.
2/LIR LIRIODENDRON TULIPIFERA (ARNOLD TULIPTREE)	2.5"-3" CAL.
7/NYS NYSSA SYLVATICA (GUMDROP TUPELO) NO SUBSTITUTIONS	2.5"-3" CAL.
36/SYM SYMPHYOTRICHUM PUNICEUM (SWAMP AZALEA)	*2" PLUG
6/THU THUJA OCCIDENTALIS (SMARAGD EMERALD GREEN ARBORVITAE)	7"-8" BB
8/TPL THUJA PLICATA (STEEPLECHASE ARBORVITAE) NO SUBSTITUTIONS	7"-8" BB
36/VER VERONICA NOVEBORACENSIS (NEW YORK IRONWEED)	*2" PLUG

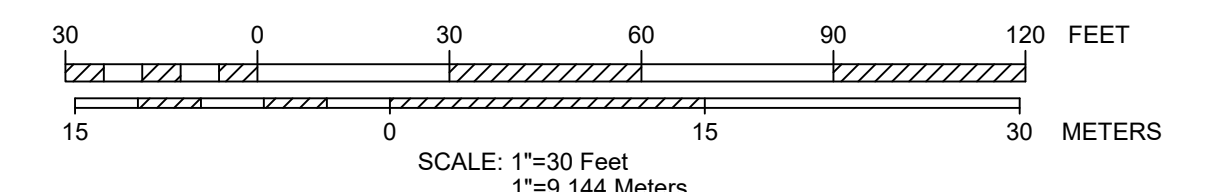
MISCELLANEOUS:

- PREMIUM BLEND PINE/HEMLOCK IN ALL BEDS (NO TINTED MATERIALS) PER PLAN
- 1 PLANT SELECTIONS REFERENCED TO MILLICAN'S NURSERY CATALOG, CHICHESTER, N.H.
- 2 NO SUBSTITUTIONS PERMITTED WITHOUT PRIOR CONSENT OF THE L.A. ANY INSTALLS NOT APPROVED BY THE L.A. WILL BE REPLACED AT THE INSTALLERS EXPENSE.
- 3 ALL SHRUBS OUTER BRANCHES SHALL BE NO CLOSER THAN 2" FROM THE BED LINES.
- 4 PLANTING PITS TO CONTAIN ORGANIC SOILS. REMOVE SAND, BANK RUN, OR COMPACTED BACKFILL MATERIALS.
- 5 B&B WIRE BASKETS, UPPER THIRD OF THE CAGE TO BE REMOVED, AND THE SIDES CUT AFTER INSTALL.
- 6 AS NOTED NO SUBSTITUTIONS (SIZE, B&B VS. CONTAINER, SPECIES/HYBRID) SHALL BE PERMITTED WITHOUT PRIOR CONSENT OF THE DESIGNER.

REVIEW ONLY

No.	DATE	ADDRESS TOWN COMMENTS	REVISION	BY
1	05/22/24	ADDRESS TOWN COMMENTS		EDB

LANDSCAPE PLAN
 (MAP 165, LOT 155)
PROPOSED DRIVE-THRU RESTAURANT
 77 DERRY STREET
 HUDSON, NEW HAMPSHIRE
 PREPARED FOR/ RECORD OWNER:
HUDSON-VICKERRY, LLC
 c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY, NH 03053 (603) 434-6700



16 FEBRUARY 2024

PREPARED BY :

JOSEPH HOCHREIN
 PHONE (603) 648-6500 FAX (603) 648-6506
 Land Planning - Landscape Architecture
 85 Frost Lane - Webster, NH 03303

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 CHAIRMAN: _____ SIGNATURE DATE: _____
 SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECIEVES FINAL APPROVAL.

General Specifications

- The contractor shall at their expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making their proposal. They will be held responsible for errors in their proposal resulting from their failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials conforming to the bid items. Under no circumstances may a species "hybrid" be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, they shall be responsible for their repair and/or replacement at their expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstructed providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner. If the owner approves the price they shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- The landscape architect (L.A.) shall reserve the right to inspect the project work at any time deemed necessary to insure that the specifications and plans and any other contract documents are being followed.
- The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. L.A. must be contacted prior to install, to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, roof ballast, etc. are to the written specifications.
- All seeded areas shall receive a minimum 6" topsoil blanket (by site contractor) w/site preparation, raking and general clean up prior to application. Operations shall include a preemergence type herbicide, 12 -25 -12 granular fertilizer @ 10 lbs./1000 sf., and pelletized limestone @ 25 lbs./1000 s/f power raked into the top 2" of soil prior to hydro-seeding. Ratios & application rates may change based upon the required soil analysis.
- Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 4lbs./1000. Lawn germination shall be 95% free of noxious weeds for acceptance. Define differences in seed mixes (if applicable) with irrigation flagging until 2nd mowing. Site review by L.A. is required.

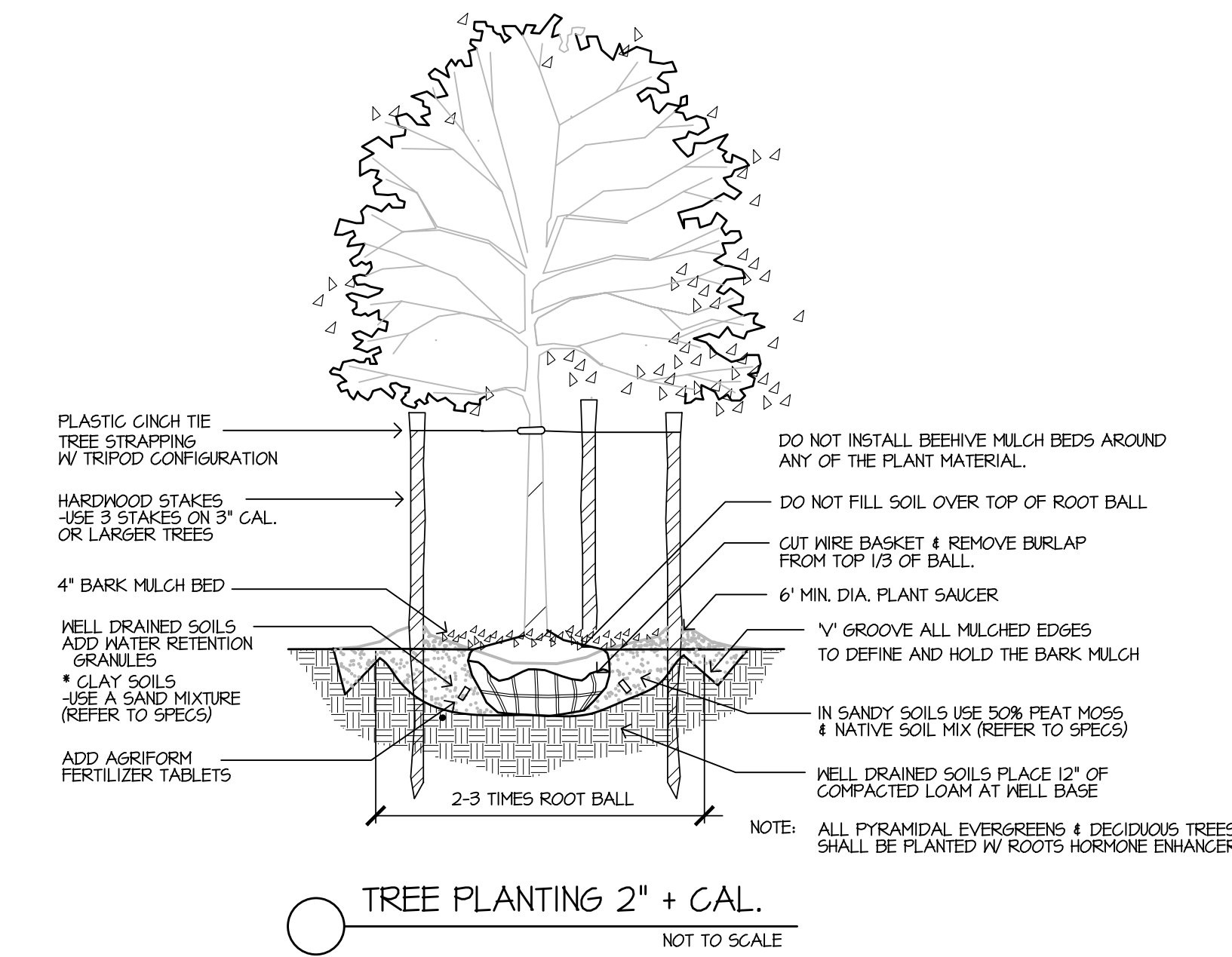
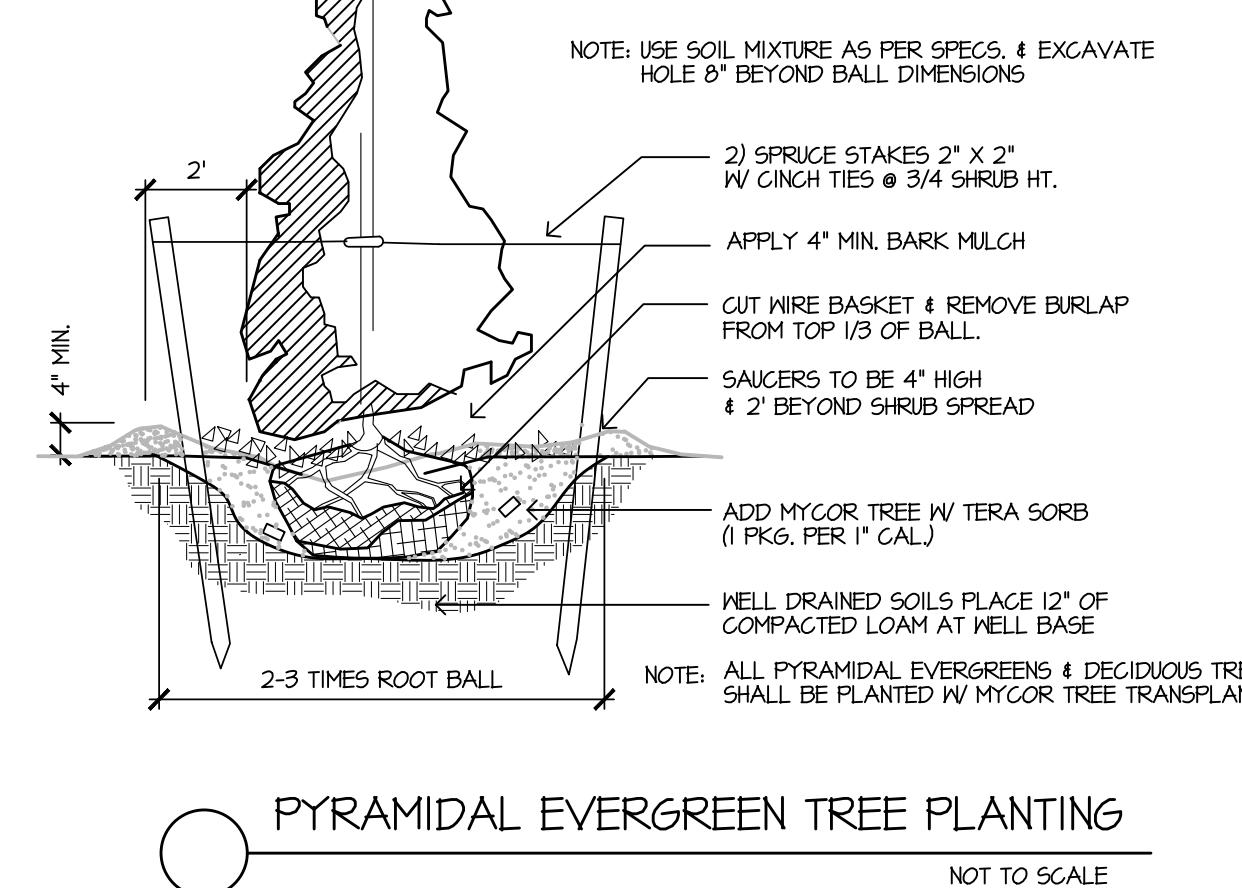
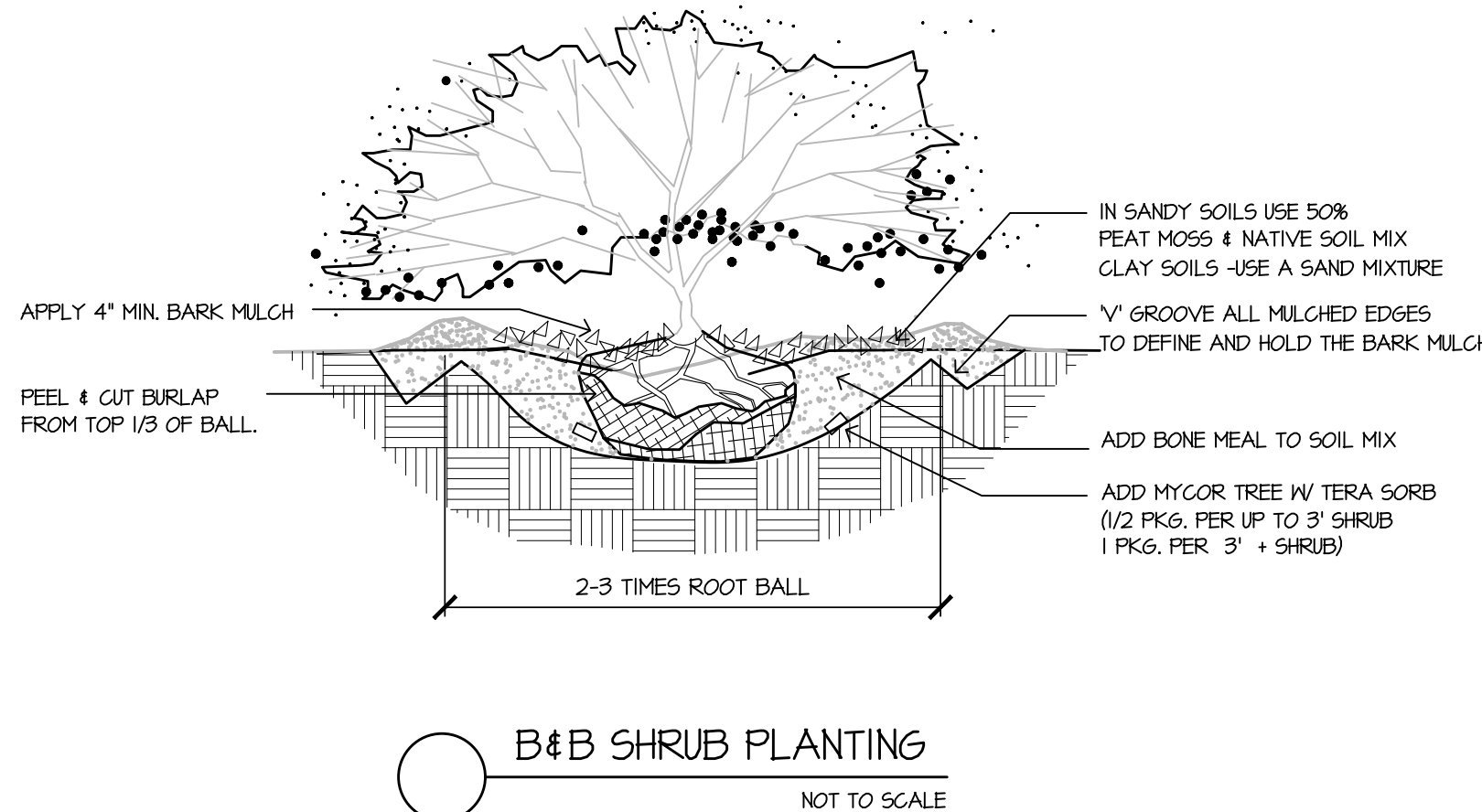
- Review of the installed irrigation system by the designer is required prior to release of final payment.
- Hydroseeding operations shall be a one part process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1. Excelsior Drainage mat shall be applied to all 2:1 slopes and drainage swales per plan.
- Contractor shall maintain, from acceptance date, the lawn areas through the first mowing. Contractor is not responsible for the first mowing.
- All plant materials shall be installed in accordance with A.L.C.C. Trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (verify with L.A.) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, ie. thin, no lower branching, etc. Contractor must submit shipping lists (billing invoices) for verification, prior to installation.
- All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractors expense; with same warranty requirements as the original. Warranty does not cover loss due mechanical damage, ie. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" (settled) covering of pine/hemlock bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6" dia. saucer (typ.), evergreen trees shall have a saucer 2' min. beyond it's outer branches. All edges shall have a "V" groove.
- All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- If road base is encountered in any plant bed areas, ie. parking islands, it shall be removed and suitable amended soil installed per drawings and specifications.
- Soil planting mixture shall be a 6%-10% organic topsoil, amended with 10% wood ash, 10%% manure, & 30%% peatmoss or incorporate a dehydrated compost material. If planting in sand, gravel or other well drained soils, a 50% peatmoss to excavated soil. Other soil amendments shall include; Agriform tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturers specifications. All plant material pits will receive a min. 20%% in volume mix of a compost soil amendment. Submittal required. 'Roots' STEP 1 can be substituted for the individual supplements. Install per manufacturer's specs.
- Landscape contractor shall not be responsible for topsoil spreading but shall coordinate with the site contractor adherence to the mound grades, plant bed soil depths and soil type per dwgs & spec. Landscape contractor shall power rake-out for seed.

- Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface dries out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- Installer shall notify landscape architect prior to planting, to review plant locations and bedline configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- Upon one year review, contractor shall straighten any trees that have shifted. Any weak or bare spots in lawn shall be reseeded.
- All bedlines shall have a deep "V" groove to define lawn to mulch edge. No "Beehive" mounding of mulch is allowed, also keep mulch away from base of perennials.
- Do not plant materials too close to the edge of bedlines. Refer to drawings for center of plant to bedline. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedlines. If the as-built does not comply contractor shall adjust the plant location or bedline at his expense.
- Seed mixes include: Sandy Soil Lawn Mix by: deercreekseed.com; New England Wetland Plants, Amherst, Ma. refer to planting plan for designations.
- Any items not completed to the specifications will be required at contractors expense prior to final approvals. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be payed to soils, amendments, guy stakes, bedline & saucer configurations, seed mixtures, etc.
- Certain designated foundation edging is rood ballust (washed rounds, non-crushed, natural) Size of stone is a range of 3/4"-1.5"dia. placed to a depth of 3", upon placement apply a coating of granular Preen (preemergent).
- Any questions concerning this drawing shall be directed to Joseph Hochrein, 85 Frost Lane, Webster, NH 03303, 603-648-2541.

MATERIAL BID LIST

31/CAL CALAMAGROSTIS A. AVALANCHE (AVALANCHE REED GRASS)	#3GAL.
1/CAR CARPINUS BETULUS (EMERALD AVENUE HORNBEAM) NO SUBSTITUTIONS	3'-3.5"CAL.
1/COT CORINUS COGGYGRIA (GRACE SMOKEBUSH)	2.5"-3"CAL. TREEFORM
38/EUP EUPATORIUM EUTROCHUM (GATEWAY JOE PYE WEED)	#1GAL.
7/GIN GINKGO BILOBA (GOLDSPIRE GINKGO) NO SUBSTITUTIONS	2.5"-3"CAL.
36/HIB HIBISCUS MOSCHUETOS (CRIMSONEYED ROSEMALLOW)	"2"-PLUG
16/JUN JUNIPERUS SABINA (NEW BLUE TAM JUNIPER)	#3GAL.
36/LIA LIATRIS SPICATA (GAYFEATHER)	#1GAL.
2/LIR LIRIODENDRON TULIPIFERA (ARNOLD TULIPTREE)	2.5"-3"CAL.
7/NYS NYSSA SYLVATICA (GUMDROP TUPELO) NO SUBSTITUTIONS	2.5"-3"CAL.
36/SYM SYMPHYOTRICHUM PUNICEUM (SWAMP AZALEA)	"2"PLUG
6/THU THUJA OCCIDENTALIS (SMARAGD EMERALD GREEN ARBORVITAE)	7"-8"BB
8/TPL THUJA PLICATA (STEEPLECHASE ARBORVITAE) NO SUBSTITUTIONS	7"-8"BB
36/VER VERONICA NOVEBORACENSIS (NEW YORK IRONWEED)	"2"PLUG

- *PLANT SOURCE: NEW ENGLAND WETLAND PLANTS, AMERST, MA.
- MISCELLANEOUS:**
- | | |
|--|----------|
| PREMIUM BLEND PINE/HEMLOCK IN ALL BEDS (NO TINTED MATERIALS) | PER PLAN |
|--|----------|
- PLANT SELECTIONS REFERENCED TO MILLICAN'S NURSERY CATALOG, CHICHESTER, N.H.
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 - B&B WIRE BASKETS, UPPER THIRD OF THE CAGE TO BE REMOVED, AND THE SIDES CUT AFTER INSTALL.
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REVIEW ONLY

1	05/22/24	ADDRESS TOWN COMMENTS	EDB
No.	DATE	REVISION	BY

DETAIL SHEET - LANDSCAPE
(MAP 165, LOT 155)

PROPOSED DRIVE-THRU RESTAURANT

77 DERRY STREET
HUDSON, NEW HAMPSHIRE

PREPARED FOR/ RECORD OWNER:
HUDSON-VICKERRY, LLC
c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY, NH 03053 (603) 434-6700

NO SCALE

16 FEBRUARY 2024

PREPARED BY :
JOSEPH HOCHREIN
PHONE (603) 648 - 6500 FAX (603) 648 - 6506
Land Planning - Landscape Architecture
85 Frost Lane - Webster, NH 03303

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD

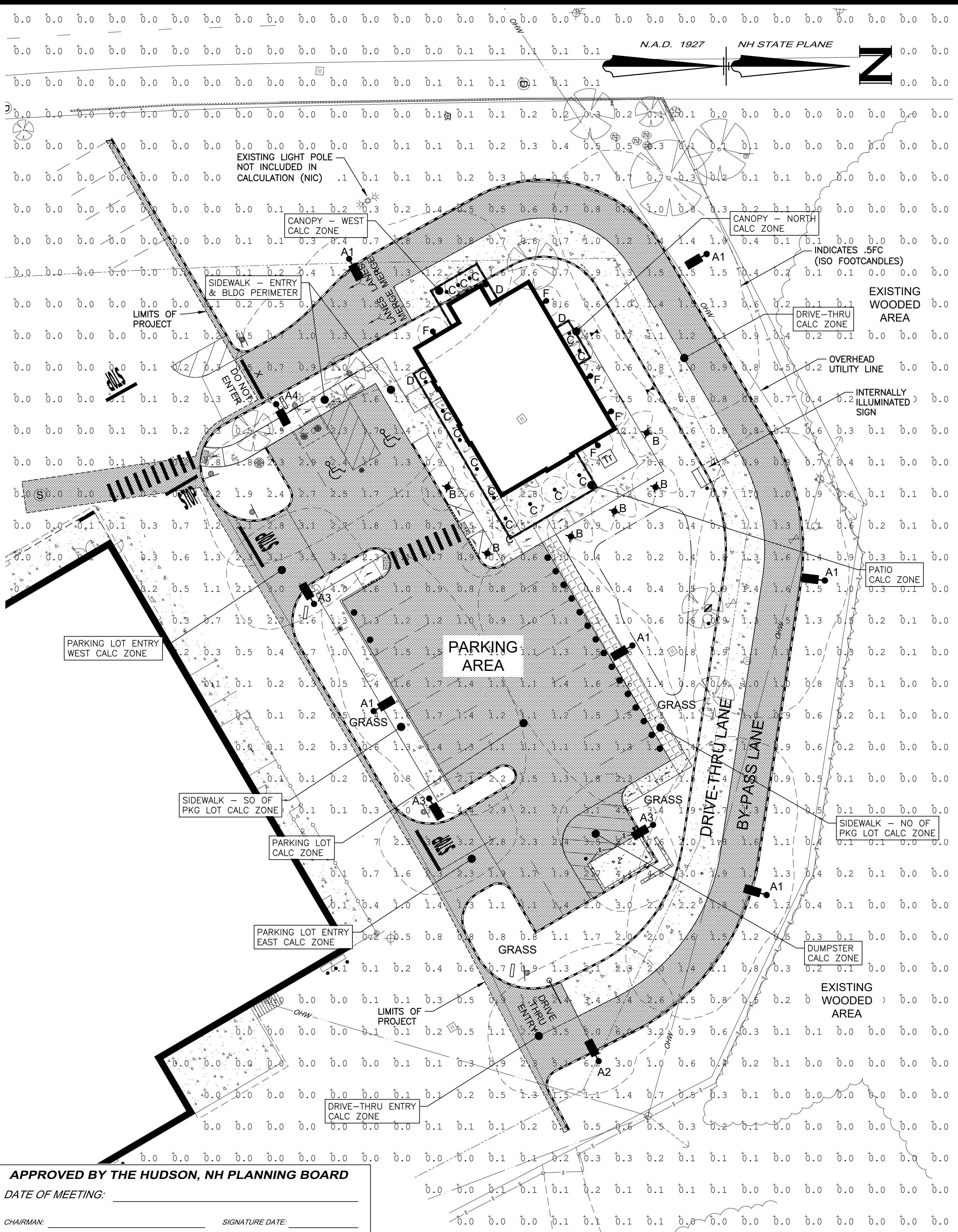
DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

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© HaynerSwanson, Inc.



D-Series Size 1 LED Area Luminaire

Specifications

- EPA: 0.69 Ft² (0.064m²)
- Length: 32.71" (83.1cm)
- Width: 14.26" (36.2cm)
- Height H1: 7.88" (20.0cm)
- Height H2: 2.73" (6.9cm)
- Weight: 34.88 lbs (15.8kg)

Types: A1 / A2 / A3 / A4

RADEAN Bollard LED Site Luminaire

Specifications

- Diameter: D = 8.25" (20.96cm)
- Height: H = 41.5" Standard (105.41cm)
- Weight (max): 20lbs (9.07kg)

Type B

CATSKILL LED

Type F

NOTE: IMAGE OF TYPE C - 3" DIA. RECESSED DOWNLIGHT, NOT SHOWN.

Calculation Summary

Label	Avg	Max	Min	Avg/Min
CANOPY - NORTH	12.40	12.5	12.3	1.01
CANOPY - WEST	10.70	20.3	7.4	2.74
DRIVE-THRU ENTRY	3.55	6.9	1.1	3.23
DRIVE-THRU LANES	1.47	9.2	0.4	3.68
DUMPSTER	4.14	7.3	2.3	1.80
PARKING LOT	1.60	3.5	0.6	2.67
PARKING LOT ENTRY - EAST	2.68	3.3	1.6	1.68
PARKING LOT ENTRY - WEST	3.33	4.8	2.3	1.45
PATIO	6.92	11.3	1.6	4.33
SIDEWALK - ENTRY & BUILDING	3.31	13.2	0.3	11.13
SIDEWALK - SO OF PKG LOT	1.76	4.0	1.2	1.47
SIDEWALK - NO OF PKG LOT	1.42	4.2	0.6	2.37

Calc Type - Illuminance Units - FC (Footcandle)

TRAXON Go⁺ Linear Go Mini White

Type D

Light Fixture Schedule

Label	Symbol	Qty	Arrangement	Manufacturer	Catalog Number	Mtg Ht	CT	Dist Type	Lumens	BUG Rating	LLF	Watts
A1	●	6	SINGLE	Lithonia	DSX1 LED P1 30K 80CRI T3M HS	20FT / POLE MTD	3000K	Type IV	5733	B1-U0-G2	0.95	50
A2	■	1	SINGLE	Lithonia	DSX1 LED P3 30K 80CRI T4LG EGS-F	20FT / POLE MTD	3000K	Type III	8240	B1-U0-G1	0.95	102
A3	●	3	SINGLE	Lithonia	DSX1 LED P1 30K 80CRI T4LG	20FT / POLE MTD	3000K	Type IV	6107	B1-U0-G1	0.95	51
A4	■	1	SINGLE	Lithonia	DSX1 LED P1 30K 80CRI BLC3	20FT / POLE MTD	3000K	Type IV	6107	B1-U0-G1	0.95	51
B	✕	6	SINGLE	Lithonia	RADB LED P2 30K ASY DDBXD	45.5IN Bollard	3000K	Type I	534	B0-U1-G0	0.95	8
C	●	14	SINGLE	USA1	CRT1711211244-001-006+008, Model_B	Recessed @ 11FT	3000K	Type VS	825	B2-U0-G0	0.95	9
D	■	3	SINGLE	Traxon Go	MINI GO 1200mm-36pcs-3000K-20°	Canopy @ 11FT	3000K	Type I	300/FT	B2-U2-G0	0.50	18W/4FT
F	●	5	SINGLE	B-K Lighting	CK-LED-X59-FL-9 -C	Wall @ 8.5FT	3000K	Type V	776	B1-U0-G0	0.95	12

BLC - Backlight Control EGS-F - External Glare Shield, Forward Throw HS - House Shield

GENERAL SITE LIGHTING NOTES:

- POLE MOUNTED LUMINAIRES SHALL BE ENERGY SAVING LED, 'NIGHTTIME FRIENDLY', 'IDA-DARK SKY APPROVED', DIMMABLE AND RATED FOR 100,000 HOUR LIFE.
- CONTROL SYSTEM FOR SITE LIGHTING (IE POLE MOUNTED FIXTURES AND BOLLARDS) AND BUILDING MOUNTED LIGHTING SHALL BE FULLY AUTOMATIC, PROGRAMMABLE AND DIMMABLE AND SHALL COMPLY W/ THE TOWN OF HUDSON LIGHTING ORDINANCES.
- EACH BUILDING MOUNTED LIGHT FIXTURE TYPE SHALL BE PROVIDED W/ SEPARATE CONTROL PANEL RELAY AND/OR WALL MOUNTED DIMMER SWITCH.
- TIME OF DAY PROGRAMMING SCHEDULE SHALL BE DETERMINED BY THE OWNER. LIGHTING SHALL BE SET TO AUTO-ON AT DUSK AND AUTO-OFF AT DAWN AS A MINIMUM. A REDUCED SET-BACK LEVEL (REDUCED BY SAY 50%) AFTER CLOSE OF BUSINESS MAY BE CONSIDERED AND SHALL BE DETERMINED BY THE OWNER.
- LIGHT POLE BASE TOP-OF-CONCRETE ALONG DRIVE-THRU SHALL BE 2FT ABOVE FINISHED GRADE.
- LIGHT POLE BASE AND BOLLARD BASE TOP-OF-CONCRETE SHALL BE 4" ABOVE FINISHED GRADE WHERE LOCATED IN GRASS.
- MAINTAIN MINIMUM CLEARANCE BETWEEN LUMINAIRE AND EXISTING OVERHEAD UTILITY LINES PER LOCAL UTILITY REQUIREMENTS, TYPICAL.
- CONTRIBUTION FROM EXISTING LIGHT SOURCES OUTSIDE OF PROJECT LIMITS ARE NOT INCLUDED IN CALCULATION.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

1 PHOTOMETRIC SITE LIGHTING PLAN
SCALE: 1" = 20'-0"

REVIEW ONLY

No.	DATE	REVISION	BY

PHOTOMETRIC SITE LIGHTING PLAN
(MAP 165, LOT 155)

PROPOSED DRIVE-THRU RESTAURANT

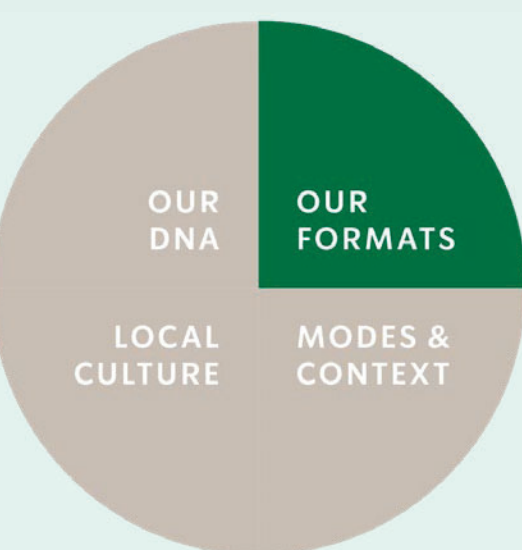
**77 DERRY STREET
HUDSON, NEW HAMPSHIRE**

PREPARED FOR/ RECORD OWNER:
HUDSON-VICKERRY, LLC
c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY, NH 03053 (603) 434-6700

16 FEBRUARY 2024

PREPARED BY:
DUBOIS & KING, INC
15 CONSTITUTION DRIVE, SUITE II
BEDFORD, NEW HAMPSHIRE 03110
PHONE (603) 637-1043

FIELD BOOK: 1161	DRAWING NAME: 1708SB-SL31	1708-SB	16 OF 16
DRAWING LOC: PHOTOMETRIC PLAN\ARCH\240228\1708SB-SL31 - 20240228		File Number	Sheet



NE Schematic Exterior Design | STB-B (Scheme A)

Primary Cladding:

Wood cladding at entry doors and patio area to run vertically.

Secondary Cladding:

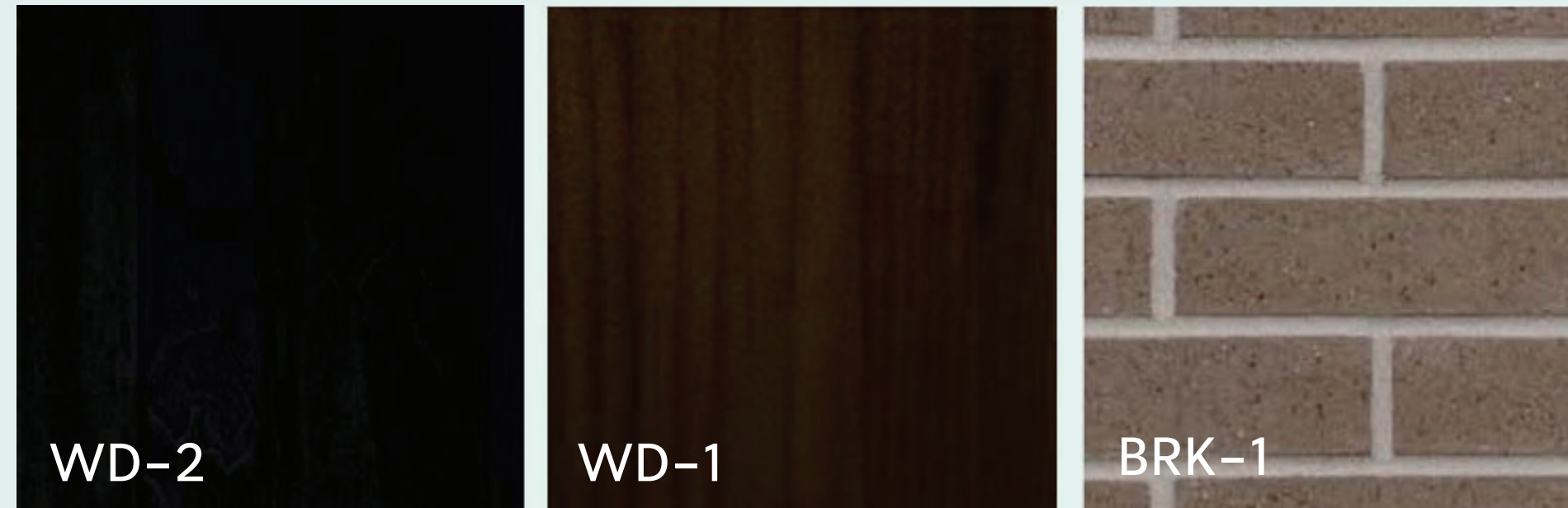
Smooth brick application. Stacked horizontally below canopy. Stacked vertically above.

Accent Cladding:

Wood cladding (black) at the Drive Thru bump in vertical application.

Canopy:

Underside of canopy to be clad with wood, typ.



PALETTE A

