

# **CENTRAL GAS SITE PLAN**

SP# 08-23

## **STAFF REPORT**

June 26, 2024

(See January 24, 2024, February 28, 2024, and May 29, 2024 Meeting Materials)

**SITE:** 77 Central Street, Map 182 / Lot 217

**ZONING:** Business (B)

**PURPOSE OF PLAN:** To depict the proposed layout for a gas station and convenience store with drive-through window and all associated site improvements.

### **PLAN UNDER REVIEW:**

Central Gas Site Plan, Non-Residential Site Plan, Map 182 Lot 217, 77 Central Street, Hudson, NH; prepared by: Keach-Nordstrom Associates, Inc. 10 Commerce Park North, Suite 3, Bedford, NH 03110; prepared for: Nottingham Square Corporation, 46 Lowell Road, Hudson, NH, 03051; consisting of 20 sheets and general notes 1-39 on Sheet 1; dated July 10, 2023; last revised May 9, 2024.

### **ATTACHMENTS:**

- 1) Project Application and Associated Waiver Requests, prepared by Fuss & O'Neill, November 1, 2023 – Attachment “A”
- 2) Legal Correspondence, prepared by Town Attorney, dated June 7, 2024. – Attachment “B”

### **APPLICATION TRACKING:**

- August 16, 2022 – Conceptual plan received.
- September 14, 2022 – Design Review meeting held.
- July 10, 2023 – Site plan application received.
- November 29, 2023 – Hearing continued to December 27.
- December 27, 2023 – Public hearing scheduled, Deferred to January 24.
- January 24, 2024 – Public hearing scheduled, continued to February 28, 2024.
- February 28, 2024 – Public hearing scheduled, continued to May 8, 2024.
- May 8, 2024 – Public hearing scheduled, deferred to May 29, 2024.
- May 29, 2024 – Public hearing scheduled, continued to June 26, 2024.
- June 26, 2024 – Public hearing scheduled.

### **COMMENTS & RECOMMENDATIONS:**

#### **BACKGROUND**

The site is approximately 2.9 acres and is located in the Business zone. The proposed site is currently five parcels. Map 182 Lots: 216, 217, 218-1, 218-2, and 219, which the applicant wishes to consolidate. Five buildings totaling 6,321 SF were on the site that were previously used as single-family residential homes, but have since been razed. The site is served by municipal water

and sewer. A small section on the southern end of the site is within the “A” or 100-year flood zone. There is a wetland on the southeast and southern edges of the site, along Map 190 Lots 185 and 186.

The applicant proposes building a 10-pump gas station with a 4,560 SF convenience store with drive-thru window. The Applicant has been granted a waiver request from the 100-foot buffer between commercial and residential uses required under §276-11.1(12)(c). The site is proposed be accessed by two drives, a 20’ wide one-way entrance driveway to be constructed on Lowell road approximately 210’ from the intersection of Lowell Road and Central Street, and a 24.1’ wide two-way entrance on Central Street, approximately 600’ from the intersection of Central Street and Lowell Road. The proposal of two driveways requires a waiver from §193-10.G, which has been granted. Both motions to grant waivers may be found in the May 29, 2024 meeting minutes.

The Applicant previously presented this plan to the Planning Board under Design Review Phase in September 2022. In response to the feedback heard during that phase, the Applicant has included architectural renderings with this application.

**RECOMMENDATIONS**

Town Attorney has provided two responses related to questions posed by Planning Board member Victor Oates on matters related to HTC 275-6, H. Questions posed and answered by Town Attorney may be found in attachment “B”.

**RECOMMENDATIONS**

Staff recommends discussion and consideration of approval. The board has already granted both waivers that the applicant has requested, and has not required via motion any additional information of the applicant. Staff believe that the applicant has provided more than adequate information for the board to make an informed decision on the project.

**DRAFT MOTIONS:**

**MOTION TO CONTINUE:**

I move to continue the site plan application for Central Gas Site Plan SP# 08-23, 77 Central Street, Hudson, NH / Non-Residential Site Plan, Map 182 / Lot 217, to date certain, \_\_\_\_\_, 2024.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**MOTION TO APPROVE:**

I move to approve the site plan application for the Site Plan entitled: Central Gas Site Plan, Non-Residential Site Plan, Map 182 Lot 217, 77 Central Street, Hudson, NH; prepared by: Keach-Nordstrom Associates, Inc. 10 Commerce Park North, Suite 3, Bedford, NH 03110; prepared for: Nottingham Square Corporation, 46 Lowell Road, Hudson, NH, 03051; consisting of 20 sheets and general notes 1-39 on Sheet 1; dated July 10, 2023; last revised May 9, 2024; and:

That the Planning Board finds that this application complies with the Zoning Ordinances, and with the Land Use Regulations with consideration of the waivers granted; and for the reasons set forth

in the written submissions, together with the testimony and factual representations made by the applicant during the public hearing;

Subject to, and revised per, the following stipulations:

1. All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record and all agreed upon easement deeds, which shall be favorably reviewed by Town Counsel prior to Planning Board endorsement of the Plan.
2. A cost allocation procedure (CAP) amount of \$51,488.00 shall be paid prior to the issuance of a Certificate of Occupancy.
3. Prior to the issuance of a final certificate of occupancy, an L.L.S. Certified "As-Built" site plan shall be provided to the Town of Hudson Land Use Department, confirming that the site conforms to the Planning Board approved Site Plan.
4. Prior to the Planning Board endorsement of the Plan, it shall be subject to final administrative review by Town Planner and Town Engineer.
5. Prior to application for a building permit, the Applicant shall schedule a pre-construction meeting with the Town Engineer.
6. Maintenance of the onsite drainage system shall be constructed and maintained in compliance with NHDES requirements for such systems.
7. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Friday and between 8am and 4pm on Saturday. No exterior construction activities shall be allowed on Sundays.
8. Hours of refuse removal shall be exclusive to the hours between 7:00 A.M. and 7:00 P.M., Monday through Friday only.
9. Hours of operation shall be exclusive to the hours between 5:00 A.M. and 11:00 P.M. for retail sale and food service operations, with no restriction on hours of gas sale.
10. Prior to the issuance of a final certificate of occupancy, a Spill Prevention Plan shall be provided to, and approved by, the Fire Marshall.
11. The Planning Board's preference for 15-gallon spill containment areas whereas 5 gallons is required shall be noted on the plan.
12. A spill prevention kit and general spill prevention plan will be available at the pumps and inside the convenience store.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**LOT MERGER APPLICATION FOR TAX ASSESSMENT AND LAND USE PURPOSES**

**TOWN OF HUDSON, NEW HAMPSHIRE**

The undersigned, Manuel Sousa - Nottingham Square Corporation (type or print name here) is / are the owner(s) of lots or parcels shown on the Town Tax Maps as follows:

Tax Map <u>182</u>	Lot <u>216</u>	Tax Map <u>182</u>	Lot <u>218-2</u>
Tax Map <u>182</u>	Lot <u>217</u>	Tax Map <u>182</u>	Lot <u>219</u>
Tax Map <u>182</u>	Lot <u>218-1</u>		


The undersigned requests that the Town of Hudson Planning Board combine the above described parcels or lots into one parcel or one lot to be known as, Tax Map 182, Lot 217 for tax assessment, and land use purposes.

The undersigned acknowledges and agrees that the merged lots or parcels shall be shown as a single lot or single parcel on the Town Tax map and shall be one lot or one parcel for land use purposes. The Town of Hudson will assess the merged lots or merged parcels as a single lot or a single parcel.

If at any time the undersigned, or its heirs, legatees, successors and assigns of the undersigned wish to subdivide the merged lot or merged parcel, subdivision approval must be obtained from the Town of Hudson Planning Board under the Town of Hudson Subdivision of Land Regulations.

The undersigned agrees that the approval of this application shall be filed at the expense of the undersigned in the Hillsborough County Registry of Deeds.

Dated this 6 day of July, 2023.

  
LANDOWNER

(SIGN HERE)

\_\_\_\_\_  
LANDOWNER (SIGN HERE)

  
(TYPE OR PRINT NAME)

\_\_\_\_\_  
(TYPE OR PRINT NAME)

This application for the merger of lots for tax assessment and land use purposes is approved by action of the Town of Hudson Planning Board. This application shall be recorded in the Hillsborough County Registry of Deeds.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
(SIGN HERE)  
CHAIRPERSON  
HUDSON PLANNING BOARD

\_\_\_\_\_  
(TYPE OR PRINT NAME)



*Town of Hudson  
12 School Street  
Hudson, NH 03501*

## **SITE PLAN APPLICATION**

Revised May 19, 2023

The following information must be filed with the Planning Department *at the time of filing a site plan application*:

1. One (1) original completed application with original signatures, and one (1) copy.
2. Three (3) full plan sets (sheet size: 22" x 34").
3. One (1) original copy of the project narrative, and one (1) copy.
4. A list of direct abutters and a list of indirect abutters, and two (2) sets of mailing labels for abutter notifications.
5. All of the above application materials, including plans, shall also be submitted in electronic form as a PDF.
6. All plans shall be folded and all pertinent data shall be attached to the plans with an elastic band or other enclosure.

The following information is required to be filed with the Planning Department *no later than 10:00 A.M., Tuesday ONE WEEK prior to the scheduled Planning meeting. The purpose of these materials is hardcopy distribution to Planning Board members, not review. Any plan revisions that require staff review must be submitted no later than 10:00A.M., Tuesday TWO WEEKS prior to the scheduled Planning meeting. Depending on the complexity of changes, more time may be required for review. Please contact the Town Planner if you have any questions on this matter.*

1. Submission of fifteen (15) 11" X 17" plan sets, revised if applicable.
2. Submission of two (2) full plan sets (sheet size: 22" x 34"), if revised.
3. All of the above application materials, including plans, shall also be submitted in electronic form as a PDF.

*Note: Prior to filing an application, it is recommended to schedule an appointment with the Town Planner.*

**SITE PLAN APPLICATION**

Date of Application: July 10, 2023 Tax Map #: 182 Lot #: 217

Site Address: Lowell Road & Central Street

Name of Project: Central Gas

Zoning District: Business (B) General SP#: \_\_\_\_\_  
(For Town Use Only)

Z.B.A. Action: \_\_\_\_\_

**PROPERTY OWNER:**

**DEVELOPER:**

Name: Nottingham Square Corporation

\_\_\_\_\_

Address: 46 Lowell Road

\_\_\_\_\_

Address: Hudson, NH 03051

\_\_\_\_\_

Telephone # 603-880-7799

\_\_\_\_\_

Email: msousa@sousarealtynh.com

\_\_\_\_\_

**PROJECT ENGINEER:**

**SURVEYOR:**

Name: Paul Chisholm, PE - KNA

Anthony Basso, LLS - KNA

Address: 10 Commerce Park North, Suite 3

10 Commerce Park North, Suite 3

Address: Bedford, NH 03110

Bedford, NH 03110

Telephone # 603-627-2881

603-627-2881

Email: pchisholm@keachnordstrom.com

abasso@keachnordstrom.com

**PURPOSE OF PLAN:**

The purpose of the plan is to depict the proposed layout for a gas station and convenience store with drive thru window and all associated site improvements.

**(For Town Use Only)**

Routing Date: \_\_\_\_\_ Deadline Date: \_\_\_\_\_ Meeting Date: \_\_\_\_\_

\_\_\_\_\_ I have no comments \_\_\_\_\_ I have comments (attach to form)

\_\_\_\_\_ Title: \_\_\_\_\_ Date: \_\_\_\_\_

(Initials)

Department:

Zoning: \_\_\_ Engineering: \_\_\_ Assessor: \_\_\_ Police: \_\_\_ Fire: \_\_\_ DPW: \_\_\_ Consultant: \_\_\_

SITE DATA SHEETPLAN NAME: Central GasPLAN TYPE: SITE PLANLEGAL DESCRIPTION: MAP 182 LOT 217DATE: July 10, 2023

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Location by Street: Lowell Road & Central Street

Zoning: Business (B)

Proposed Land Use: Gas Station/Convenience Store with Drive Thru

Existing Use: Residential

Surrounding Land Use(s): Commercial & Residential

Number of Lots Occupied: One (1) - Following Lot Merger

Existing Area Covered by Building: 6,321 SF

Existing Buildings to be removed: Five (5)

Proposed Area Covered by Building: 4,560 SF

Open Space Proposed: 62%

Open Space Required: 40%

Total Area: S.F.: 126,607 Acres: 2.90

Area in Wetland: 2,881 SF Area Steep Slopes: 10,899 SF

Required Lot Size: 30,000 SF

Existing Frontage: 982.2 FT

Required Frontage: 150 FT

Building Setbacks:

	<u>Required*</u>	<u>Proposed</u>
Front:	<u>50 FT</u>	<u>72.7 FT</u>
Side:	<u>15 FT</u>	<u>N/A</u>
Rear:	<u>15 FT</u>	<u>331.6 FT</u>

**SITE DATA SHEET**  
(Continued)

Flood Zone Reference: 33011C0518D

Width of Driveways: 24 FT

Number of Curb Cuts: Two (2)

Proposed Parking Spaces: 41 Spaces

Required Parking Spaces: 41 Spaces

Basis of Required Parking (Use): Gas Pumps, Convenience Store, Drive Thru

Dates/Case #/Description/Stipulations  
of ZBA, Conservation Commission,  
NH Wetlands Board Actions: \_\_\_\_\_  
(Attach stipulations on separate sheet) \_\_\_\_\_  
\_\_\_\_\_

Waiver Requests

<i>Town Code Reference:</i>	<i>Regulation Description:</i>
<u>276-11.1(12)(c)</u>	<u>Drive Aisles within 100-ft Abutting Residential Property</u>
_____	_____
_____	_____
_____	_____

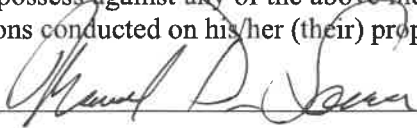
<b>(For Town Use Only)</b>	
Data Sheets Checked By: _____	Date: _____



SITE PLAN APPLICATION AUTHORIZATION

I hereby apply for *Site Plan* Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the *Site Plan* specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Planner, the Town Engineer, and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner:  Date: 7/6/23

Print Name of Owner: Manuel Sousa

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: \_\_\_\_\_ Date: \_\_\_\_\_

Print Name of Developer: \_\_\_\_\_

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The individual in charge of the project must notify the Code Enforcement Officer/Building Inspector within two (2) working days of any change.

WAIVER REQUEST FORM

Name of Subdivision/Site Plan: Central Gas

Street Address: Lowell Road & Central Street

I Manuel Sousa hereby request that the Planning Board waive the requirements of item 276-11.1(12)(c) of the Hudson Land Use Regulations in reference to a plan presented by Keach-Nordstrom Associates, Inc. (name of surveyor and engineer) dated July 10, 2023 for property tax map(s) 182 and lot(s) 217 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Land Use Regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

See Attached Waiver Request

Reason(s) for granting this waiver, relative to not being contrary to the spirit and intent of the Land Use Regulations: (if additional space is needed please attach the appropriate documentation hereto):

See Attached Waiver Request

Signed: Kathie Cooper  
Applicant or Authorized Agent

**SCHEDULE OF FEES****A. REVIEW FEES:**

<b><u>1. Site Plan Use</u></b>	<b><u>Project Size/Fee</u></b>	
Multi-Family	\$105.00/unit for 3-50 units \$78.50/unit for each additional unit over 50	\$ <u>          -</u>
Commercial/Semi Public/Civic or Recreational 4,560 SF	\$157.00/1,000 sq. ft. for first 100,000 sq.ft. (bldg. area): \$78.50/1,000 sq.ft. thereafter.	\$ <u>  715.92</u>
Industrial	\$150.00/1,000 sq.ft for first 100,000 sq.ft. (bldg. area); \$78.50/1,000 sq.ft thereafter.	\$ <u>          -</u>
No Buildings	\$30.00 per 1,000 sq.ft. of proposed developed area	\$ <u>          -</u>

**CONSULTANT REVIEW FEE: (Separate Check)**

Total   2.90 acres @ \$600.00 per acre, or \$1,250.00,  
whichever is greater. \$   1,740.00

*This is an estimate for cost of consultant review. The fee is expected to cover the amount. A complex project may require additional funds. A simple project may result in a refund.*

**LEGAL FEE:**

The applicant shall be charged attorney costs billed to the Town for the Town's attorney review of any application plan set documents.

**B. POSTAGE:**

<u>  17</u> Direct Abutters Applicant, Professionals, etc. as required by RSA 676:4.1.d @\$4.78 (or Current Certified Mail Rate)	\$ <u>  81.26</u>
<u>    8</u> Indirect Abutters (property owners within 200 feet) @\$0.63 (or Current First Class Rate)	\$ <u>    5.04</u>

<b>C. <u>TAX MAP UPDATING FEE: (FLAT FEE)</u></b>	\$ <u>  275.00</u>
<b>TOTAL</b>	\$ <u>  2,817.22</u>

Check #1: \$1,077.22 (Town)  
Check #2: \$1,740.00 (Review)

**SCHEDULE OF FEES**

(Continued)

<b>(For Town Use)</b>	
AMOUNT RECEIVED: \$ _____	DATE RECEIVED: _____
RECEIPT NO.: _____	RECEIVED BY: _____

*NOTE: fees below apply only upon plan approval, not collected at time of application.*

**D. RECORDING:**

**\*\*\*The applicant shall be responsible for the recording of the approved plan, and all documents as required by an approval, at the Hillsborough County Registry of Deeds (HCRD), located at 19 Temple Street, Nashua, NH 03061. Additional fees associated with recording can be found at HCRD.\*\*\***

**E. COST ALLOCATION PROCEDURE AMOUNT CONTRIBUTION AND OTHER IMPACT FEE PAYMENTS:**

To be determined by the Planning Board at time of plan approval and shall be paid by the applicant at the time of submittal of the Certificate of Occupancy Permit requests.

**\*\*\*The applicant shall be responsible for all fees incurred by the town for processing and review of the applicant's application, plan and related materials.\*\*\***



July 10, 2023

Town of Hudson  
Planning Department  
12 School Street  
Hudson, New Hampshire 03051

Subject: **Non-Residential Site Plan – Central Gas  
Tax Map 182; Lot 217  
Lowell Road & Central Street – Hudson, New Hampshire  
KNA Project No. 18-0612-3**

**Project Narrative**

The subject property, located at the corner of Lowell Road and Central Street, is referenced on Hudson Tax Map 182 as Lots 216, 217, 218-1, 218-2, and 219. These five (5) lots will be consolidated into a single parcel referenced as Tax Map 182 Lot 217 with a combined area of approximately 2.90 acres. The parcel is located entirely within the Business (B) Zoning District. It was developed with single family residential homes at the time of survey, but those have since been removed. The surrounding land uses include commercial, single family residential, and multi-family residential.

The applicant is proposing to construct a 10-pump gas station, a 4,560 square foot convenience store with drive thru window, and all associated site improvements. Access to the site will be provided via two (2) new 24-foot-wide driveways, one (1) on Lowell Road and one (1) on Central Street. The lot will be serviced by municipal water and sewer. Other site improvements include stormwater management provisions, paved parking areas, utility connections, landscaping, and lighting. No impacts to the wetlands or 50-ft wetland buffer are proposed.



July 10, 2023

Town of Hudson  
Planning Department  
12 School Street  
Hudson, New Hampshire 03051

Subject: **Waiver Request – Central Gas  
Tax Map 182; Lot 217  
Lowell Road & Central Street – Hudson, New Hampshire  
KNA Project No. 18-0612-3**

The Applicant is requesting a waiver from the following section of the Town of Hudson Site Plan Regulations: **Section 276-11.1(12)(c) 100-ft Buffer Between Commercial and Residential Uses**

Hardship reason(s) for granting this waiver:

Based on the location of the abutting residential uses, accessing the site would require a driveway to be located within the 100-ft buffer zone. By not allowing the Applicant to construct driveways, access to the property would be severely restricted making it virtually undevelopable for any non-residential use.

Reason(s) for granting this waiver, relative to not being contrary to the spirit and intent of the Land Use Regulations:

The spirit and intent of this regulation is to provide a 100-ft buffer between residential and non-residential uses. The majority of the developed areas fall outside this buffer zone, however, the entrance driveways to the site are located within the buffer which extends the full width of the Central Street frontage and a significant portion of the Lowell Road frontage. Based on the location of the abutting residential uses, any access driveway would be located within this buffer zone. The remainder of the site improvements do not need to be located within this buffer and are not proposed to be. Therefore, granting this waiver would not be contrary to the spirit and intent of the Town of Hudson Site Plan Regulations.



September 18, 2023

Town of Hudson  
Planning Department  
12 School Street  
Hudson, New Hampshire 03051

Subject: **Waiver Request – Central Gas  
Tax Map 182; Lot 217  
Lowell Road & Central Street – Hudson, New Hampshire  
KNA Project No. 18-0612-3**

The Applicant is requesting a waiver from the following section of the Town of Hudson Site Plan Regulations: **Section 193.10.G. Driveway Design Criteria – Single Driveway Per Parcel**

Hardship reason(s) for granting this waiver:

The subject parcel is situated at a busy intersection on Lowell Road and Central Street. The project proposes two driveways to support the development, including a one-way entrance driveway on Lowell Road and a two-way driveway on Central Street. Allowing both driveways in this orientation will provide relief to the intersection by allowing vehicles turning right into the site from Lowell Road to avoid the intersection altogether. Granting this waiver will enhance site access and reduce traffic at the intersection. A denial would result in hardship because it would cause the site to be less desirable for future customers, suppliers and vendors while also forcing traffic from Lowell Road through an already busy intersection to access the site and limiting access for responding emergency vehicles.

Reason(s) for granting this waiver, relative to not being contrary to the spirit and intent of the Land Use Regulations:

The spirit and intent of the Land Use Regulations will not be opposed by granting this waiver. The intent of the driveway regulations is provide criteria for safe and adequate access to properties. The project proposes to consolidate multiple parcels. Three of the parcels at one time were occupied by houses and each had its own driveway access. As consolidated lots, the property would have adequate lot frontage on both Lowell Road and on Central Street. A turn in only driveway from Lowell Road would increase safety by allowing emergency vehicles a second means of access and quicker response time by not having to go through the busy intersection. One reason for limiting the amount of driveways per property helps reduce congestion to public streets. In this case, however, there will be less congestion by allowing a restricted turn in driveway from Lowell Road by allowing some travelers visiting the site from Lowell Road to avoid an intersection. Therefore, the spirit and intent of the regulation will be upheld by approving this waiver.

## Attachment "B"

**From:** [David LeFevre](#)  
**To:** [Minkarah, Jay](#)  
**Cc:** [Malley, Tim](#)  
**Subject:** RE: Attourney Review - 275-6H  
**Date:** Friday, June 7, 2024 12:16:48 PM

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**EXTERNAL: Do not open attachments or click links unless you recognize and trust the sender.**

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Jay:

It is my understanding that this evidence was presented to the Planning Board, and having reviewed this evidence, the Board voted 5-2 not to require monitoring system referenced by Mr. Oates (below).

The question I answered was whether this Planning Board's decision was contrary to HTC 275-6, H, and in light of the NH Supreme Court's decision in *Mojalaki Holding, LLC v. City of Franklin*, I cannot conclude that the Planning Board made an "error of law." Legally, it does appear that the Planning Board's decision was consistent with *Mojalaki*.

The question now appears to be whether or not the decision of the Planning Board was "unsupported by the evidence." As the Court noted in the *Mojalaki* case, "the factual findings of the planning board as prima facie lawful and reasonable and cannot set aside its decision absent unreasonableness or an identified error of law." Given the standard of review, which is limited, and the deference afforded by the courts, I cannot say with any degree of certainty that the Planning Board's decision was unsupported by the evidence. I would have to review the entirety of the record and all the evidence. I cannot view one piece of evidence and conclude that the Planning Board's decision was unsupported by the evidence.

Please keep in mind, my role as the Town's attorney is to represent the Town generally, and in this instance, the Town acting through its Planning Board. Thus, my role is to support the decision of the Planning Board, which in this case is the 5-2 decision not to require the monitoring system. That is true irrespective of whether or not I would have personally reached the same or a different decision based on the same evidence. It is not my role to represent any party, either in support of, or in opposition to, any particular project. Thus, it would be inappropriate for me to act as an advocate in opposition to the decision of the Planning Board.

Now, if the Planning Board would like me to review all the evidence and provide a legal opinion regarding whether or not I believe the decision is supported by the evidence, I am glad to do so, but I think that assignment would require approval from the Planning Board.

---

**From:** Minkarah, Jay <jminkarah@hudsonnh.gov>  
**Sent:** Friday, June 7, 2024 10:26 AM  
**To:** David LeFevre <dlefevre@tarbellbrodich.com>  
**Cc:** Malley, Tim <tmalley@hudsonnh.gov>  
**Subject:** RE: Attourney Review - 275-6H

Dave,

Mr. Oates would like you to be aware of the attached report to see if it would impact your



## Attachment "B"

conclusions. This report was included in the Planning Board's agenda package for the May 29, 2024 Planning Board meeting, but Mr. Oates' motion to require the installation of hoods and ongoing monitoring for Benzene failed on a 5-2 vote. Note that author appears to lack any scientific credentials. Happy to discuss further.

Jay

Jay Minkarah  
Town of Hudson  
Interim Town Planner/NRPC Circuit Rider  
[jminkarah@hudsonnh.gov](mailto:jminkarah@hudsonnh.gov)

---

**From:** David LeFevre <[dlefevre@tarbellbrodich.com](mailto:dlefevre@tarbellbrodich.com)>  
**Sent:** Thursday, May 30, 2024 4:21 PM  
**To:** Minkarah, Jay <[jminkarah@hudsonnh.gov](mailto:jminkarah@hudsonnh.gov)>  
**Cc:** Malley, Tim <[tmalley@hudsonnh.gov](mailto:tmalley@hudsonnh.gov)>  
**Subject:** RE: Attourney Review - 275-6H

**EXTERNAL: Do not open attachments or click links unless you recognize and trust the sender.**

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Jay:

I'm heading out for the day, and I am in mediation all day tomorrow, but I am glad to follow-up with you next week. In the meantime, there is a new case which may be dispositive of this inquiry.

Hudson Site Plan Regulation 275-6, H, is a "general requirement," which mirrors RSA 674:44, II (a)(3), that provides, "[t]he site plan review regulations which the planning board adopts may . . . [p]rovide for the safe and attractive development or change or expansion of use of the site and guard against such conditions as would involve danger or injury to health, safety, or prosperity by reason of . . . [u]ndesirable and preventable elements of pollution such as noise, smoke, soot, particulates, or any other discharge into the environment which might prove harmful to persons, structures, or adjacent properties."

The NH Supreme Court recently ruled in *Mojalaki Holding, LLC v. City of Franklin*, 2024 N.H. 17 (neutral citation), that these general provisions "do not detail specific requirements that an applicant must meet." *Id.* Rather, "the purpose provisions outline the purposes for the specific regulations that follow." *Id.* "Without specific requirements, the applicant is left without objective standards to guide the application and the proposed project is left to be judged by the subjective views of the Board through ad hoc decision making." *Id.* (emphasis in original). The Planning Board "cannot supersede the specific regulations and ordinances that control the site plan review process with their own personal feelings and then justify their reasoning through the application of general considerations." *Id.* (citation omitted).

Restated, the site plan regulations both "define the purpose of site plan review" and "specify the general standard and requirements with which the proposed development must comply." *Id.*

## Attachment "B"

(citation omitted). The “general purpose” provisions “outline the goals of site plan review regulations” whereas the “other provisions detail the specific technical requirements that applications must meet to achieve the goals of the purpose provisions.” *Id.* “When an application complies with zoning and the specific technical requirements of the site plan regulations, ad hoc decision making without evidentiary support cannot justify denial on the basis of a purposes provision.” *Id.* (emphasis in original).

Based on the NH Supreme Court’s decision in *Mojalaki*, I think it is reasonable to conclude that the Planning Board cannot rely on the “general provisions” as an independent basis for imposing specific technical requirements.

Now, to be fair, I am not familiar with the details of the specific application, and if there was a sufficient evidentiary record to support the need for a monitoring system such as is being suggested by Mr. Oates, I am not prepared to rule out the possibility all together that the Planning Board could impose such a requirement. However, it does appear to be clear in light of this new decision that these general provisions do not, standing along, provide a basis for the Planning Board to impose specific technical requirements that are not otherwise included in the site plan regulations.

---

**From:** Minkarah, Jay <[jminkarah@hudsonnh.gov](mailto:jminkarah@hudsonnh.gov)>

**Sent:** Thursday, May 30, 2024 3:32 PM

**To:** David LeFevre <[dlefevre@tarbellbrodich.com](mailto:dlefevre@tarbellbrodich.com)>

**Subject:** FW: Attourney Review - 275-6H

Dave,

See below and attached – I am happy to fill you in on the background.

Thank you,

Jay

Jay Minkarah

Town of Hudson

Interim Town Planner/NRPC Circuit Rider

[jminkarah@hudsonnh.gov](mailto:jminkarah@hudsonnh.gov)

---

**From:** Victor Oates <[voates@hudsonnh.gov](mailto:voates@hudsonnh.gov)>

**Sent:** Thursday, May 30, 2024 10:30 AM

**To:** Minkarah, Jay <[jminkarah@hudsonnh.gov](mailto:jminkarah@hudsonnh.gov)>; Malley, Tim <[tmalley@hudsonnh.gov](mailto:tmalley@hudsonnh.gov)>; Crowley, James <[jcrowley@hudsonnh.gov](mailto:jcrowley@hudsonnh.gov)>

**Subject:** Attourney Review - 275-6H

The planning board's decision on 5/29 to reject the monitoring system for benzene gas and other pollutants significantly impacts our town's ability to comply with Section 275-6H.

## Attachment "B"

Without adequate monitoring, it is challenging to eliminate harmful pollution, leading to serious health, legal, and environmental repercussions. (Look at the PFAS issue)

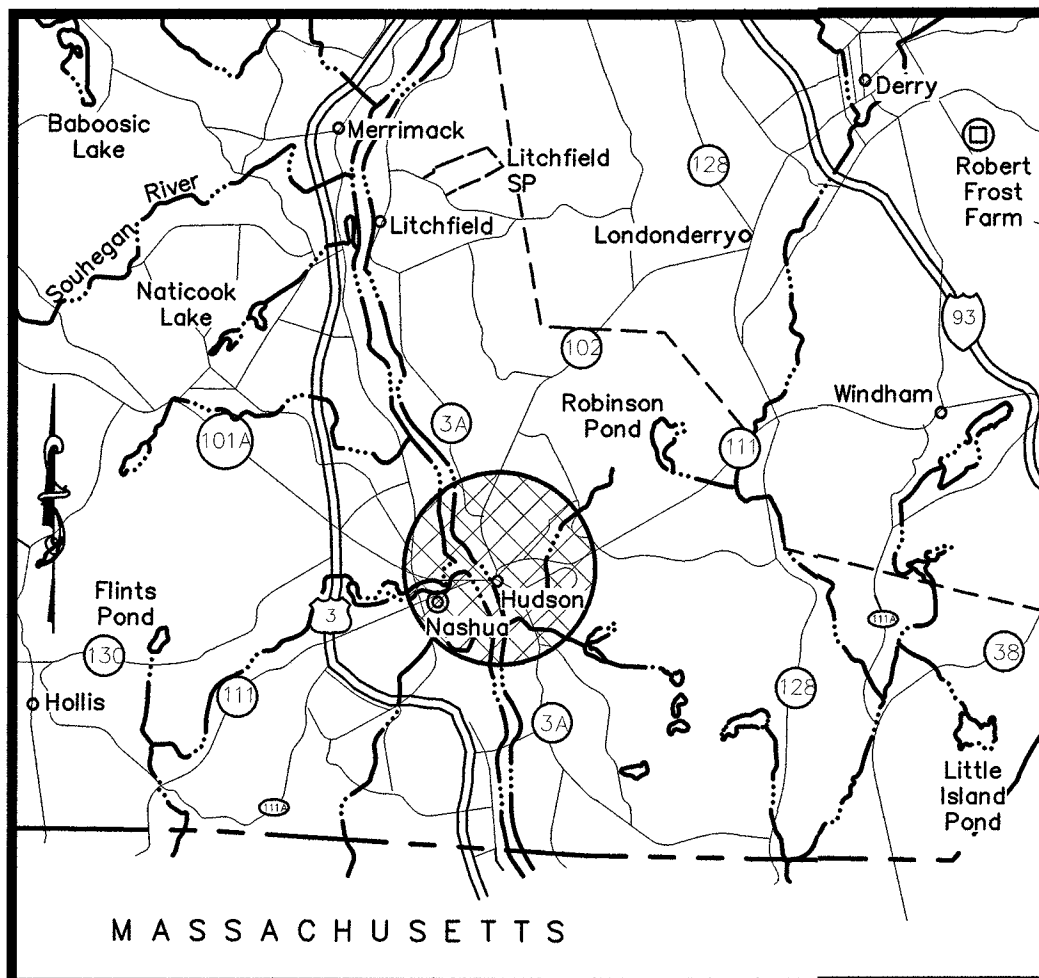
Reassessing the need for a monitoring system or exploring alternative mitigation measures is essential to address these concerns and maintain regulatory compliance.

I request that the town attorney review this matter to provide guidance on our legal obligations to the community and potential risks should we ignore them.

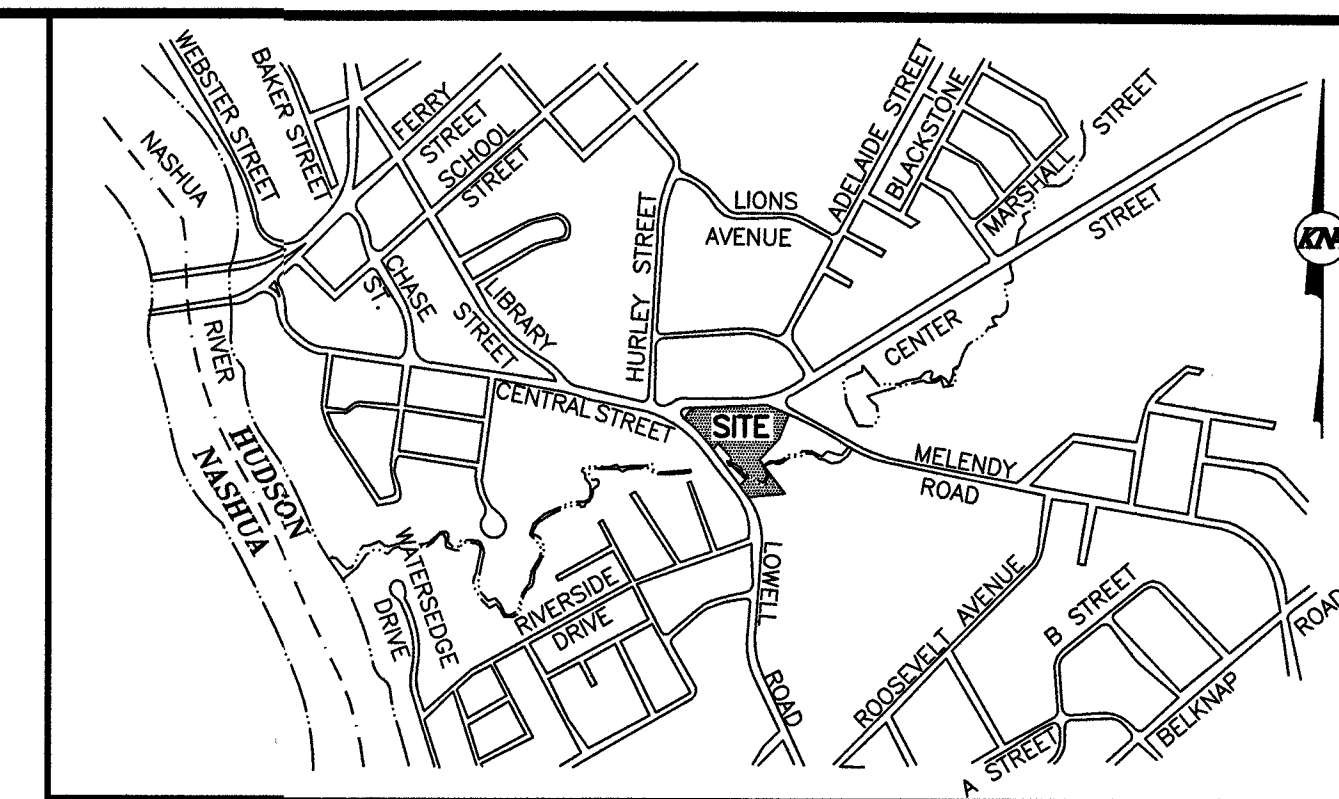
Thank you for your attention to this issue.

Best regards,

Victor J. Oates



VICINITY PLAN  
NOT TO SCALE



VICINITY PLAN  
SCALE: 1" = 1,000±

# NON-RESIDENTIAL SITE PLAN

## CENTRAL GAS

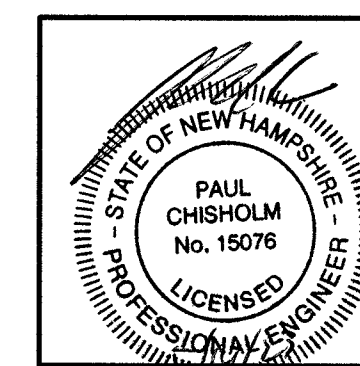
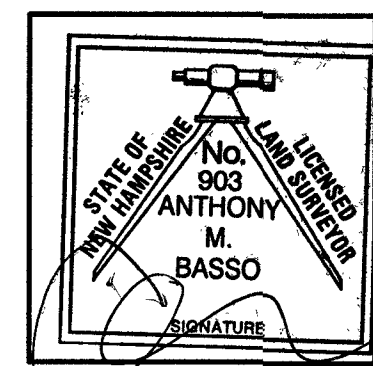
### MAP 182 LOT 217

### LOWELL ROAD & CENTRAL STREET

### HUDSON, NEW HAMPSHIRE

**OWNER / APPLICANT:**  
**NOTTINGHAM SQUARE CORPORATION**  
 46 LOWELL ROAD  
 HUDSON, NH 03051

**PREPARED BY:**  
**KEACH-NORDSTROM ASSOCIATES, INC.**  
 10 COMMERCE PARK NORTH, SUITE 3  
 BEDFORD, NEW HAMPSHIRE 03110  
 (603) 627-2881



**KMA** KEACH-NORDSTROM ASSOCIATES, INC.  
 Civil Engineering Land Surveying Landscape Architecture  
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

JULY 10, 2023

LAST REVISED: MAY 9, 2024

PROJECT NO. 18-0612-3

SHEET TITLE

SHEET No.

MASTER PLAN	1
LOT CONSOLIDATION PLAN	2
EXISTING CONDITIONS PLAN	3
REMOVALS/DEMOLITION PLAN	4
NON-RESIDENTIAL SITE PLAN	5
GRADING AND DRAINAGE PLAN	6
UTILITY PLAN	7
EROSION CONTROL PLAN	8
LANDSCAPE PLAN	9
LIGHTING PLAN	10
TRUCK TURNING PLAN	11
EASEMENT PLAN	12
LOWELL ROAD ENTRANCE - DRIVEWAY PROFILE	13
SIGHT DISTANCE PLAN & PROFILE	14
SEWER PROFILE	15
CONSTRUCTION DETAILS	16 - 20

ARCHITECTURAL DRAWINGS  
 (FROM WARRENSTREET ARCHITECTS)

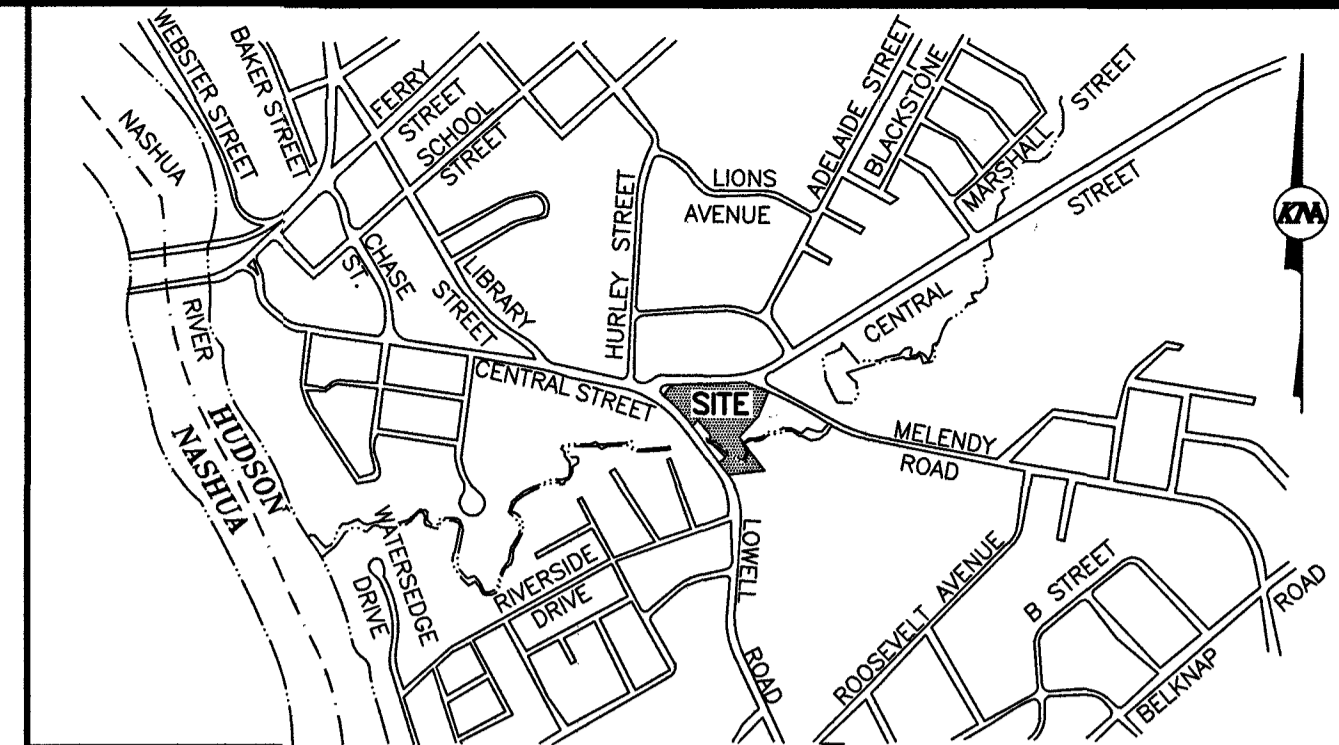
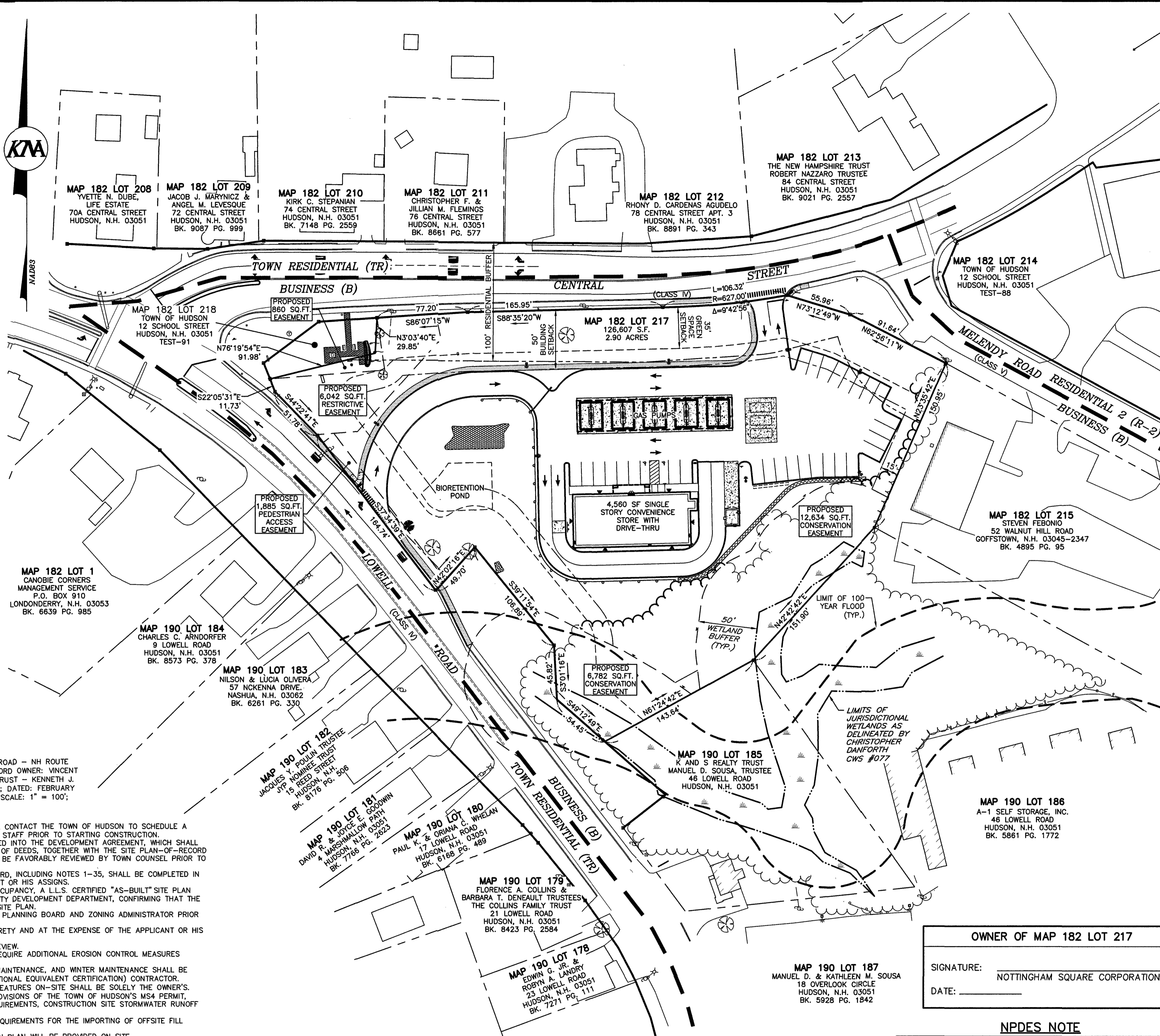
A111 - A202

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL	APPROVED BY THE HUDSON, NH PLANNING BOARD DATE OF MEETING: _____
	_____ SIGNATURE DATE: _____
	_____ SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.	

U:\PROJECT\180612\Production Drawings\180612-01-DETAILS.dwg, 5/13/2024 11:24:22 AM, V:\NA\2021\HP\_A\_4201.PS

**LEGEND**

- NHHB-F N.H. HIGHWAY BOUND FOUND
- FSB-F FIELD STONE BOUND FOUND
- GB-F GRANITE BOUND FOUND
- IPIN-F IRON PIN FOUND
- DH-F DRILL HOLE FOUND
- IPP-F IRON PIPE FOUND
- GB-TBS GRANITE BOUND TO BE SET
- IPIN-TBS IRON PIN TO BE SET
- ▲ SPK-TBS SPIKE TO BE SET
- STREET LIGHT
- UTILITY POLE
- SIGN
- HYDRANT
- WATER SHUT OFF
- SEWER MANHOLE
- DRAINAGE MANHOLE
- CATCH BASIN
- ABUTTER LINE
- PROPERTY LINE
- WETLAND
- CHAIN LINK FENCE
- OVERHEAD UTILITIES
- TREELINE
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- BUILDING SETBACK
- EASEMENT
- 100 YEAR FLOOD
- ZONE LINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED GRANITE CURB



**VICINITY PLAN**  
SCALE: 1" = 1,000±

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW THE LAYOUT OF A PROPOSED GAS STATION AND ACCOMPANYING 4,560 SQUARE FOOT CONVENIENCE STORE WITH A BREAKFAST SANDWICH/DONUT SHOP AND COFFEE DRIVE-THRU WINDOW ON MAP 182 LOT 217 IN HUDSON, NEW HAMPSHIRE AND NO OTHER PURPOSE.
  - MAP 182 LOT 217 INDICATES TOWN OF HUDSON, NEW HAMPSHIRE TAX ASSESSOR'S MAP AND LOT NUMBER.
  - AREA OF PARCEL = 126,607 SQ. FT. OR 2.90 ACRES
  - THE SUBJECT PARCEL IS LOCATED WITHIN THE BUSINESS (B) ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REQUIREMENTS:

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE	30,000 SF	126,607 SF	126,607 SF
MINIMUM LOT FRONTAGE	150 FT	982.2 FT*	982.2 FT*
FRONT YARD SETBACK	50 FT	57 FT	72.7 FT
SIDE YARD SETBACK	15 FT	N/A	N/A
REAR YARD SETBACK	15 FT	N/A	331.6 FT
MAXIMUM BUILDING HEIGHT	38 FT	N/A	37.5 FT

\*INDIVIDUAL STREET FRONTAGE  
LOWELL ROAD = 485.11 FT  
CENTRAL STREET = 349.47 FT  
MELENDY ROAD = 147.60 FT

- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE DURING JUNE THROUGH OCTOBER OF 2018.
- HORIZONTAL DATUM IS NAD83, VERTICAL DATUM IS NAVD88 FROM GPS SURVEY METHODS POST PROCESSED THROUGH NOAA-OPUS.
- EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 33011C0518D, PANEL NUMBER 518 OF 701, EFFECTIVE DATE SEPTEMBER 25, 2009, INDICATES THAT A PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN AN AREA OF 1% ANNUAL CHANCE OF FLOOD WITH NO BASE FLOOD ELEVATIONS DETERMINED.
- THE LOT IS SERVICED BY MUNICIPAL WATER AND SEWER.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR OR OWNER SHALL CONTACT DIG SAFE AT 811.
- EASEMENTS, RIGHTS AND RESTRICTIONS IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.
- OPEN SPACE REQUIRED = 40%
- OPEN SPACE PROPOSED = 62%
- PARKING CALCULATIONS:  
REQUIRED PARKING:  
GAS PUMPS @ 1 SPACE/PUMP X 10 PUMPS = 10 SPACES  
CONVENIENCE STORE:  
1 SPACE/EMPLOYEE ON THE LARGEST SHIFT X 4 EMPLOYEES = 4 SPACES  
1 SPACE/200 SF OF GROSS LEASABLE AREA X 3,760 SF = 19 SPACES  
DRIVE-THRU @ 1 SPACE/100 SF OF GROSS LEASABLE AREA X 800 SF = 8 SPACES  
TOTAL REQUIRED PARKING SPACES = 10 SPACES + 4 SPACES + 19 SPACES + 8 SPACES = 41 SPACES  
PROVIDED PARKING:  
10 PUMP SPACES + 31 SPACES = 41 PROPOSED SPACES (INCLUDES 2 HANDICAP SPACES)
- ONE LOADING SPACE IS REQUIRED FOR NON-RESIDENTIAL BUILDINGS UNDER 5,000 SF AND HAS BEEN PROVIDED.
- PERMITS REQUIRED:  
-NHDES SEWER CONNECTION PERMIT APPROVED ON 5/13/24  
-NHDES NOTICE OF INTENT REQUIRED PRIOR TO CONSTRUCTION  
-NHDES LUST REGISTRATION REQUIRED PRIOR TO CONSTRUCTION  
-NHDES LUST REGISTRATION REQUIRED PRIOR TO CONSTRUCTION
- A WAIVER IS REQUIRED FROM SECTION 276-11.1.B.(12)(c) TO ALLOW A PROPOSED DRIVEWAY, DRIVE AISLE AND PARKING WITHIN 100' OF THE ADJUTING RESIDENTIAL PROPERTIES, AND 193.10 TO ALLOW FOR SECOND DRIVEWAY.
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH 2010 TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADE.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
- CONSTRUCTION ACTIVITIES ON THE SITE SHALL BE LIMITED TO BETWEEN 7:00 AM AND 7:00 PM MONDAY THROUGH SATURDAY. NO CONSTRUCTION ACTIVITIES SHALL BE ALLOWED ON SUNDAYS.
- IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON WEEKENDS. BLASTING WILL MEET HUDSON ORDINANCE 202 REQUIREMENTS.
- SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
- HOURS FOR REFUSE REMOVAL AND DELIVERIES OF SUPPLIES SHALL BE NO EARLIER THAN 7:00 AM AND NO LATER THAN 7:00 PM, MONDAY THROUGH FRIDAY ONLY. SAID ACTIVITIES SHALL BE PROHIBITED ON SATURDAY AND SUNDAY.
- THE GAS STATION AND CONVENIENCE STORE WILL BE OPEN 24/7.
- PLOWED SNOW FROM THE FACILITIES, DRIVEWAY, PARKING LOTS AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. NO SNOW MAY BE PLOWED OR STORED ON THE ADJUTING PARCELS. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

**REFERENCE PLANS:**

- "SUBDIVISION PLAN - (MAP 240, LOT 13) - 27 RIVER ROAD - NH ROUTE 3A - HUDSON, NEW HAMPSHIRE - PREPARED FOR/RECORD OWNER: VINCENT F. BRACCIO "HE'S A WONDERFUL FATHER" REVOCABLE TRUST - KENNETH J. BRACCIO, TR., 147 BELKNAP ROAD, HUDSON, NH 03051", DATED: FEBRUARY 24, 2016; PREPARED BY: HSI HAYNER/SWANSON, INC.; SCALE: 1" = 100'; H.C.R.D. PLAN NO. 388655

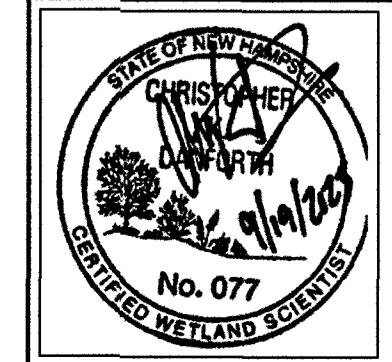
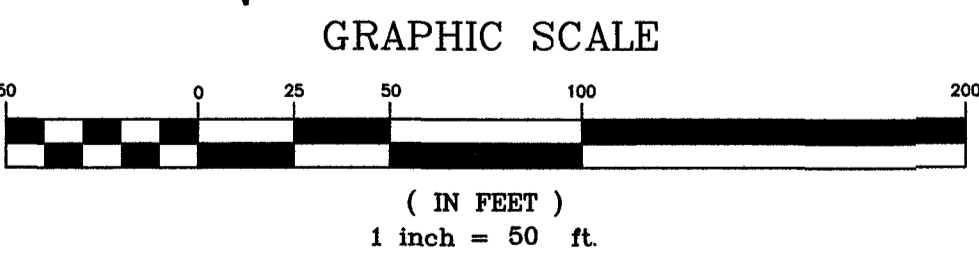
**NOTES (CONTINUED):**

- THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE TOWN OF HUDSON TO SCHEDULE A PRE-CONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION.
- ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS, TOGETHER WITH THE SITE PLAN-OF-RECORD AND ALL AGREED UPON EASEMENT DEEDS, WHICH SHALL BE FAVORABLY REVIEWED BY TOWN COUNSEL PRIOR TO PLANNING BOARD APPROVAL OF PLAN.
- ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OF-RECORD, INCLUDING NOTES 1-35, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
- PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, A L.L.S. CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED SITE PLAN.
- ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD AND ZONING ADMINISTRATOR PRIOR TO INSTALLATION THEREOF.
- ALL IMPROVEMENTS SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
- THIS PLAN SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW.
- THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION.
- NO CHEMICAL DE-ICERS ARE TO BE USED FOR WINTER MAINTENANCE, AND WINTER MAINTENANCE SHALL BE PERFORMED BY A GREEN SNO-PRO CERTIFIED (OR FUNCTIONAL EQUIVALENT CERTIFICATION) CONTRACTOR.
- THE RESPONSIBILITY OF MAINTAINING THE STORMWATER FEATURES ON-SITE SHALL BE SOLELY THE OWNER'S.
- THE OWNER WILL BE REQUIRED TO COMPLY WITH ALL PROVISIONS OF THE TOWN OF HUDSON'S M54 PERMIT, INCLUDING BUT NOT LIMITED TO ANNUAL REPORTING REQUIREMENTS, CONSTRUCTION SITE STORMWATER RUNOFF CONTROL, AND RECORD KEEPING REQUIREMENTS.
- CONTRACTOR SHALL FOLLOW THE TOWN OF HUDSON'S REQUIREMENTS FOR THE IMPORTING OF OFFSITE FILL MATERIALS.
- A SPILL PREVENTION KIT AND GENERAL SPILL PREVENTION PLAN WILL BE PROVIDED ON SITE.
- ALL GASOLINE AND GENERAL DELIVERIES SHALL BE LIMITED FROM 7 AM TO 8 PM MONDAY THROUGH FRIDAY AND 8 AM TO 4 PM ON SATURDAY. THERE SHALL BE NO TRUCK DELIVERIES ON SUNDAY.
- ACCORDING TO NHDES RECORDS, THERE IS A POTENTIAL THAT A PORTION OF THE SITE, PREVIOUSLY ADDRESSED AS 1 MELENDY ROAD, MAY BE CONTAMINATED WITH BURIED ASBESTOS. IF NECESSARY, THE APPLICANT WILL HIRE A CONTRACTOR WHO IS LICENSED BY NHDES TO PERFORM WORK IN ASBESTOS DISPOSAL SITES.
- ACCORDING TO NHDES RECORDS, THERE IS A POTENTIAL THAT BURIED UNDERGROUND STORAGE TANKS MAY BE ENCOUNTERED DURING CONSTRUCTION. IF DISCOVERED, ANY UNDERGROUND STORAGE TANKS WILL BE REMOVED AND DISPOSED OF ACCORDING TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.

**OWNER OF MAP 182 LOT 217**  
SIGNATURE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
NOTTINGHAM SQUARE CORPORATION

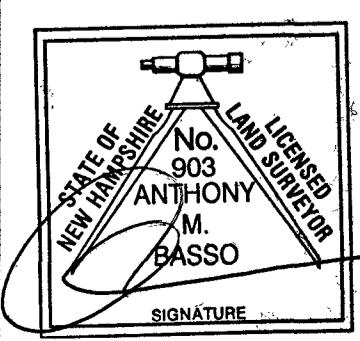
**NPDES NOTE**

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND. THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.



JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED IN JUNE OF 2022 BY CHRISTOPHER K. DANFORTH CWS #077. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING "FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES" A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, NRCS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USACE 2020 NATIONAL WETLAND PLANT LIST, NWPL 2020 VERSION 3.5 [HTTP://WETLAND-PLANTS.USACE.ARMY.MIL](http://wetland-plants.usace.army.mil).

**SURVEYOR'S CERTIFICATION:**  
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE DURING JUNE THROUGH OCTOBER OF 2018. SAID SURVEY HAS AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1:10,000).  
DATE: 5/14/24  
LICENSED LAND SURVEYOR



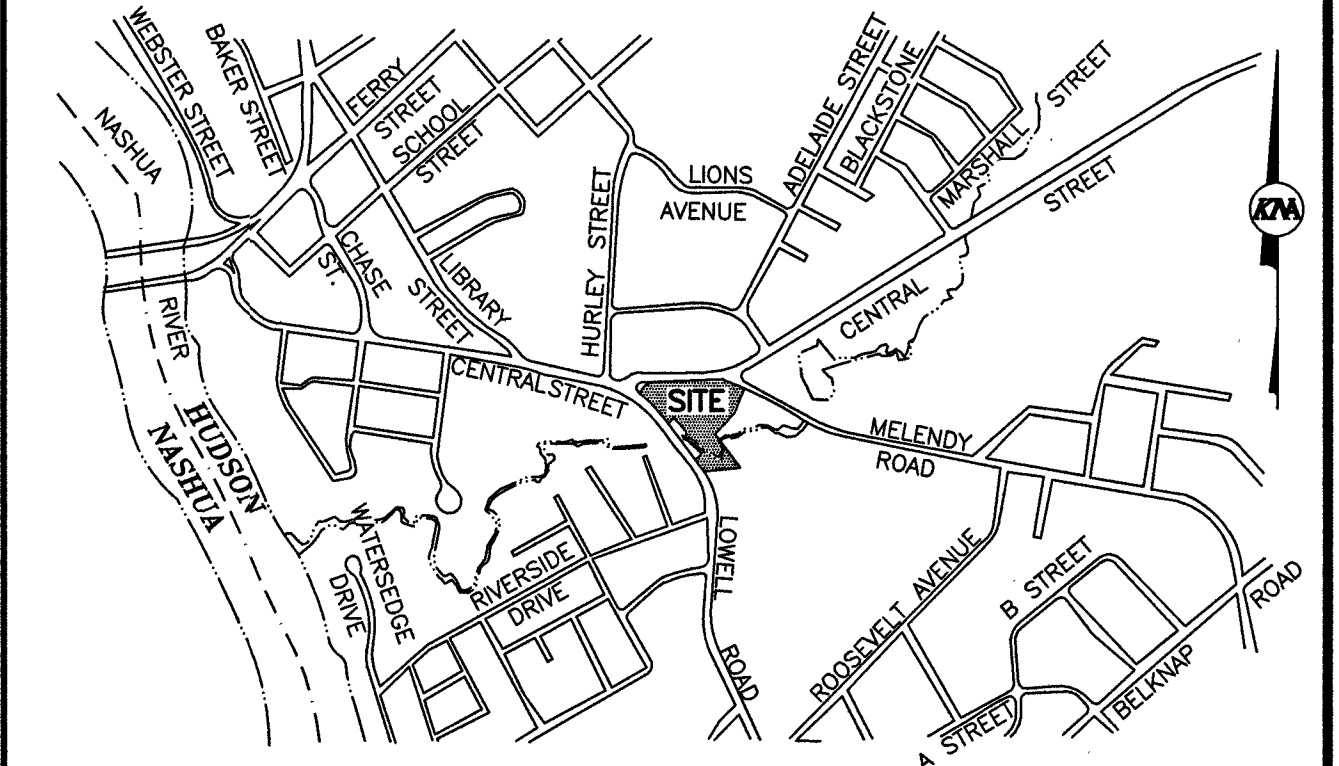
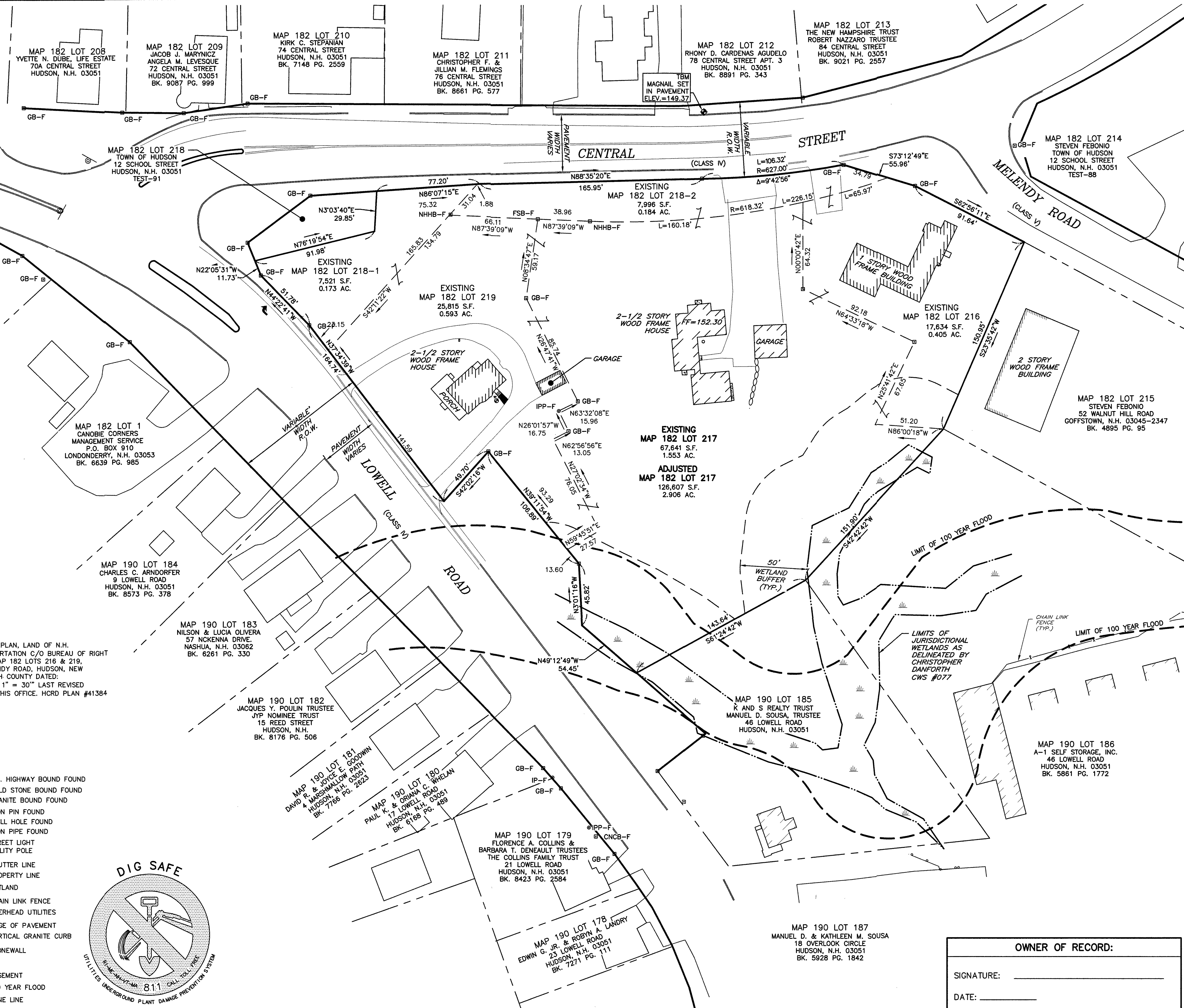
**OWNER/APPLICANT:**  
NOTTINGHAM SQUARE CORPORATION  
46 LOWELL ROAD  
HUDSON, N.H. 03051



10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

No.	DATE	DESCRIPTION	BY
1	09-07-2023	REVISIONS PER TOWN AND PEER REVIEW	BES
2	10-25-2023	REVISIONS PER TOWN AND PEER REVIEW	PDC
3	2-14-2024	REVS PER PB COMMENTS & PEER REVIEW	PCM
4	3-13-2024	REVS PER PB COMMENTS	PCM
5	4-19-2024	REVS PER NHDES SEWER COMMENTS	PCM
6	5-9-2024	REVS PER PB COMMENTS	PCM

**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
DATE OF MEETING: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

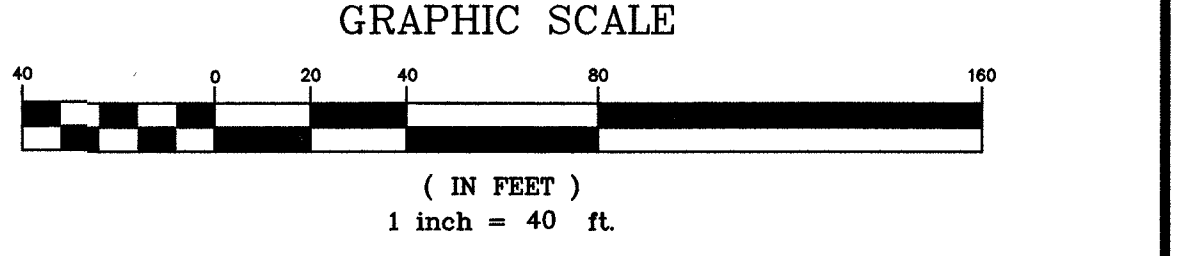


VICINITY PLAN  
SCALE: 1" = 1,000±

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE LOT CONSOLIDATION OF ASSESSOR'S MAP 182 LOTS 216, 217, 218-1, 218-2 & 219 INTO ONE LOT 217 IN HUDSON, NEW HAMPSHIRE.
  - LOT AREAS:
 

LOT	EXISTING	PROPOSED
LOT 216	17,634 S.F.	126,607 S.F.
LOT 217	67,641 S.F.	126,607 S.F.
LOT 218-1	7,521 S.F.	-----
LOT 218-2	7,996 S.F.	-----
LOT 219	25,815 S.F.	-----
  - THE SUBJECT PARCEL IS LOCATED WITHIN THE BUSINESS (B) ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REQUIREMENTS:  
MINIMUM BUILDING SETBACKS:  
- FRONT 50 FT  
- SIDE 15 FT  
- REAR 15 FT
  - BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE DURING JUNE THROUGH OCTOBER OF 2018.
  - HORIZONTAL DATUM IS NAD83 POST PROCESSED THROUGH NOAA-OPUS.
  - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 33011C0518D, PANEL NUMBER 518 OF 701, EFFECTIVE DATE SEPTEMBER 25, 2009, INDICATES THAT A PORTION OF THE SUBJECT PARCEL IS LOCATED IN A ZONE A, AREA OF 1% ANNUAL CHANCE OF FLOOD WITH NO BASE FLOOD ELEVATIONS DETERMINED.
  - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR OR OWNER SHALL CONTACT DIG SAFE AT 811.
  - EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS, OTHER EASEMENTS, RIGHTS AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.
  - EXISTING BUILDING HEIGHTS:  
LOT 216 HOUSE - LESS THAN 40 FEET  
LOT 217 HOUSE - LESS THAN 40 FEET  
LOT 219 HOUSE - LESS THAN 40 FEET

OWNERS OF RECORD	OWNERS OF RECORD
MAP 182 LOT 216 NOTTINGHAM SQUARE CORPORATION 46 LOWELL ROAD HUDSON, N.H. 03051 HCRD BK. 9129 PG. 0164	MAP 182 LOT 217 CENTRAL HUDSON, LLC 48 LOWELL ROAD HUDSON, N.H. 03051 HCRD BK. 9113 PG. 1183
MAP 182 LOT 218-1 & 218-2 NOTTINGHAM SQUARE CORPORATION 46 LOWELL ROAD HUDSON, N.H. 03051 HCRD BK. 9625 PG. 252	MAP 182 LOT 219 NOTTINGHAM SQUARE CORPORATION 46 LOWELL ROAD HUDSON, N.H. 03051 HCRD BK. 9129 PG. 0167



**REFERENCE PLAN**

- SURPLUS LAND DISPOSAL PLAN, LAND OF N.H. DEPARTMENT OF TRANSPORTATION C/O BUREAU OF RIGHT OF WAY, ADJACENT TO MAP 182 LOTS 216 & 219, CENTRAL STREET & MELENDY ROAD, HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY DATED: MARCH 29, 2022, SCALE: 1" = 30" LAST REVISED 4/14/22, PREPARED BY THIS OFFICE. HCRD PLAN #41384

**LEGEND**

- ▣ NHHB-F N.H. HIGHWAY BOUND FOUND
- ▣ FSB-F FIELD STONE BOUND FOUND
- GB-F GRANITE BOUND FOUND
- IPIN-F IRON PIN FOUND
- DH-F DRILL HOLE FOUND
- IPP-F IRON PIPE FOUND
- ⊕ STREET LIGHT UTILITY POLE
- ABUTTER LINE
- PROPERTY LINE
- WETLAND
- CHAIN LINK FENCE
- OHU OVERHEAD UTILITIES
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- STONEWALL
- EASEMENT
- 100 YEAR FLOOD
- ZONE LINE



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
DATE OF MEETING: \_\_\_\_\_

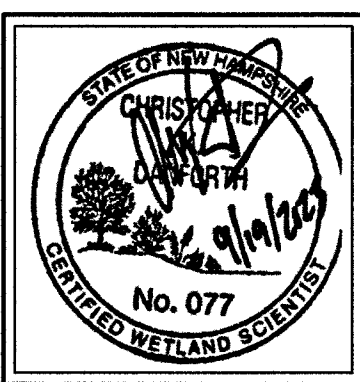
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SIGNATURE DATE: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

**UTILITY NOTE**

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN DRAWN FROM FIELD SURVEY INFORMATION AND/OR PLOTTED FROM EXISTING DRAWINGS. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, KEACH-NORDSTROM ASSOCIATES, INC. DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. KEACH-NORDSTROM ASSOCIATES, INC. HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.



JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED IN JUNE OF 2022 BY CHRISTOPHER K. DANFORTH CWS #077. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING "FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES" A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, NRCS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USACE 2020 NATIONAL WETLAND PLANT LIST, NWPL 2020 VERSION 3.5 [HTTP://WETLAND-PLANTS.USACE.ARMY.MIL](http://wetland-plants.usace.army.mil)

**SURVEYOR'S CERTIFICATION:**

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE DURING JUNE THROUGH OCTOBER OF 2018. SAID SURVEY HAS AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1:10,000).

\_\_\_\_\_  
DATE: JULY 10, 2023  
LICENSED LAND SURVEYOR

**OWNER/APPLICANT:**  
NOTTINGHAM SQUARE CORPORATION  
46 LOWELL ROAD  
HUDSON, N.H. 03051

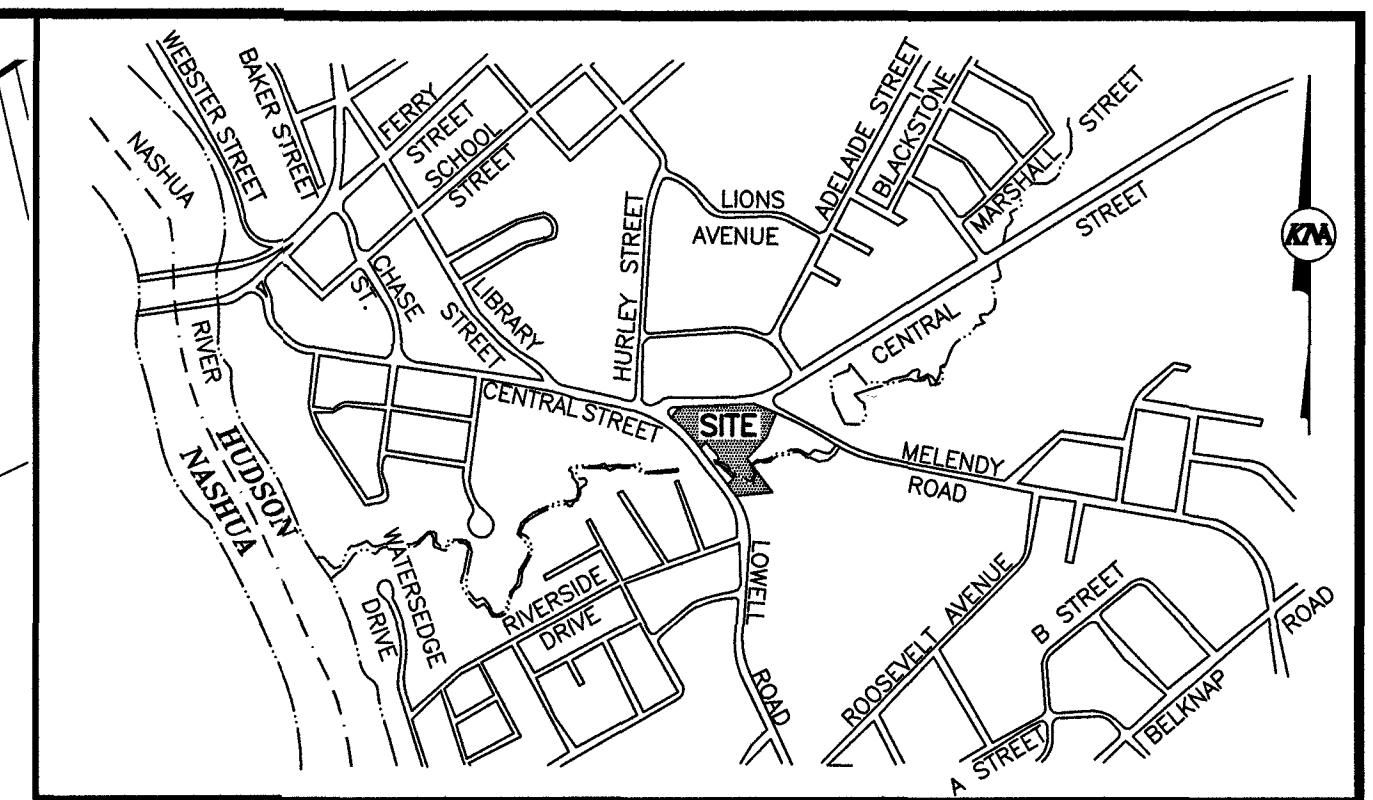
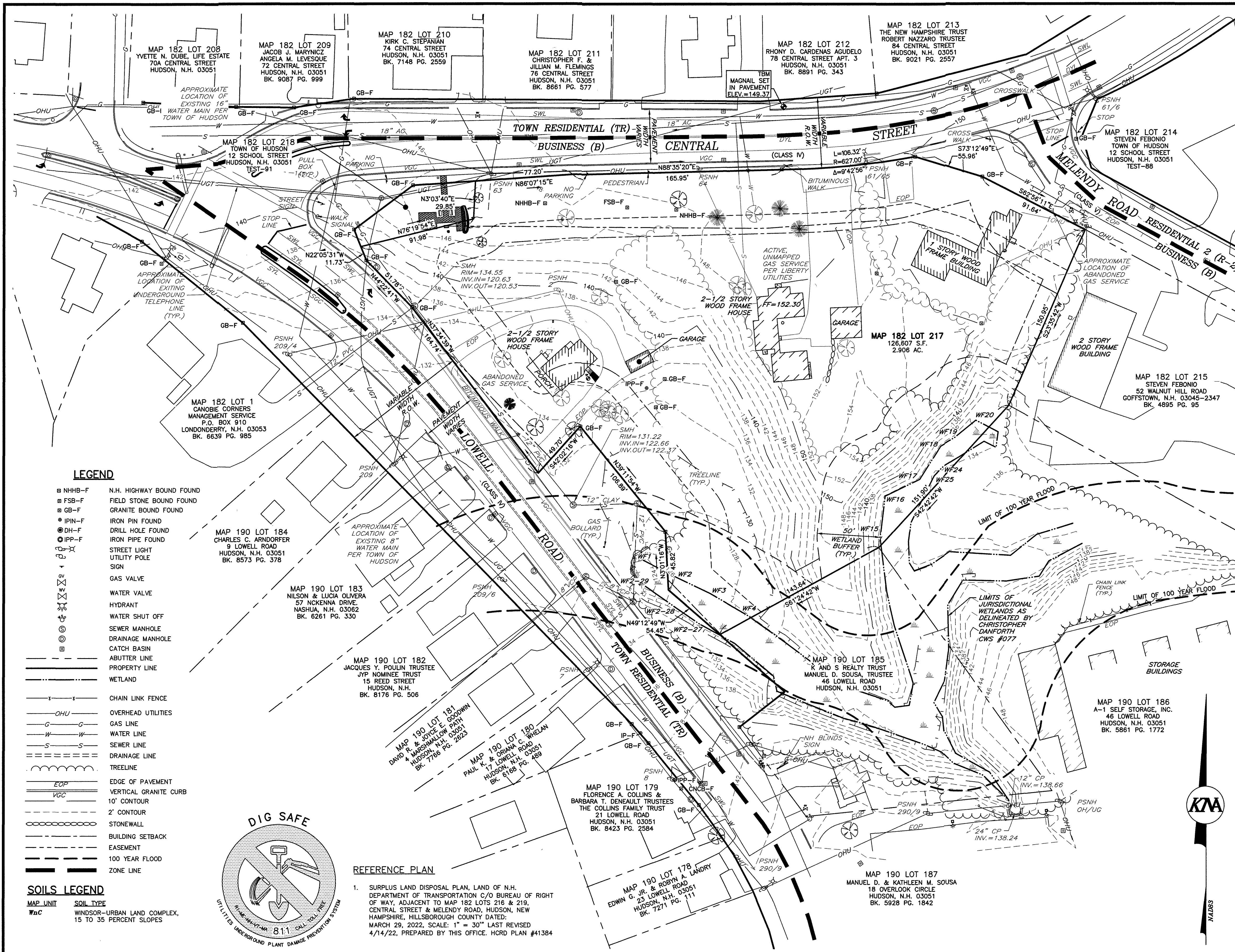
**OWNER OF RECORD:**

SIGNATURE: \_\_\_\_\_  
DATE: \_\_\_\_\_

**REVISIONS**

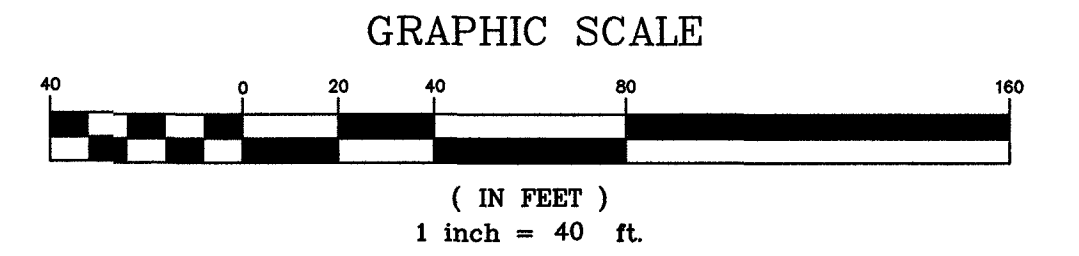
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2	10-25-2023	REVISIONS PER TOWN AND PEER REVIEW	PCD
3	2-14-2024	REVS PER PB COMMENTS & PEER REVIEW	PCM
4	3-13-2024	REVS PER PB COMMENTS	PCM
5	4-19-2024	REVS PER NHDES SEWER COMMENTS	PCM
6	5-9-2024	REVS PER PB COMMENTS	PCM

DATE: JULY 10, 2023  
PROJECT NO: 18-0612-3  
SCALE: 1" = 40'  
SHEET 2 OF 20



VICINITY PLAN  
SCALE: 1" = 1,000±

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS FOR CONSOLIDATED ASSESSOR'S MAP 182 LOT 217 IN HUDSON, NEW HAMPSHIRE.
  - TOTAL SITE AREA: 126,607 OR 2,906 ACRES.
  - THE SUBJECT PARCEL IS LOCATED WITHIN THE BUSINESS (B) ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REQUIREMENTS:  
MINIMUM BUILDING SETBACKS:  
- FRONT 50 FT  
- SIDE 15 FT  
- REAR 15 FT
  - BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE DURING JUNE THROUGH OCTOBER OF 2018.
  - HORIZONTAL DATUM IS NAD83, VERTICAL DATUM IS NAVD88 FROM GPS SURVEY METHODS POST PROCESSED THROUGH NOAA-OPUS.
  - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 330110051B, PANEL NUMBER 518 OF 701, EFFECTIVE DATE SEPTEMBER 25, 2009, INDICATES THAT A PORTION OF THE SUBJECT PARCEL IS LOCATED IN A ZONE A, AREA OF 1% ANNUAL CHANCE OF FLOOD WITH NO BASE FLOOD ELEVATIONS DETERMINED.
  - WATER AND SEWER INFORMATION PROVIDED BY THE TOWN OF HUDSON.
  - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR OR OWNER SHALL CONTACT DIG SAFE AT 811.
  - EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.



**EXISTING CONDITIONS PLAN**  
**CENTRAL GAS**  
MAP 182; LOT 217  
LOWELL ROAD & CENTRAL STREET  
HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

**OWNER/APPLICANT:**  
NOTTINGHAM SQUARE CORPORATION  
46 LOWELL ROAD  
HUDSON, N.H. 03051

**KMA** KEACH-NORDSTROM ASSOCIATES, INC.  
Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

- LEGEND**
- ▣ NHHB-F N.H. HIGHWAY BOUND FOUND
  - ▣ FSB-F FIELD STONE BOUND FOUND
  - ▣ GB-F GRANITE BOUND FOUND
  - IPIN-F IRON PIN FOUND
  - ⊙ DH-F DRILL HOLE FOUND
  - ⊙ IPP-F IRON PIPE FOUND
  - ⊙ STREET LIGHT UTILITY POLE
  - ⊙ SIGN
  - ⊙ GAS VALVE
  - ⊙ WATER VALVE
  - ⊙ HYDRANT
  - ⊙ WATER SHUT OFF
  - ⊙ SEWER MANHOLE
  - ⊙ DRAINAGE MANHOLE
  - ⊙ CATCH BASIN
  - ⊙ ABUTTER LINE
  - ⊙ PROPERTY LINE
  - ⊙ WETLAND
  - ⊙ CHAIN LINK FENCE
  - ⊙ OHU OVERHEAD UTILITIES
  - ⊙ G GAS LINE
  - ⊙ W WATER LINE
  - ⊙ S SEWER LINE
  - ⊙ DRAINAGE LINE
  - ⊙ TREELINE
  - ⊙ EOP EDGE OF PAVEMENT
  - ⊙ VGC VERTICAL GRANITE CURB
  - ⊙ 10' CONTOUR
  - ⊙ 2' CONTOUR
  - ⊙ STONEWALL
  - ⊙ BUILDING SETBACK
  - ⊙ EASEMENT
  - ⊙ 100 YEAR FLOOD
  - ⊙ ZONE LINE

- SOILS LEGEND**
- | MAP UNIT | SOIL TYPE   |
|----------|---|
| W2C      | WINDSOR-URBAN LAND COMPLEX, 15 TO 35 PERCENT SLOPES |

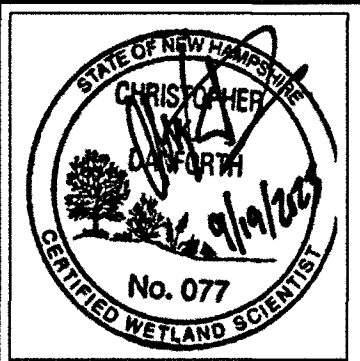


**REFERENCE PLAN**

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**UTILITY NOTE**

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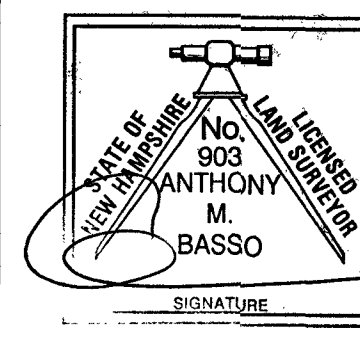
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DATE: JULY 10, 2023  
5/14/24  
LICENSED LAND SURVEYOR

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
DATE OF MEETING: \_\_\_\_\_  
SIGNATURE DATE: \_\_\_\_\_  
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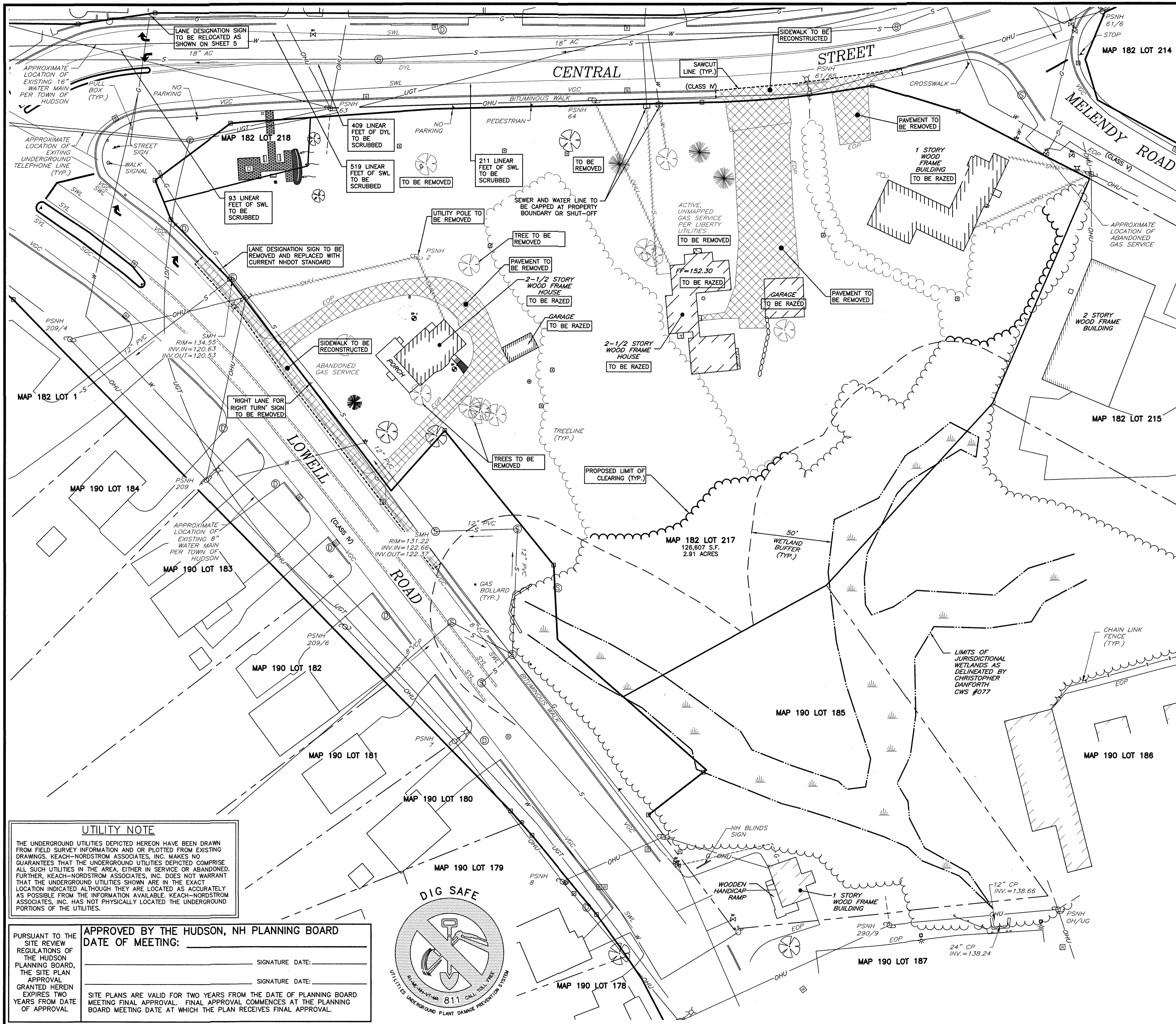
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DATE: JULY 10, 2023  
PROJECT NO: 18-0612-3  
SHEET 3 OF 20

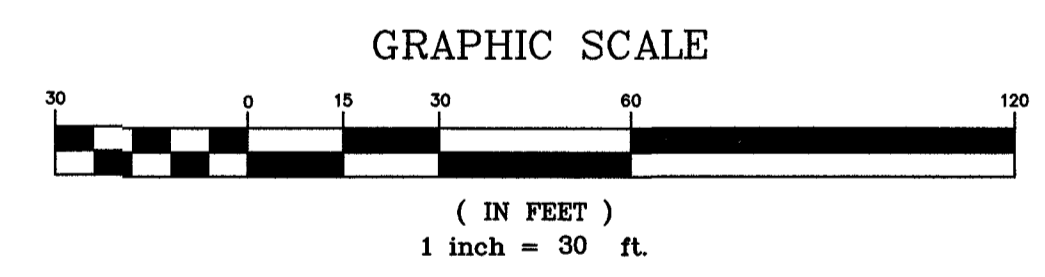


**REMOVALS/DEMOLITION NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING FEATURES ON SITE TO BE REMOVED, SALVAGED, OR REPLACED.
2. ALL STUMPS, ROOTS, BRANCHES, BRUSH, WOODS AND OTHER PERISHABLE MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATIONS SHALL BE DISPOSED OF BY AN APPROVED METHOD.
3. ITEMS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE TOWN OF HUDSON REQUIREMENTS, UNLESS OTHERWISE SHOWN HEREON OR DIRECTED BY OWNER.
4. ALL EXISTING PAVEMENT AND GRAVEL WITHIN THE CROSS HATCHED AREA IS TO BE REMOVED DURING THE DEMOLITION PHASE OF THE PROJECT. EXCESS MATERIAL FROM THESE AREAS SHALL BE APPROPRIATELY DISPOSED OF OFFSITE BY AN APPROVED METHOD.
5. THE CONTRACTOR SHALL CONTROL ALL DUST GENERATED DURING THE REMOVAL PHASE AND CONSTRUCTION PHASE SO THAT NO DUST LEAVES THE SITE.
6. ANY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE RESET BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR AT THE SITE CONTRACTORS EXPENSE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
8. DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
9. CONTRACTOR SHALL PROVIDE TIES AND GPS LOCATIONS FOR UTILITY CAPS.

**LEGEND**

- NHBB-F N.H. HIGHWAY BOUND FOUND
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- GB-F GRANITE BOUND FOUND
- IPIN-F IRON PIN FOUND
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- UTILITY POLE
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- TREELINE
- EOP EDGE OF PAVEMENT
- VGC VERTICAL GRANITE CURB
- STONEWALL
- BUILDING SETBACK
- EASEMENT
- ▨ PAVEMENT OR GRAVEL TO BE REMOVED
- /// UTILITY TO BE REMOVED



**REMOVALS/DEMOLITION PLAN**  
**CENTRAL GAS**  
 MAP 182; LOT 217  
 LOWELL ROAD & CENTRAL STREET  
 HUDSON, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

**OWNER/APPLICANT:**  
 NOTTINGHAM SQUARE CORPORATION  
 46 LOWELL ROAD  
 HUDSON, N.H. 03051

**K&A**  
 KEACH-NORDSTROM ASSOCIATES, INC.  
 Civil Engineering Land Surveying Landscape Architecture  
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

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DATE: JULY 10, 2023 SCALE: 1" = 30'  
 PROJECT NO: 18-0612-3 SHEET 4 OF 20

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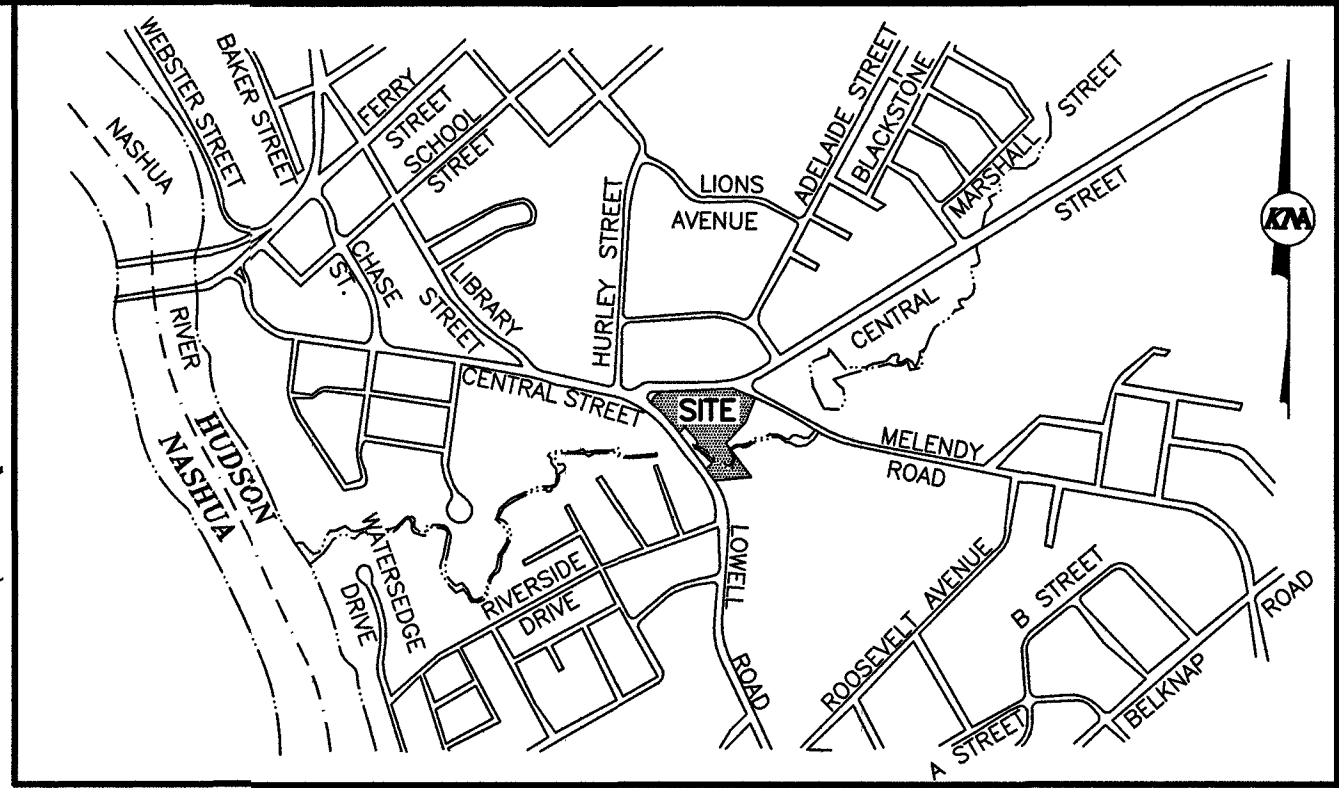
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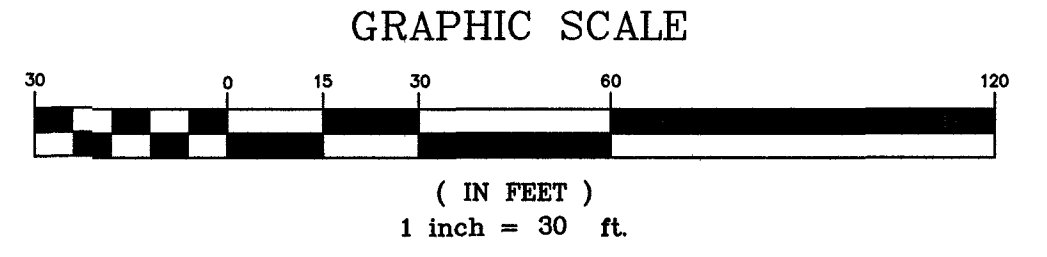






VICINITY PLAN  
SCALE: 1" = 1,000±

- LEGEND**
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  - IPP-F IRON PIPE FOUND
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  - IPIN-TBS IRON PIN TO BE SET
  - ▲ SPK-TBS SPIKE TO BE SET
  - STREET LIGHT
  - UTILITY POLE SIGN
  - GAS VALVE
  - WATER VALVE
  - HYDRANT
  - WATER SHUT OFF
  - SEWER MANHOLE
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  - EOP EDGE OF PAVEMENT
  - VGC VERTICAL GRANITE CURB
  - STONEWALL
  - BUILDING SETBACK
  - EASEMENT
  - 100 YEAR FLOOD
  - PROPOSED TRELLINE
  - PROPOSED EDGE OF PAVEMENT
  - PROPOSED VERTICAL GRANITE CURB
  - PROPOSED RETAINING WALL



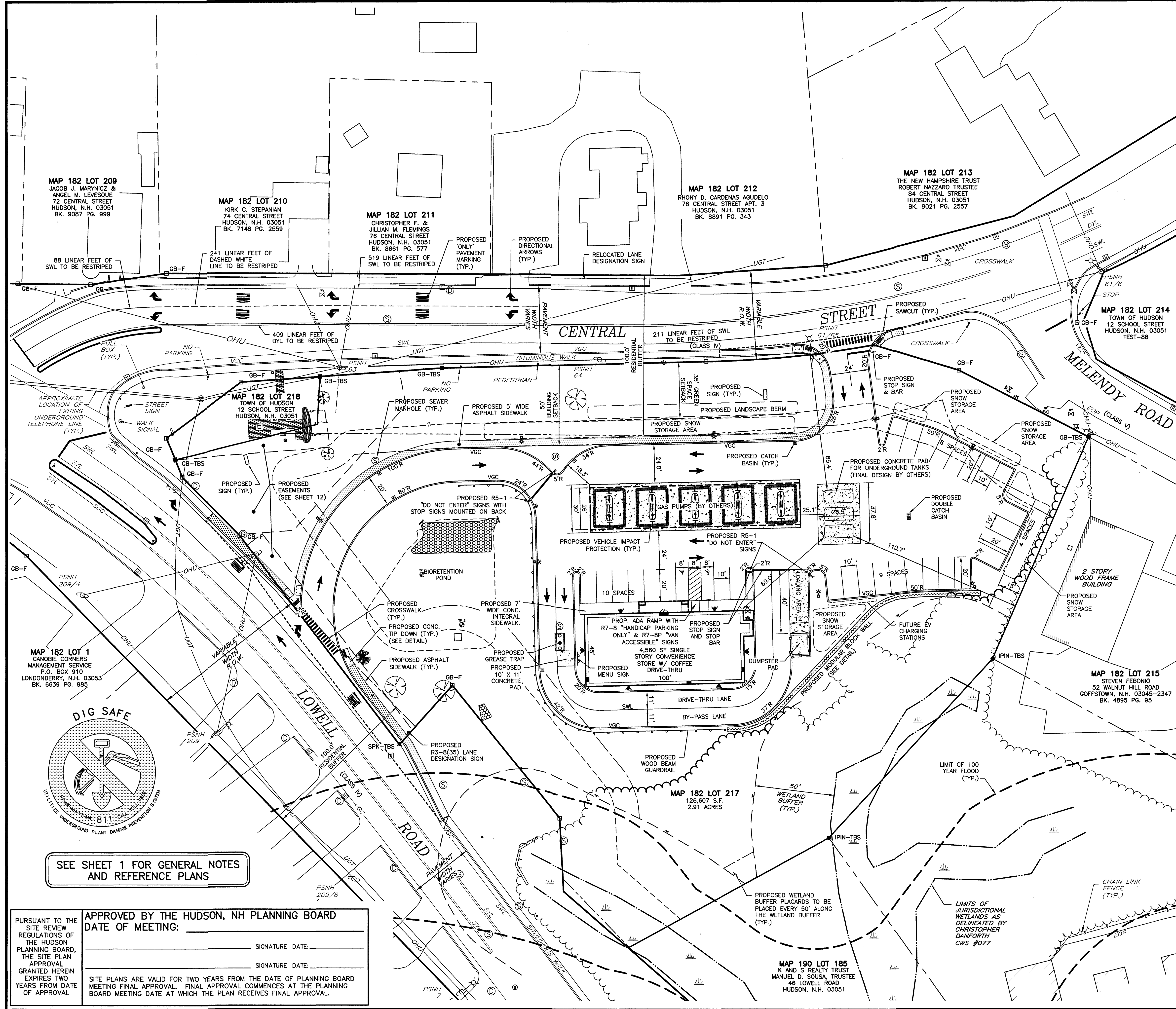
**NON-RESIDENTIAL SITE PLAN**  
**CENTRAL GAS**  
MAP 182; LOT 217  
LOWELL ROAD & CENTRAL STREET  
HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

**OWNER/APPLICANT:**  
NOTTINGHAM SQUARE CORPORATION  
46 LOWELL ROAD  
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DATE: JULY 10, 2023 SCALE: 1" = 30'  
PROJECT NO: 18-0612-3 SHEET 5 OF 20



MAP 182 LOT 209  
JACOB J. MARYNICZ &  
ANGEL M. LEVESQUE  
72 CENTRAL STREET  
HUDSON, N.H. 03051  
BK. 9087 PG. 999

MAP 182 LOT 210  
KIRK C. STEPANIAN  
74 CENTRAL STREET  
HUDSON, N.H. 03051  
BK. 7148 PG. 2559

MAP 182 LOT 211  
CHRISTOPHER F. &  
JILLIAN M. FLEMINGS  
76 CENTRAL STREET  
HUDSON, N.H. 03051  
BK. 8661 PG. 577

MAP 182 LOT 212  
RHONY D. CARDENAS AGUDELO  
78 CENTRAL STREET APT. 3  
HUDSON, N.H. 03051  
BK. 8891 PG. 343

MAP 182 LOT 213  
THE NEW HAMPSHIRE TRUST  
ROBERT NAZZARO TRUSTEE  
84 CENTRAL STREET  
HUDSON, N.H. 03051  
BK. 9021 PG. 2557

MAP 182 LOT 214  
TOWN OF HUDSON  
12 SCHOOL STREET  
HUDSON, N.H. 03051  
TEST-88

MAP 182 LOT 218  
TOWN OF HUDSON  
12 SCHOOL STREET  
HUDSON, N.H. 03051

MAP 182 LOT 1  
CANOBIE CORNERS  
MANAGEMENT SERVICE  
P.O. BOX 910  
LONDONDERY, N.H. 03053  
BK. 6639 PG. 985

MAP 182 LOT 215  
STEVEN FEBONIO  
52 WALNUT HILL ROAD  
COFFSTOWN, N.H. 03045-2347  
BK. 4895 PG. 95

MAP 182 LOT 217  
126,607 S.F.  
2.91 ACRES

MAP 190 LOT 185  
K AND S REALTY TRUST  
MANUEL D. SOUSA, TRUSTEE  
46 LOWELL ROAD  
HUDSON, N.H. 03051



SEE SHEET 1 FOR GENERAL NOTES  
AND REFERENCE PLANS

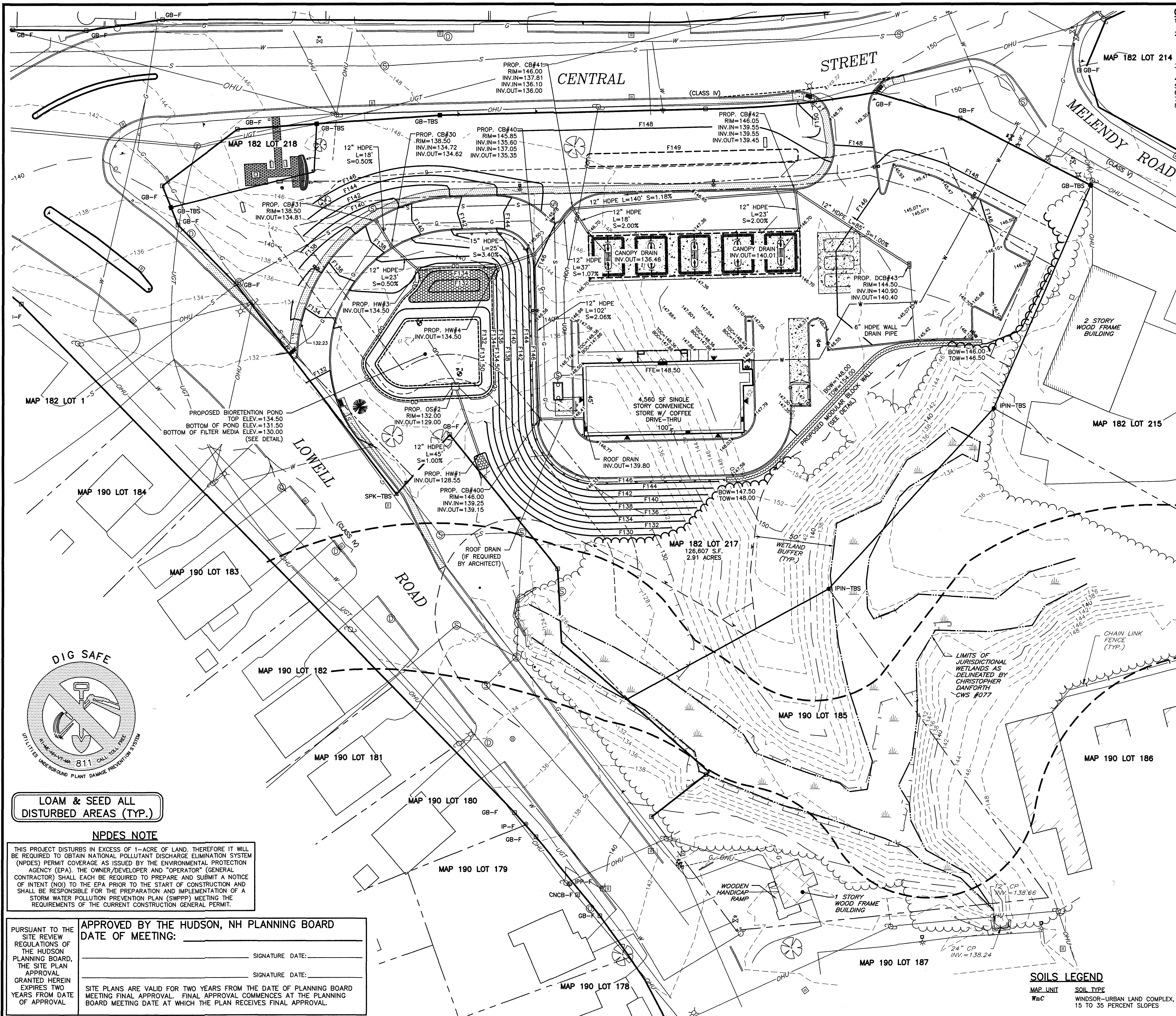
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DATE OF MEETING: \_\_\_\_\_

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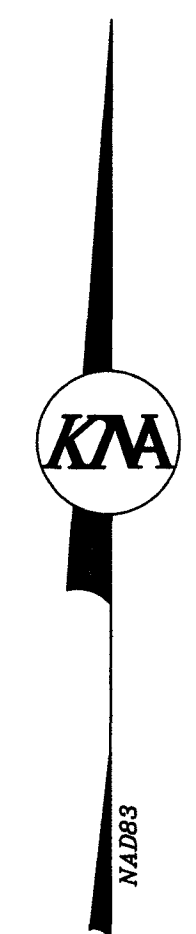


**CONSTRUCTION NOTES:**

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2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
3. PARKING LOT CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS.
4. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDDED.
5. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
6. SEE DETAILS FOR DRAINAGE SPECIFICATIONS.
7. ALL CATCH BASINS SHALL BE EQUIPPED WITH SNOOT DEBRIS AND OIL WATER SEPARATORS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.

**LEGEND**

□ NHHB-F	N.H. HIGHWAY BOUND FOUND
□ FSB-F	FIELD STONE BOUND FOUND
□ GB-F	GRANITE BOUND FOUND
● IPIN-F	IRON PIN FOUND
⊙ DH-F	DRILL HOLE FOUND
⊙ IPP-F	IRON PIPE FOUND
■ GB-TBS	GRANITE BOUND TO BE SET
● IPIN-TBS	IRON PIN TO BE SET
▲ SPK-TBS	SPIKE TO BE SET
+	STREET LIGHT
⊕	UTILITY POLE
⊕	SIGN
⊕	GAS VALVE
⊕	WATER VALVE
⊕	HYDRANT
⊕	WATER SHUT OFF
⊕	SEWER MANHOLE
⊕	DRAINAGE MANHOLE
⊕	CATCH BASIN
⊕	ABUTTER LINE
⊕	PROPERTY LINE
⊕	WETLAND
⊕	CHAIN LINK FENCE
⊕	OVERHEAD UTILITIES
⊕	GAS LINE
⊕	WATER LINE
⊕	SEWER LINE
⊕	TREELINE
⊕	EDGE OF PAVEMENT
⊕	VERTICAL GRANITE CURB
⊕	10' CONTOUR
⊕	2' CONTOUR
⊕	STONEWALL
⊕	BUILDING SETBACK
⊕	EASEMENT
⊕	100 YEAR FLOOD
⊕	PROPOSED UNDERGROUND UTILITIES
⊕	PROPOSED GAS LINE
⊕	PROPOSED WATER LINE
⊕	PROPOSED SEWER LINE
⊕	PROPOSED DRAINAGE LINE
⊕	PROPOSED TREELINE
⊕	PROPOSED EDGE OF PAVEMENT
⊕	PROPOSED SLOPED GRANITE CURB
⊕	PROPOSED 2' CONTOUR
⊕	PROPOSED RETAINING WALL



**LOAM & SEED ALL DISTURBED AREAS (TYP.)**

**NPDES NOTE**

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND. THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

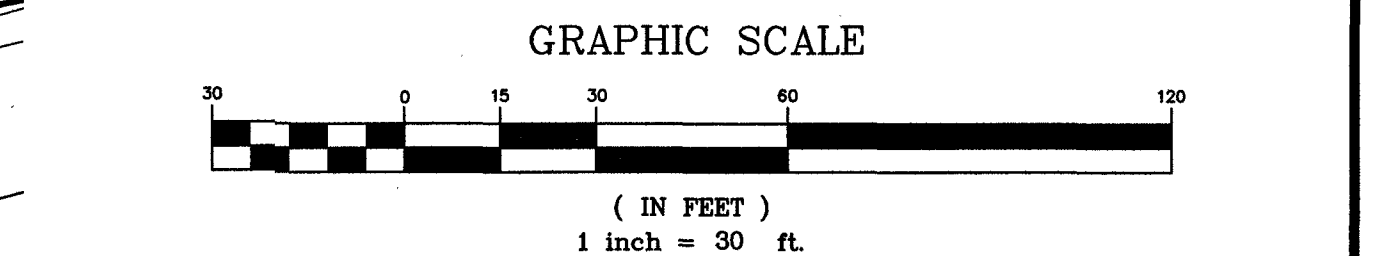
**APPROVED BY THE HUDSON, NH PLANNING BOARD**

DATE OF MEETING: \_\_\_\_\_

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**GRADING AND DRAINAGE PLAN**

**CENTRAL GAS**

MAP 182; LOT 217

LOWELL ROAD & CENTRAL STREET

HUDSON, NEW HAMPSHIRE

HILLSBOROUGH COUNTY

**OWNER/APPLICANT:**

NOTTINGHAM SQUARE CORPORATION

46 LOWELL ROAD

HUDSON, N.H. 03051

**KMA** KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture

10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

**REVISIONS**

No.	DATE	DESCRIPTION	BY
1	09-07-2023	REVISIONS PER TOWN AND PEER REVIEW	BES
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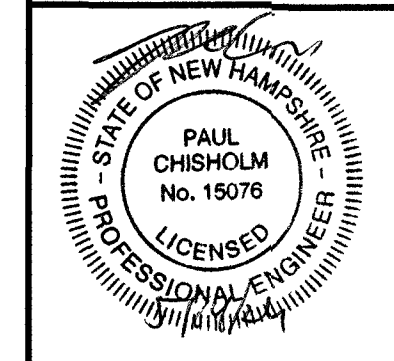
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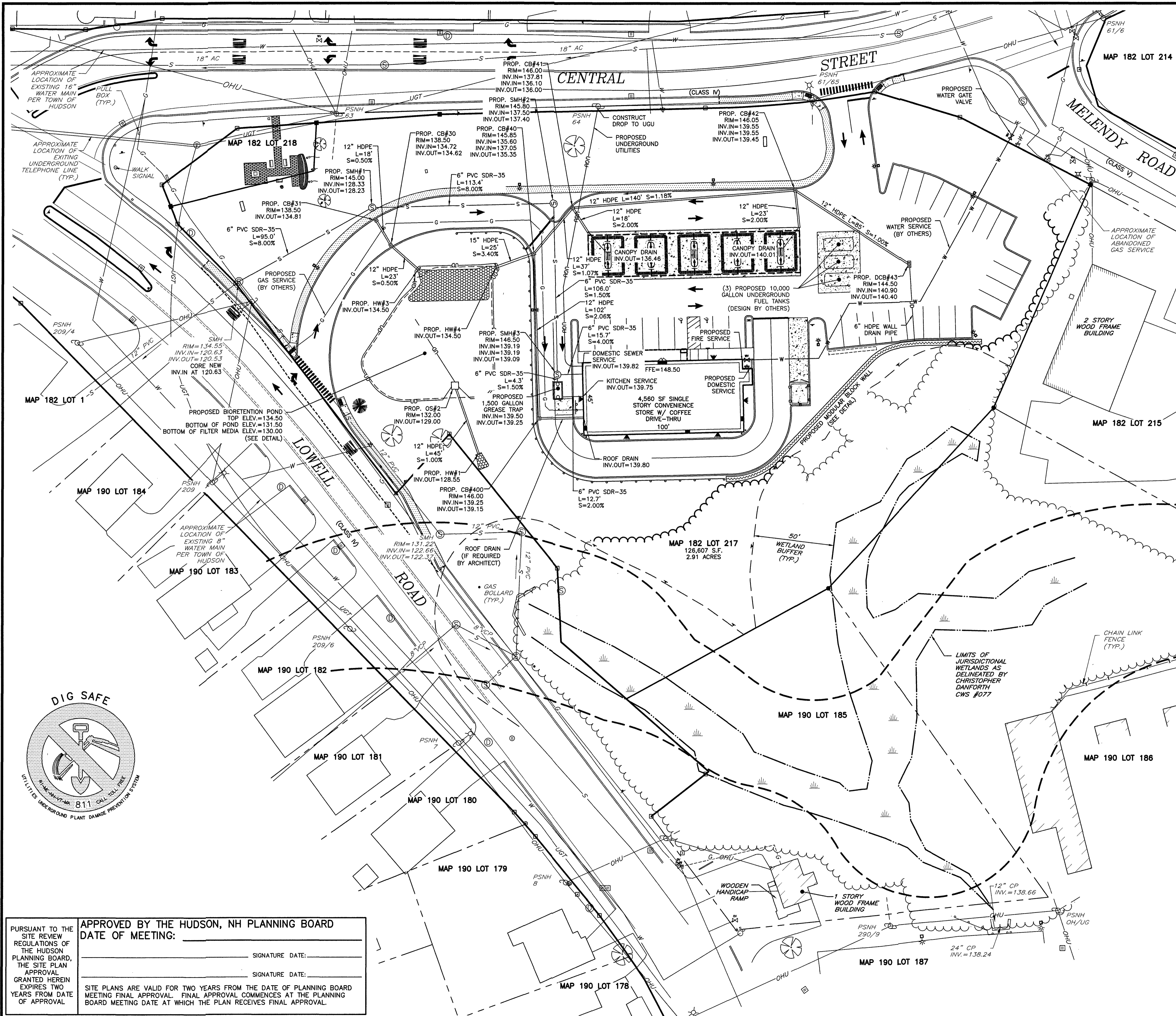
PROJECT NO: 18-0612-3 SHEET 6 OF 20

**SOILS LEGEND**

MAP UNIT: WmC

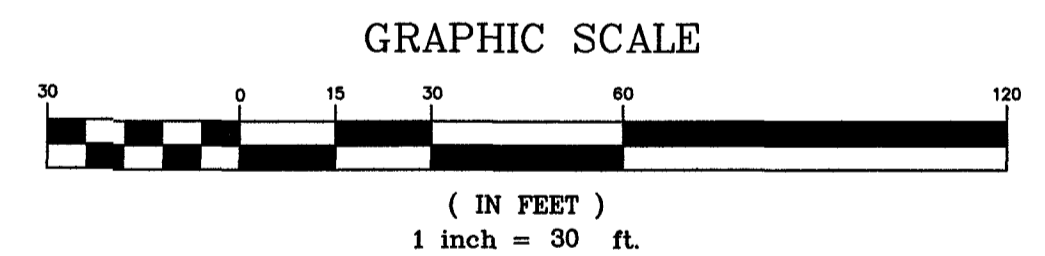
SOIL TYPE: WINDSOR-URBAN LAND COMPLEX, 15 TO 35 PERCENT SLOPES





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  - FINAL WATER, ELECTRICAL, GAS UTILITIES AND OTHER ASSOCIATED PIPING SHALL BE DESIGNED BY OTHERS AND ANY UTILITIES OR CHANGES SHALL BE COORDINATED WITH KNA PRIOR TO ORDERING MATERIALS.

- LEGEND**
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  - GB-F GRANITE BOUND FOUND
  - IPIN-F IRON PIN FOUND
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  - STREET LIGHT UTILITY POLE SIGN
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  - WATER VALVE
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  - WATER SHUT OFF
  - SEWER MANHOLE
  - DRAINAGE MANHOLE
  - CATCH BASIN
  - ABUTTER LINE
  - PROPERTY LINE
  - WETLAND
  - CHAIN LINK FENCE
  - OHU OVERHEAD UTILITIES
  - GAS LINE
  - WATER LINE
  - SEWER LINE
  - TREELINE
  - EOP EDGE OF PAVEMENT
  - VGC VERTICAL GRANITE CURB
  - STONEWALL
  - BUILDING SETBACK
  - EASEMENT
  - 100 YEAR FLOOD
  - UGU PROPOSED UNDERGROUND UTILITIES
  - PROPOSED GAS LINE
  - PROPOSED WATER LINE
  - PROPOSED SEWER LINE
  - PROPOSED DRAINAGE LINE
  - PROPOSED TREELINE
  - PROPOSED EDGE OF PAVEMENT
  - PROPOSED SLOPED GRANITE CURB
  - PROPOSED RETAINING WALL



**UTILITY PLAN  
CENTRAL GAS  
MAP 182; LOT 217  
LOWELL ROAD & CENTRAL STREET  
HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY**

**OWNER/APPLICANT:**  
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DATE: JULY 10, 2023 SCALE: 1" = 30'  
PROJECT NO: 18-0612-3 SHEET 7 OF 20



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
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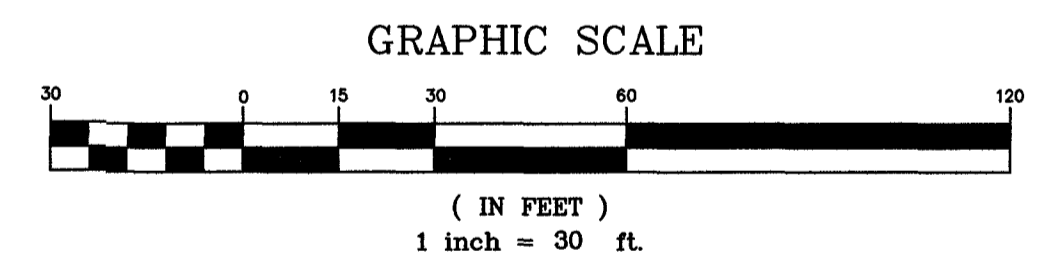
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- EROSION CONTROL NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES.
  2. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
  3. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
  4. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
  5. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
  6. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
  7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
  8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
  9. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
  10. SNOW ACCUMULATED DURING THE WINTER CONSTRUCTION CONDITIONS SHOULD BE STORED IN THE STAGING & STOCKPILE AREA DETERMINED BY THE CONTRACTOR, SURROUNDED BY SILT FENCE.

**LOAM & SEED ALL  
DISTURBED AREAS (TYP.)**

**EROSION & SEDIMENT CONTROL LEGEND**

	PERMANENT OUTLET PROTECTION APRON (RIP RAP)
	TEMPORARY DANDY BAG
	SILT SOCK
	LIMITS OF CLEARING
	STABILIZED CONSTRUCTION EXIT
	STAGING AND STOCKPILE AREA
	EROSION CONTROL BLANKETS
	NON-DISTURBANCE AREA



**EROSION CONTROL PLAN  
CENTRAL GAS  
MAP 182; LOT 217  
LOWELL ROAD & CENTRAL STREET  
HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY**

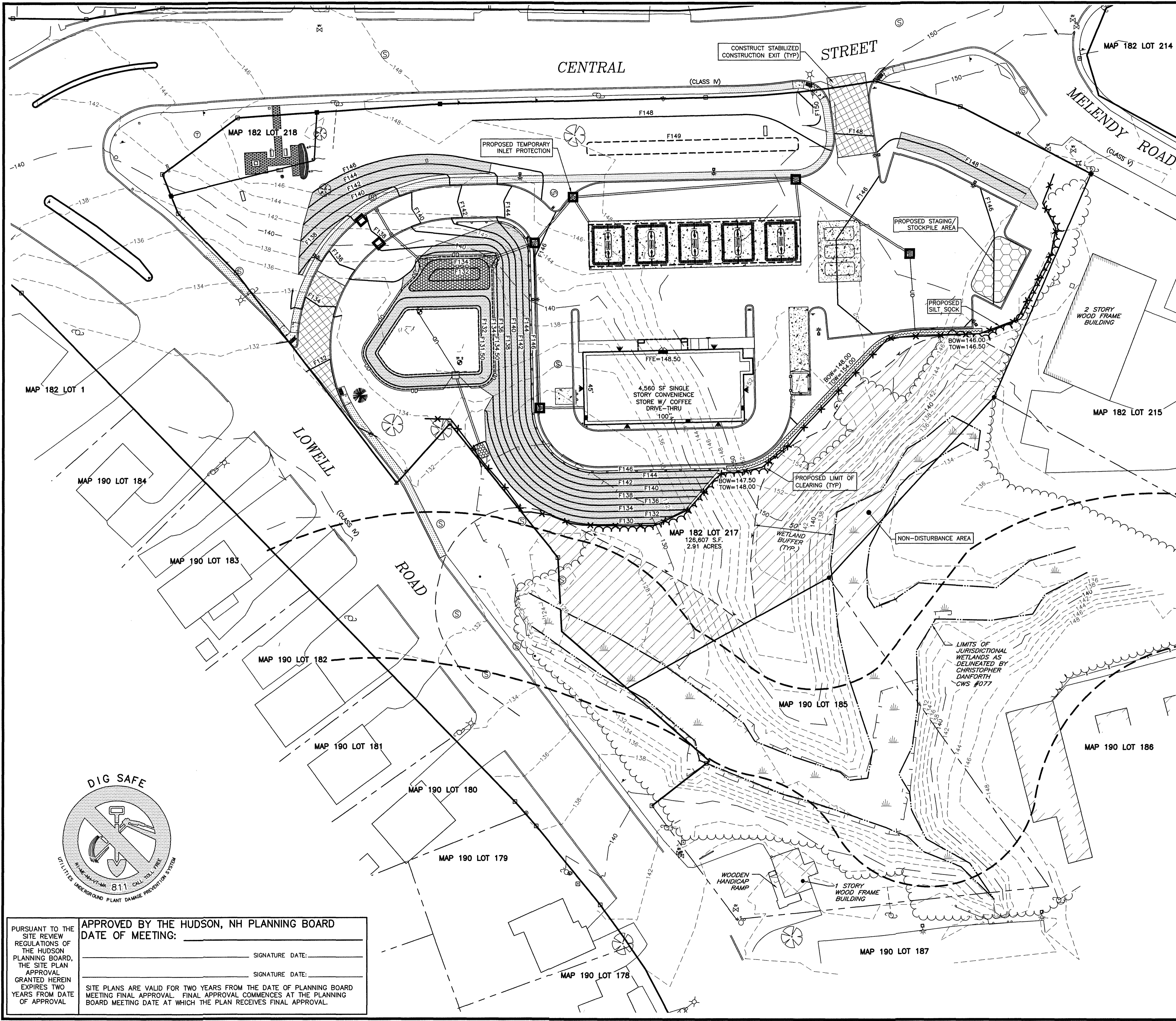
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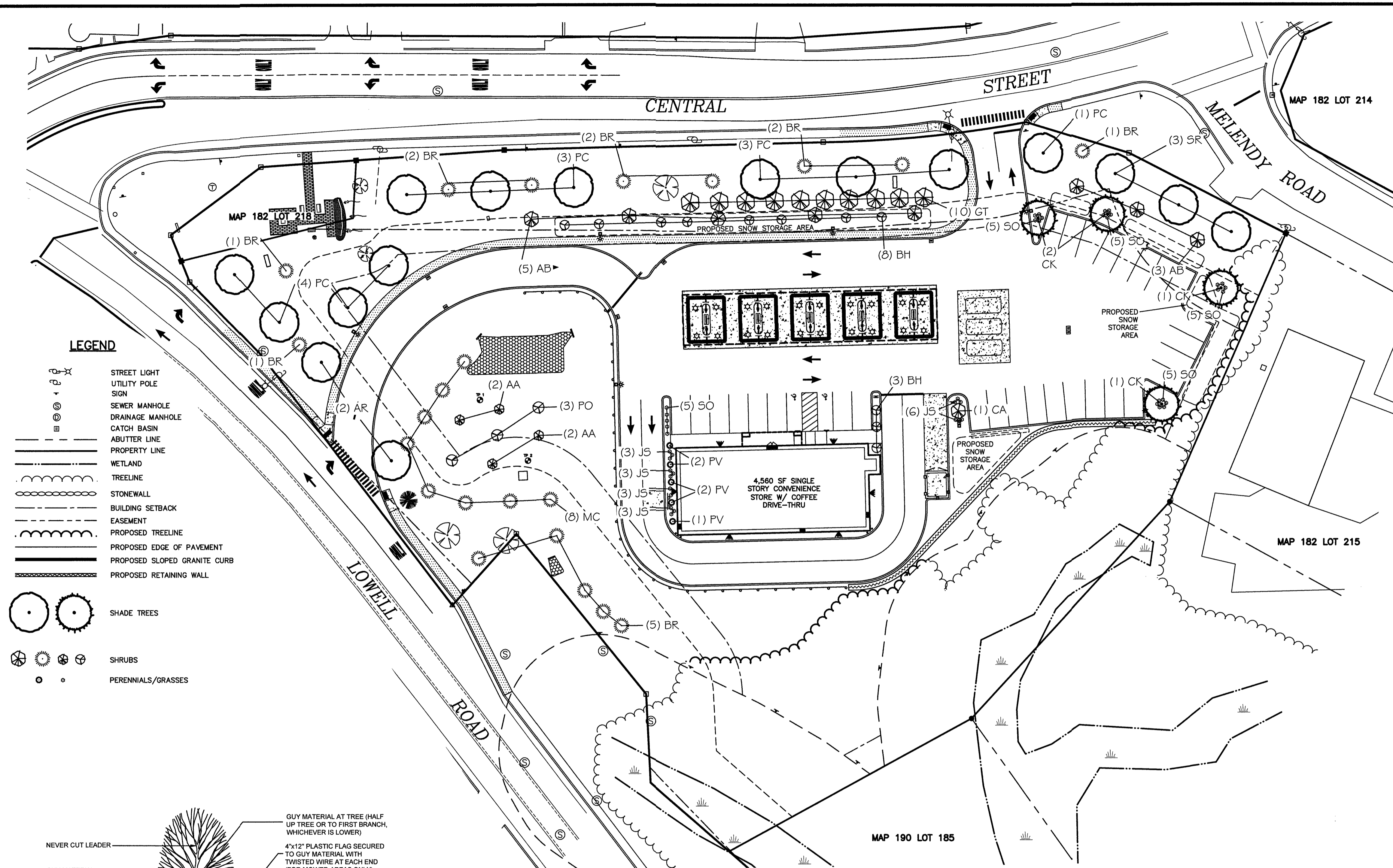
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- LANDSCAPE NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE LANDSCAPE WHICH PROVIDES CLIMATIC RELIEF AND AESTHETIC APPEAL.
  - ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOWN HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
  - IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS: ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% PEATMOSS AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
  - PLANTING BEDS AND SAUCERS SHALL RECEIVE A 4" MINIMUM THICKNESS OF PINE/HEMLOCK BARK MULCH OVER A 5oz. POLYPROPYLENE WEED CONTROL FABRIC.
  - PAVEMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED IN THE TURF ESTABLISHMENT SCHEDULE.
  - PLANT TYPES SHOWN ARE SUBJECT TO AVAILABILITY. SUBSTITUTE MATERIALS CAN BE IMPLEMENTED WITH APPROVAL FROM KEACH-NORDSTROM ASSOCIATES PRIOR TO CONSTRUCTION.
  - FOLLOWING ESTABLISHMENT, VEGETATED BUFFERS ONLY REQUIRE ROUTINE MAINTENANCE AND PERIODIC INSPECTIONS. APPLICANT SHALL INSPECT THE BUFFER AFTER HEAVY RAINFALL AND AT LEAST ONCE A YEAR. INSPECTIONS SHOULD FOCUS ON EROSION, VEGETATION DENSITY, EVIDENCE OF CONCENTRATED FLOWS, AND ANY DAMAGE. VEGETATED BUFFERS SHALL REMAIN IN A NATURAL STATE AND MUST BE PROTECTED TO ENSURE THAT NO FUTURE DEVELOPMENT, DISTURBANCE, OR CLEARING MAY OCCUR WITHIN THE AREA. THIS INCLUDES NOT REMOVING THE DUFF LAYER OR WOODY DEBRIS (NO RAKING). AREAS OF EROSION OR LOSS OF PLANTINGS SHALL BE RESTORED BY INSTALLING NEW SOIL AND VEGETATION IN KIND. INVASIVE SPECIES SHALL BE MONITORED AND REMOVED IF FOUND.

**LANDSCAPE CALCULATIONS**

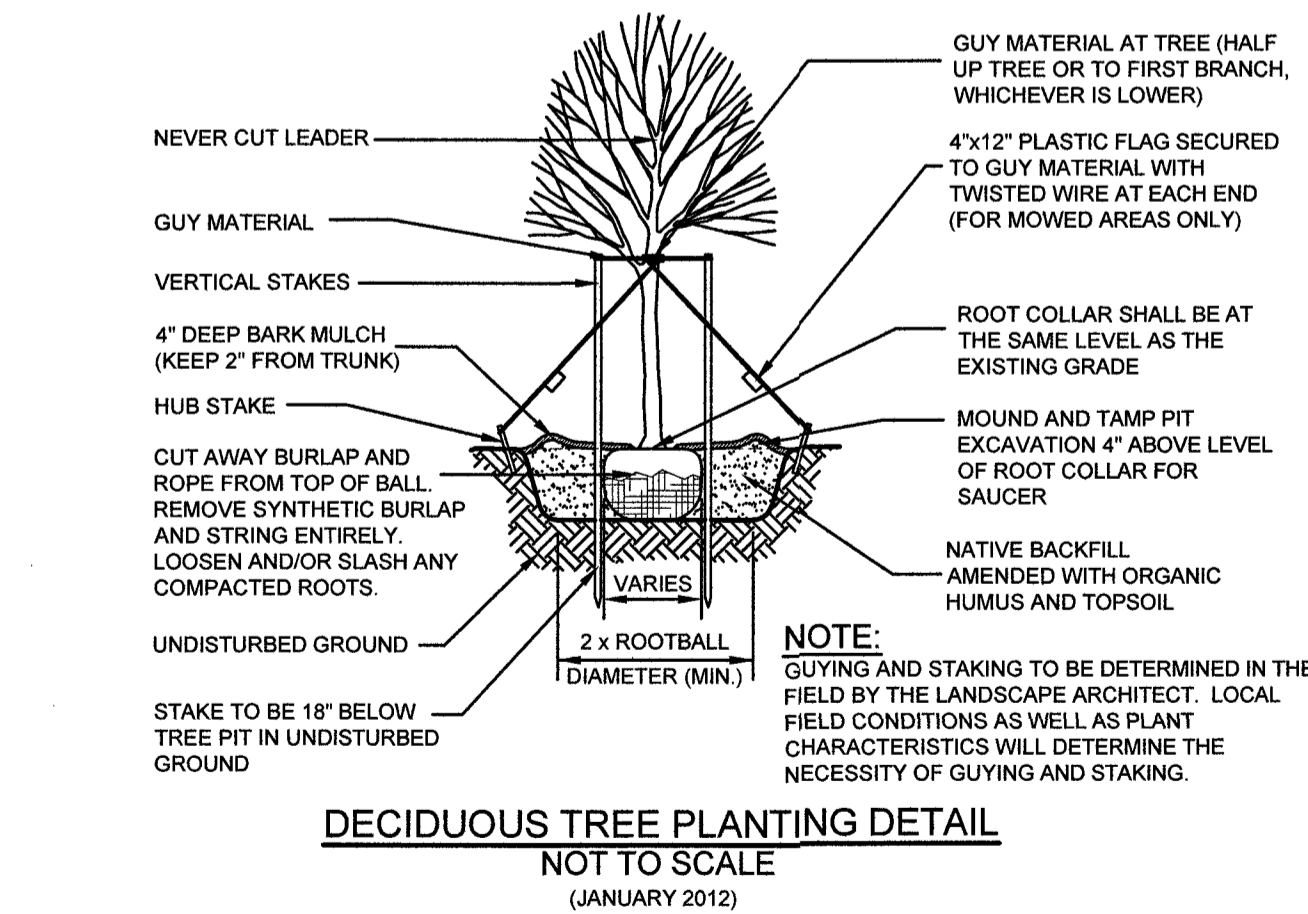
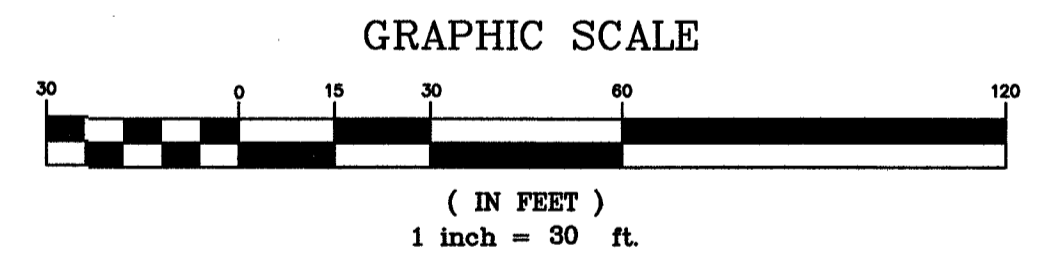
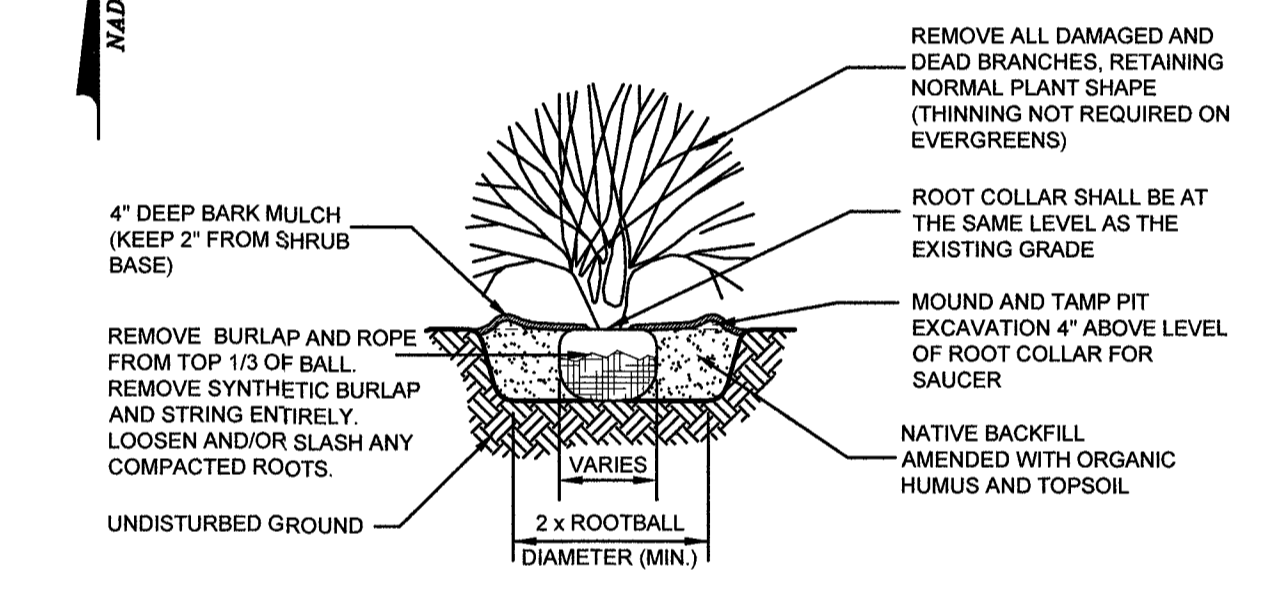
REQUIRED PARKING LOT INTERIOR LANDSCAPE AREA	41,112 SF
PROPOSED PARKING AREA PAVED:	41,112 SF
10% REQUIRED LANDSCAPE AREA:	4,111 SF
PROVIDED LANDSCAPE AREA:	1,496 SF

REQUIRED PARKING LOT SHADE TREES AND SHRUBS	41,112 SF
PROPOSED PAVED AREA:	41,112 SF
SHADE TREES REQUIRED (41,112/1,600):	26 TREES REQUIRED
(OR 1 TREE/5 PROP. PARKING SPACES)	6 TREES REQUIRED
EXISTING TREES:	6 TREES EXISTING
SHADE TREES PROPOSED:	20 TREES PROPOSED
TOTAL TREES PROVIDED:	26 TREES PROVIDED
SHRUBS REQUIRED (41,112/200):	205 SHRUBS, OR
(OR 1.6 x 31 PROP. PARKING SPACES)	19 SHRUBS REQUIRED
SHRUBS PROVIDED:	30 SHRUBS PROPOSED

- LEGEND**
- STREET LIGHT
  - UTILITY POLE
  - SIGN
  - SEWER MANHOLE
  - DRAINAGE MANHOLE
  - CATCH BASIN
  - ABUTTER LINE
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  - PROPOSED EDGE OF PAVEMENT
  - PROPOSED SLOPED GRANITE CURB
  - PROPOSED RETAINING WALL
- 
- SHADE TREES
  - SHRUBS
  - PERENNIALS/GRASSES

**LOAM & SEED ALL DISTURBED AREAS (TYP.)**



**PLANTING SCHEDULE**

Botanical Name / Common Name	Size	Label	Quantity	Mature Height
<b>Trees</b>				
<i>Acer rubrum</i> 'Autumn Radiance' / Autumn Radiance Red Maple	2.5-3" CAL	AR	2	40-60'
<i>Cornus kousa</i> / Kousa Dogwood	2.5-3" CAL	CK	5	20-30'
<i>Pyrus calleryana</i> 'Chanticleer' / Chanticleer Flowering Pear	2.5-3" CAL	PC	9	30-40'
<i>Syringa reticulata</i> / Japanese Lilac Tree	2.5-3" CAL	SR	3	20-30'
<b>Shrubs</b>				
<i>Azalea</i> 'Bloom A Thon Lavender' / Bloom A Thon Lavender Azalea	#3	AB	8	4-5'
<i>Hydrangea paniculata</i> 'Bombshell' / Bombshell Panicle Hydrangea	#3	BH	9	3-4'
<i>Pieris japonica</i> 'Cavatine' / Cavatine Andromeda	#3	CA	27	3-4'
<i>Thuja occidentalis</i> 'Elegantissima' / Gold-tipped Arborvitae	5-6" B&B	GT	10	15-20'
<i>Rhododendron</i> 'Boule de Neige' / Boule de Neige Rhododendron	#3 Gal.	BR	14	6-8'
<b>Grasses</b>				
<i>Panicum virgatum</i> 'Shenandoah' / Shenandoah Switch Grass	#2 Gal.	PV	18	3-4'
<b>Perennials</b>				
<i>Hemerocallis</i> 'Joan Senior' / Joan Senior	#1 Gal.	JS	18	18-24"
<i>Hemerocallis</i> 'Stella de Oro' / Stella de Oro	#1 Gal.	SO	18	18-24"
<b>BIORETENTION PLANTINGS</b>				
<b>Shrubs</b>				
<i>Aronia arbutifolia</i> / Red Chokeberry	#3	AA	4	6-10'
<i>Physocarpus opulifolius</i> / Eastern Ninebark	#3	PO	3	5-8'
<i>Morella carolinensis</i> / Small Bayberry	#3	MC	3	5-10'



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**LANDSCAPE PLAN**  
**CENTRAL GAS**  
MAP 182; LOT 217  
LOWELL ROAD & CENTRAL STREET  
HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

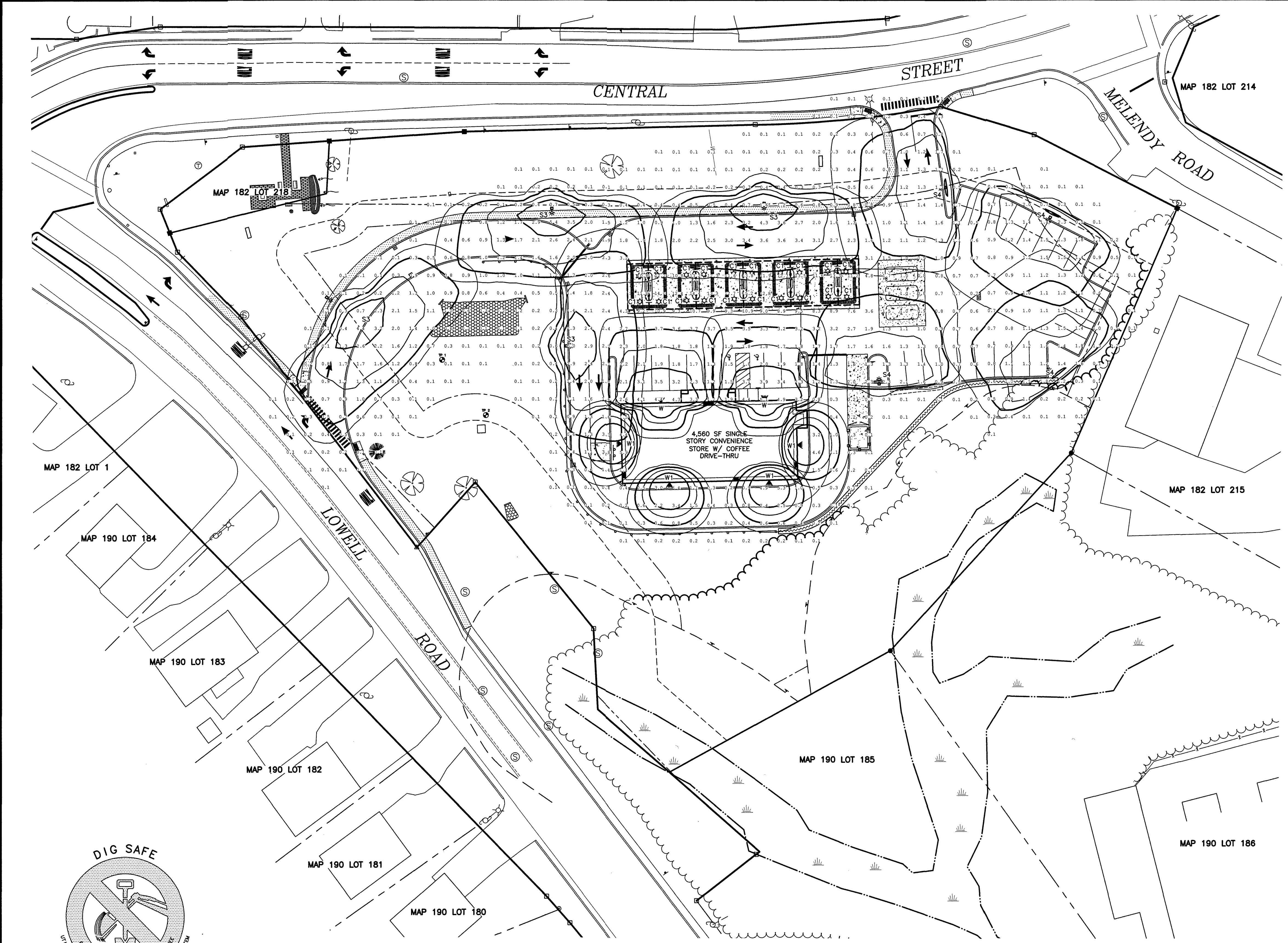
**OWNER/APPLICANT:**  
NOTTINGHAM SQUARE CORPORATION  
45 LOWELL ROAD  
HUDSON, N.H. 03051

**KEACH-NORDSTROM ASSOCIATES, INC.**  
Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

**REVISIONS**

No.	DATE	DESCRIPTION	BY
1	09-07-2023	REVISIONS PER TOWN AND PEER REVIEW	BBS
2	10-25-2023	REVISIONS PER TOWN AND PEER REVIEW	PCD
3	2-14-2024	REVS PER PB COMMENTS & PEER REVIEW	PCM
4	3-13-2024	REVS PER PB COMMENTS	PCM
5	4-19-2024	REVS PER NHDES SEWER COMMENTS	PCM
6	5-9-2024	REVS PER PB COMMENTS	PCM

DATE: JULY 10, 2023 SCALE: 1" = 30'  
PROJECT NO: 18-0612-3 SHEET 9 OF 20



**LIGHTING NOTES:**  
 1. ALL LIGHTS/FIXTURES SHALL BE AS SPECIFIED BY CHARRON LIGHTING.  
 2. ALL PROPOSED LIGHTS/FIXTURES ARE TO BE FULL CUTOFF.  
 3. FIXTURES SHALL BE MOUNTED AT HEIGHTS AS SPECIFIED IN TABLE.  
 4. PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ELECTRICIAN FOR THE EXACT LOCATION, LAYOUT, CONDUIT SIZE AND CIRCUITS ASSOCIATED WITH THE SITE LIGHTING.

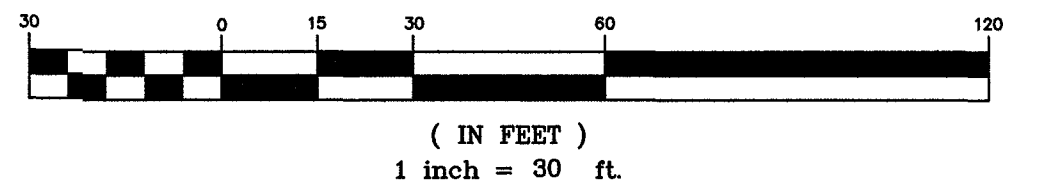
SYMBOL	QTY	LABEL	ARRANGEMENT	DESCRIPTION
☼	20	C1	SINGLE	LRC-B16-7-LED-E1-MST / CANOPY LIGHT
☼	4	S3	SINGLE	GLEON-SA1C-740-U-SL3 / SSS4A20SFN1 (20' AFG)
☼	4	S4	SINGLE	GLEON-SA1C-740-U-T4FT-HSS / SSS4A20SFN1 (20' AFG)
☼	2	W	SINGLE	GWC-SA1B-740-U-T4FT / WALL MTD 12' AFG
☼	4	W1	SINGLE	AXCS2A / WALL MTD 12' AFG

**LEGEND**

- ▣ NHHB-F N.H. HIGHWAY BOUND FOUND
- ▣ FSB-F FIELD STONE BOUND FOUND
- ▣ GB-F GRANITE BOUND FOUND
- ⊙ IPIN-F IRON PIN FOUND
- ⊙ DH-F DRILL HOLE FOUND
- ⊙ IPP-F IRON PIPE FOUND
- ☼ STREET LIGHT
- ⊙ UTILITY POLE
- ⊙ SIGN
- ⊙ GAS VALVE
- ⊙ WATER VALVE
- ⊙ HYDRANT
- ⊙ WATER SHUT OFF
- ⊙ SEWER MANHOLE
- ⊙ DRAINAGE MANHOLE
- ⊙ CATCH BASIN
- ⊙ ABUTTER LINE
- ⊙ PROPERTY LINE
- ⊙ WETLAND
- ⊙ CHAIN LINK FENCE
- OHU OVERHEAD UTILITIES
- ⊙ TREELINE
- EOP EDGE OF PAVEMENT
- VGC VERTICAL GRANITE CURB
- ⊙ STONEWALL
- ⊙ BUILDING SETBACK
- ⊙ EASEMENT
- ⊙ 100 YEAR FLOOD
- ⊙ PROPOSED TREELINE
- ⊙ PROPOSED EDGE OF PAVEMENT
- ⊙ PROPOSED SLOPED GRANITE CURB
- ⊙ PROPOSED RETAINING WALL



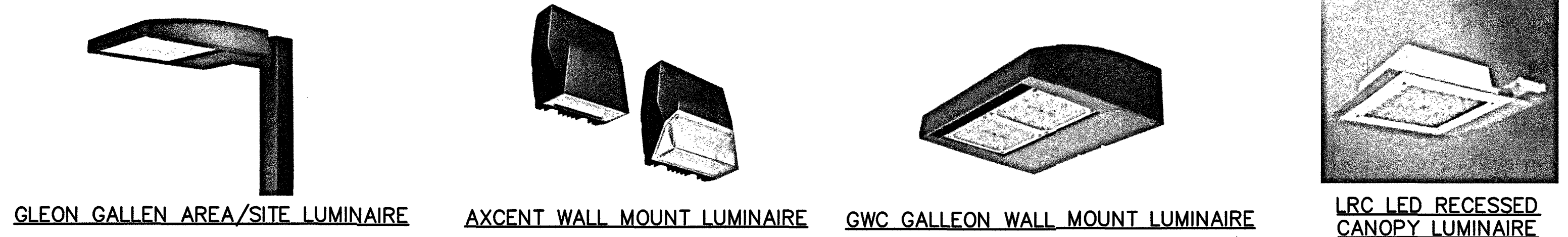
**GRAPHIC SCALE**



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD  
 DATE OF MEETING: \_\_\_\_\_  
 \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



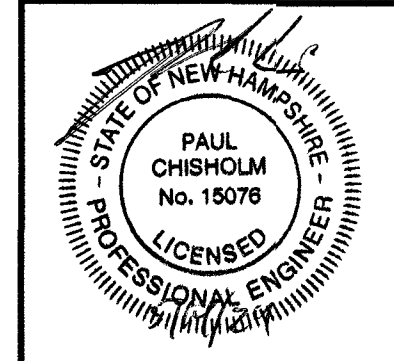
IN ASSOCIATION WITH:

P.O. BOX 4550  
 MANCHESTER, NH 03108  
 (603) 624-4827  
 FAX (603) 624-9764  
 SALES@CHARRONINC.COM

**LIGHTING PLAN**  
**CENTRAL GAS**  
 MAP 182; LOT 217  
 LOWELL ROAD & CENTRAL STREET  
 HUDSON, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

**OWNER/APPLICANT:**  
 NOTTINGHAM SQUARE CORPORATION  
 46 LOWELL ROAD  
 HUDSON, N.H. 03051

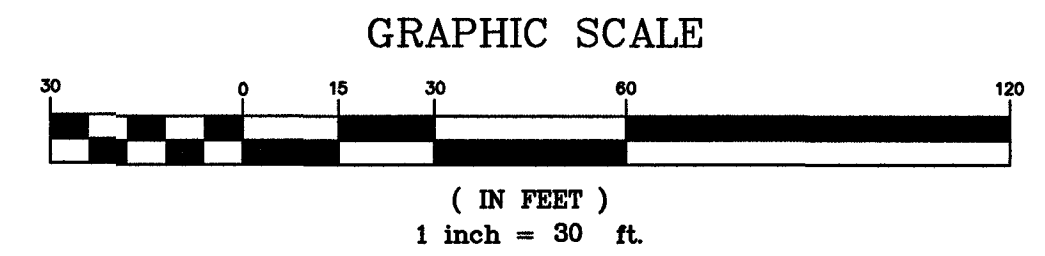
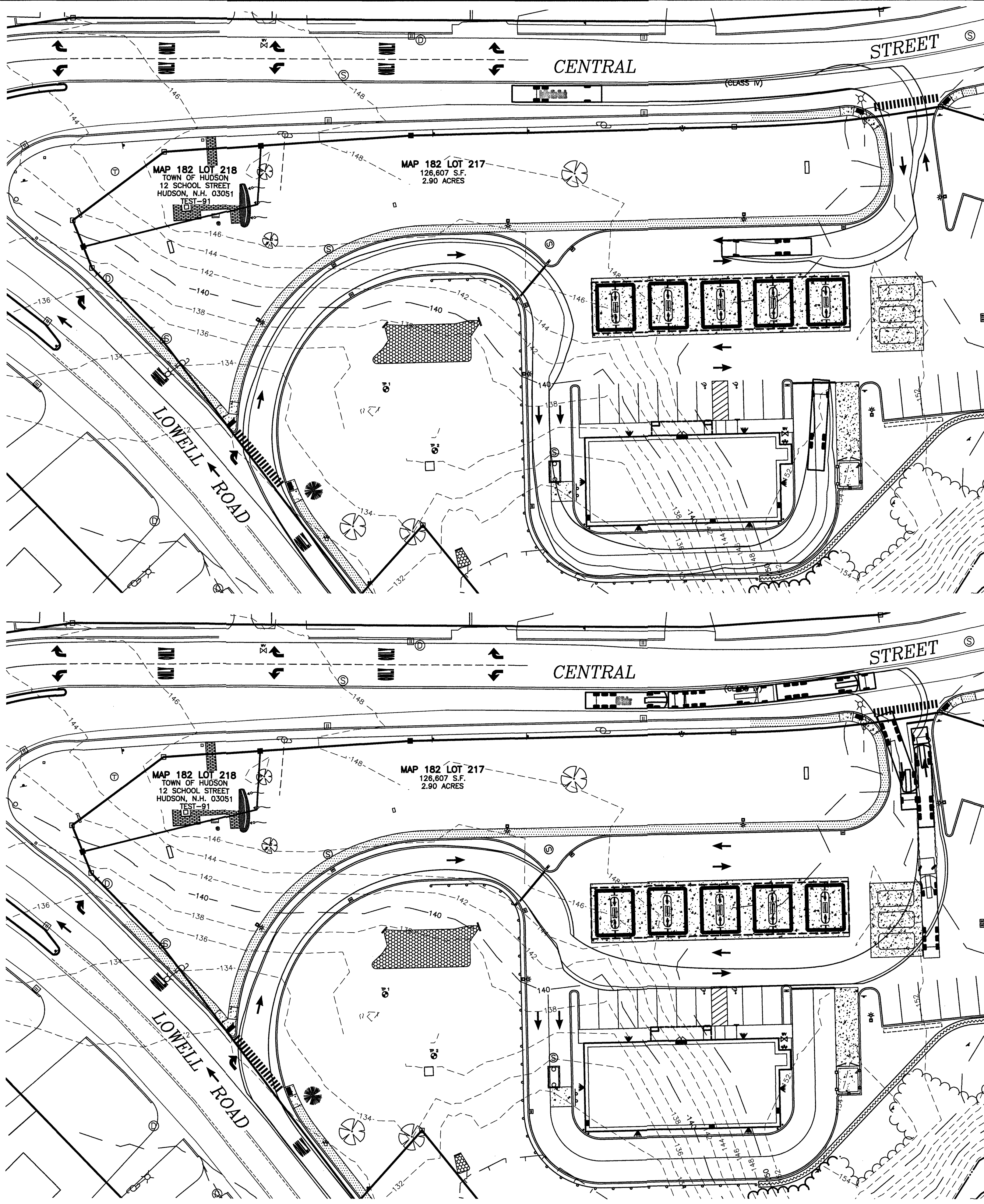
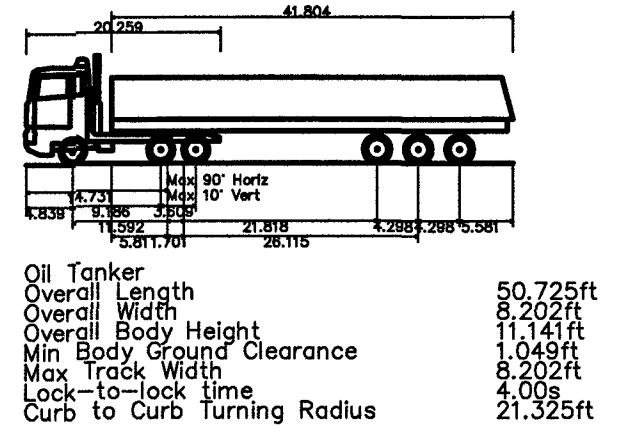
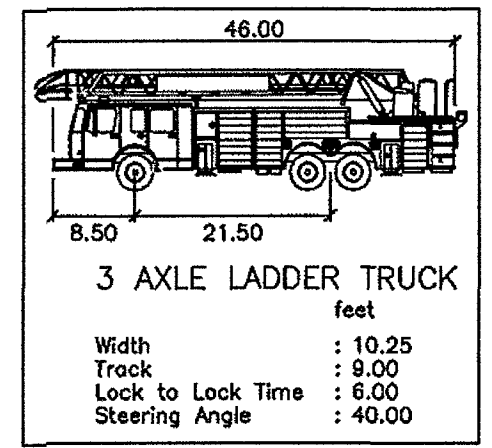
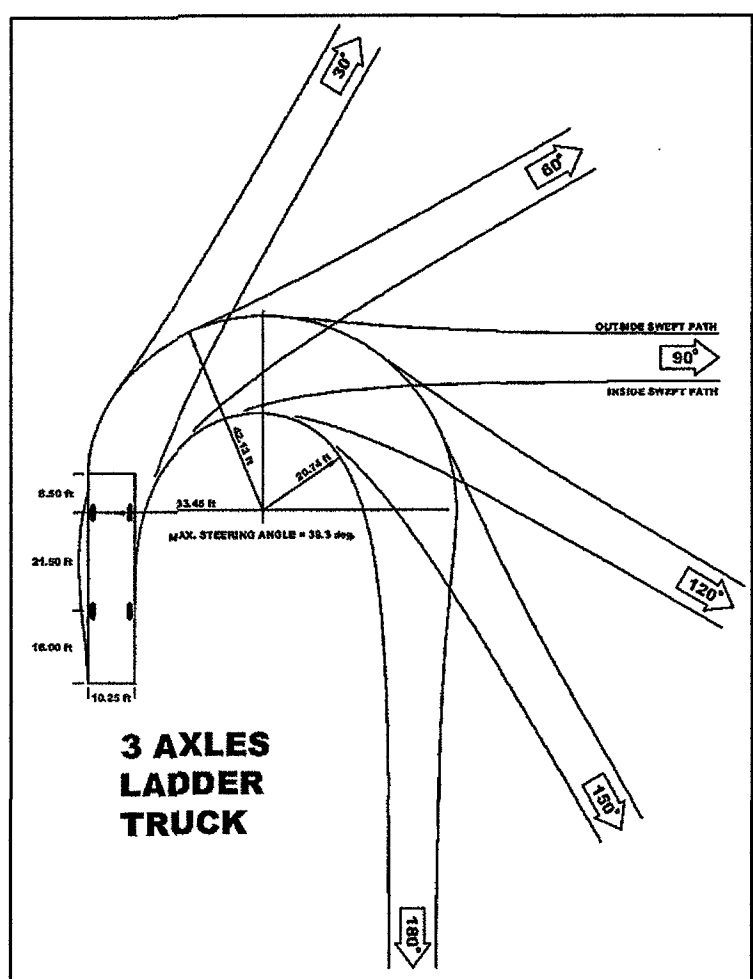
**KMA KEACH-NORDSTROM ASSOCIATES, INC.**  
 Civil Engineering Land Surveying Landscape Architecture  
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



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6	5-9-2024	REVS PER PB COMMENTS	PCM

DATE: JULY 10, 2023 SCALE: 1" = 30'  
 PROJECT NO: 18-0612-3 SHEET 10 OF 20

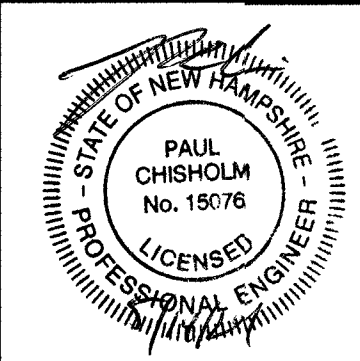
**NOTES:**  
 1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE TURNING MOTION OF A FIRE TRUCK AND FUEL DELIVERY TRUCK THROUGH THE PROPOSED SITE.



**TRUCK TURNING PLAN**  
**CENTRAL GAS**  
 MAP 182; LOT 217  
 LOWELL ROAD & CENTRAL STREET  
 HUDSON, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

**OWNER/APPLICANT:**  
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DATE: JULY 10, 2023 SCALE: 1" = 30'  
 PROJECT NO: 18-0612-3 SHEET 11 OF 20

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

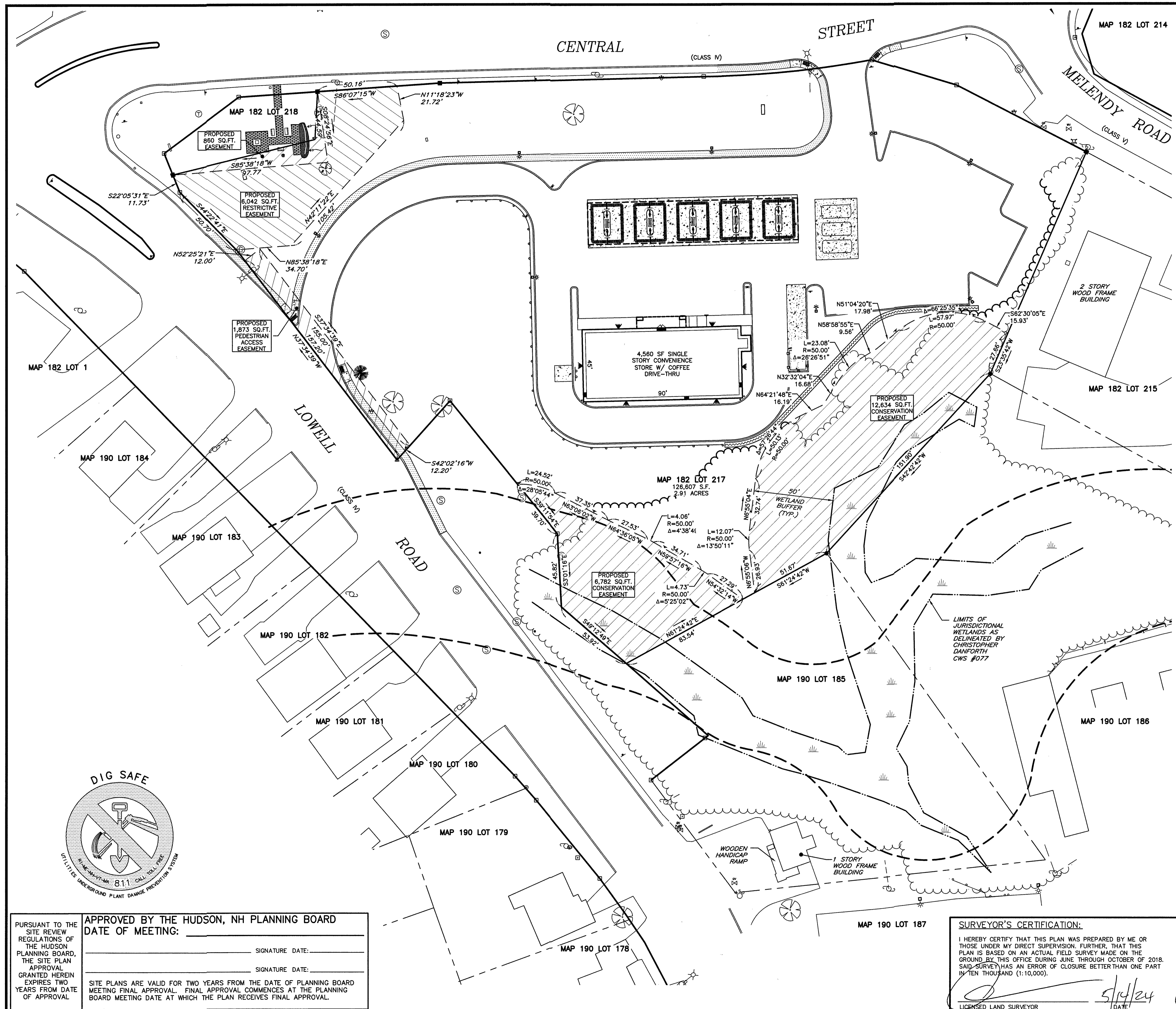
**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
 DATE OF MEETING: \_\_\_\_\_

\_\_\_\_\_  
 SIGNATURE DATE: \_\_\_\_\_

\_\_\_\_\_  
 SIGNATURE DATE: \_\_\_\_\_

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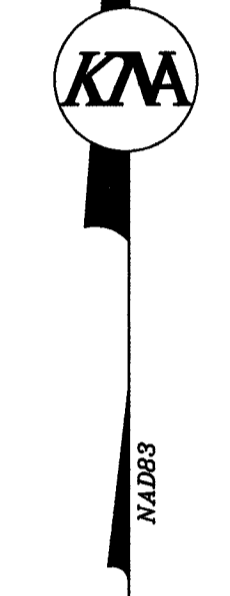
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**NOTES:**  
 1. THE PURPOSE OF THIS PLAN IS TO DEPICT THREE EASEMENTS: A PROPOSED CONSERVATION EASEMENT OVER THE WETLAND AND WETLAND BUFFER AREAS ON SITE, AN EASEMENT AREA FOR LOT 218, AND A PEDESTRIAN ACCESS EASEMENT FOR THE BENEFIT OF THE TOWN OF HUDSON.

**LEGEND**

- NHB-F N.H. HIGHWAY BOUND FOUND
- FSB-F FIELD STONE BOUND FOUND
- GB-F GRANITE BOUND FOUND
- IPIN-F IRON PIN FOUND
- ⊙ DH-F DRILL HOLE FOUND
- ⊙ IPP-F IRON PIPE FOUND
- GB-TBS GRANITE BOUND TO BE SET
- IPIN-TBS IRON PIN TO BE SET
- ▲ SPK-TBS SPIKE TO BE SET
- ⊙ STREET LIGHT
- ⊙ UTILITY POLE
- ⊙ SIGN
- ⊙ GAS VALVE
- ⊙ WATER VALVE
- ⊙ HYDRANT
- ⊙ WATER SHUT OFF
- ⊙ SEWER MANHOLE
- ⊙ DRAINAGE MANHOLE
- ⊙ CATCH BASIN
- ⊙ ABUTTER LINE
- ⊙ PROPERTY LINE
- ⊙ WETLAND
- ⊙ CHAIN LINK FENCE
- ⊙ OHU OVERHEAD UTILITIES
- ⊙ TRELINE
- ⊙ EOP EDGE OF PAVEMENT
- ⊙ VGC VERTICAL GRANITE CURB
- ⊙ STONEMASS
- ⊙ BUILDING SETBACK
- ⊙ EASEMENT
- ⊙ 100 YEAR FLOOD
- ⊙ PROPOSED TRELINE
- ⊙ PROPOSED EDGE OF PAVEMENT
- ⊙ PROPOSED VERTICAL GRANITE CURB
- ⊙ PROPOSED RETAINING WALL



**GRAPHIC SCALE**  
 0 15 30 60 120  
 ( IN FEET )  
 1 inch = 30 ft.

**EASEMENT PLAN**  
**CENTRAL GAS**  
 MAP 182; LOT 217  
 LOWELL ROAD & CENTRAL STREET  
 HUDSON, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

**OWNER/APPLICANT:**  
 NOTTINGHAM SQUARE CORPORATION  
 46 LOWELL ROAD  
 HUDSON, N.H. 03051

**KMA** KEACH-NORDSTROM ASSOCIATES, INC.  
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DATE: JULY 10, 2023 SCALE: 1" = 30'  
 PROJECT NO: 18-0612-3 SHEET 12 OF 20

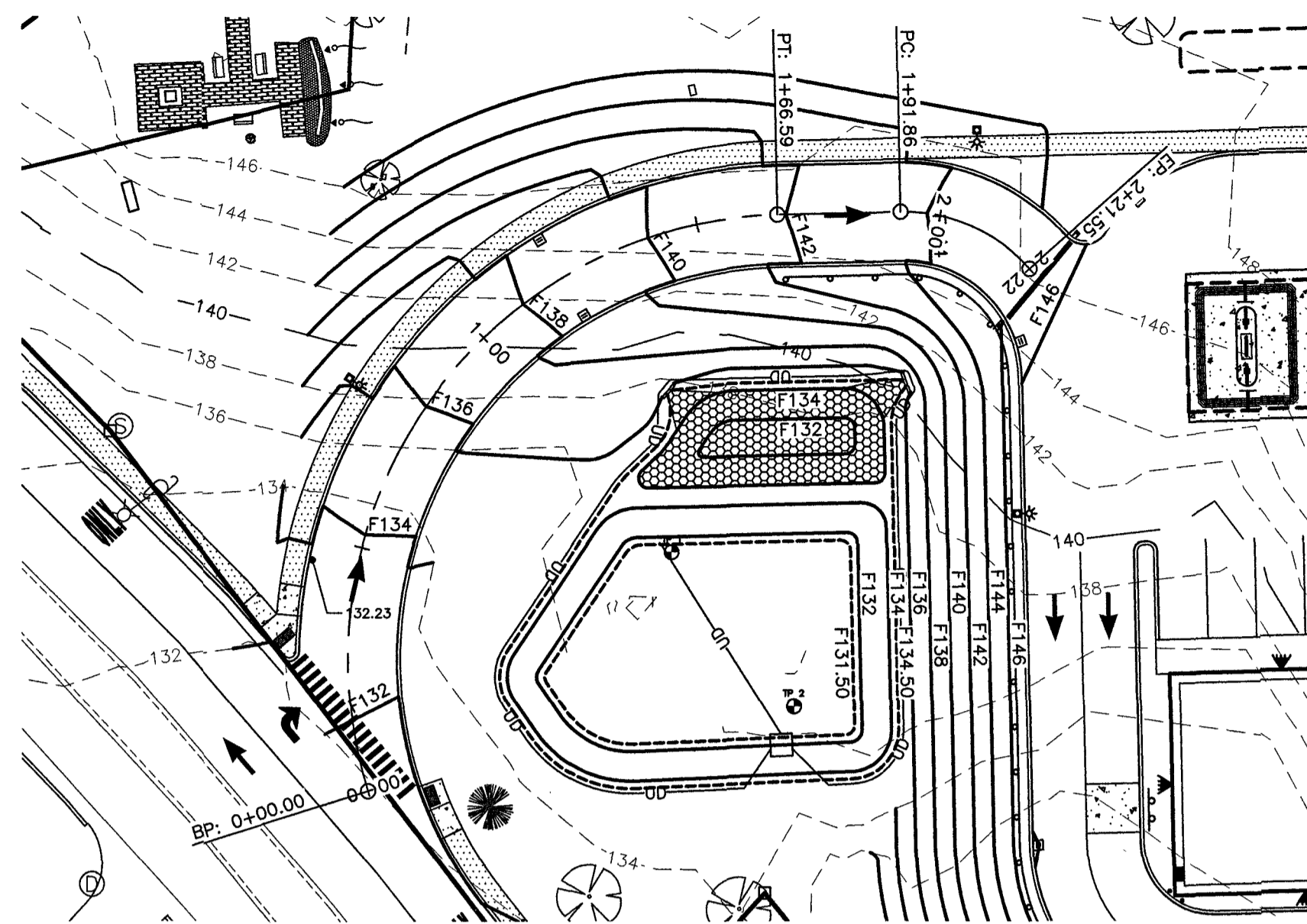
**SURVEYOR'S CERTIFICATION:**  
 I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE DURING JUNE THROUGH OCTOBER OF 2018. SAID SURVEY HAS AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1:10,000).  
 [Signature]  
 DATE: 5/14/24  
 LICENSED LAND SURVEYOR

**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
 DATE OF MEETING: \_\_\_\_\_  
 \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
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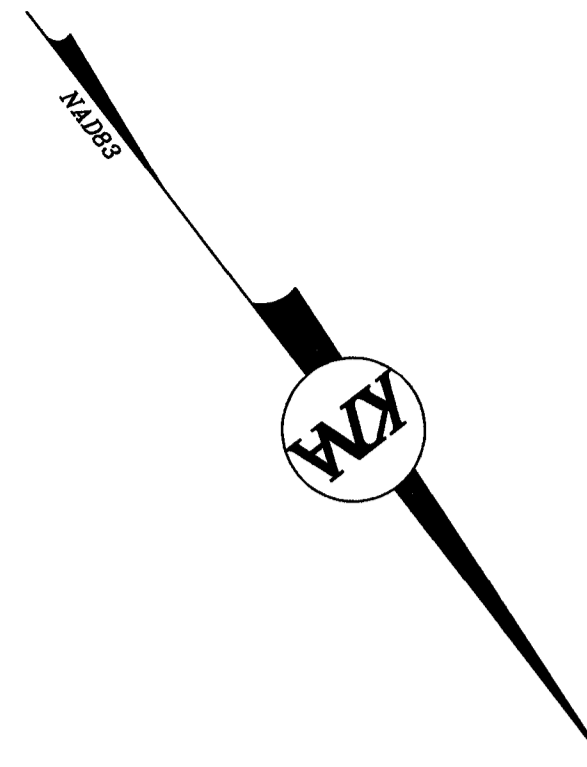
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

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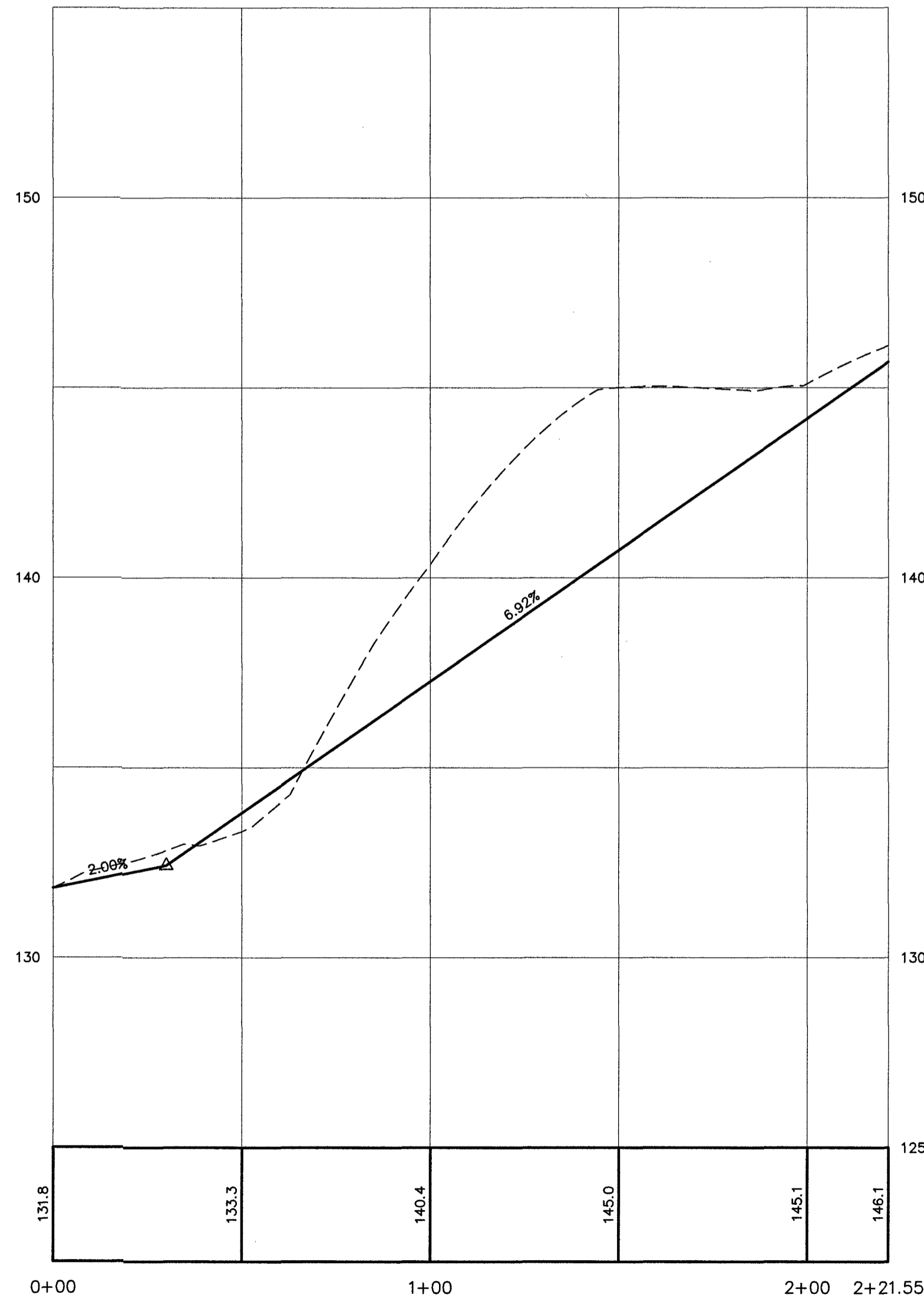


LOWELL ROAD SITE ENTRANCE - DRIVEWAY PLAN  
SCALE: 1" = 30'

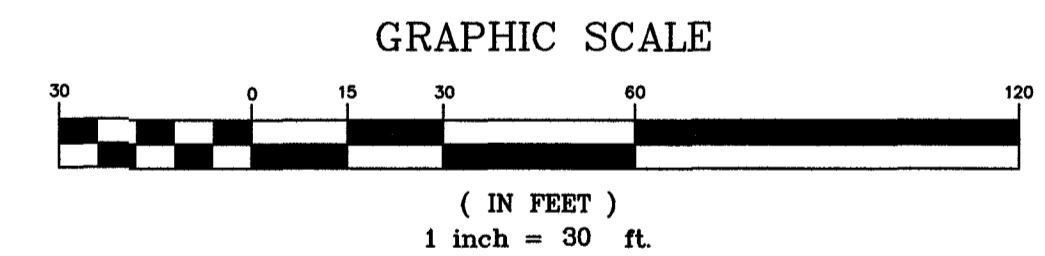


**LEGEND**

- ▣ NHHB-F N.H. HIGHWAY BOUND FOUND
- ▣ FSB-F FIELD STONE BOUND FOUND
- ▣ GB-F GRANITE BOUND FOUND
- IPIN-F IRON PIN FOUND
- ⊙ DH-F DRILL HOLE FOUND
- ⊙ IPP-F IRON PIPE FOUND
- ⊙ SLT STREET LIGHT
- ⊙ UP UTILITY POLE
- ⊙ SIGN
- ⊙ GAS VALVE
- ⊙ WATER VALVE
- ⊙ HYDRANT
- ⊙ WATER SHUT OFF
- ⊙ SEWER MANHOLE
- ⊙ DRAINAGE MANHOLE
- ⊙ CATCH BASIN
- ⊙ ABUTTER LINE
- ⊙ PROPERTY LINE
- ⊙ OHU OVERHEAD UTILITIES
- ⊙ TREELINE
- ⊙ EOP EDGE OF PAVEMENT
- ⊙ VGC VERTICAL GRANITE CURB
- ⊙ 10' CONTOUR
- ⊙ 2' CONTOUR
- ⊙ PROPOSED EDGE OF PAVEMENT
- ⊙ PROPOSED SLOPED GRANITE CURB
- ⊙ PROPOSED 2' CONTOUR



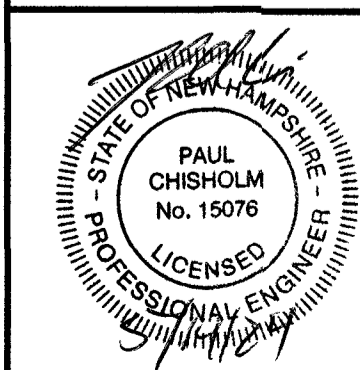
LOWELL ROAD SITE ENTRANCE - DRIVEWAY PLAN  
SCALE: 1" = 30' (HORIZ.)  
1" = 3' (VERT.)



LOWELL ROAD ENTRANCE - DRIVEWAY PROFILE  
**CENTRAL GAS**  
MAP 182; LOT 217  
LOWELL ROAD & CENTRAL STREET  
HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

**OWNER/APPLICANT:**  
NOTTINGHAM SQUARE CORPORATION  
46 LOWELL ROAD  
HUDSON, N.H. 03051

**KMA** KEACH-NORDSTROM ASSOCIATES, INC.  
Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY
1	09-07-2023	REVISIONS PER TOWN AND PEER REVIEW	BES
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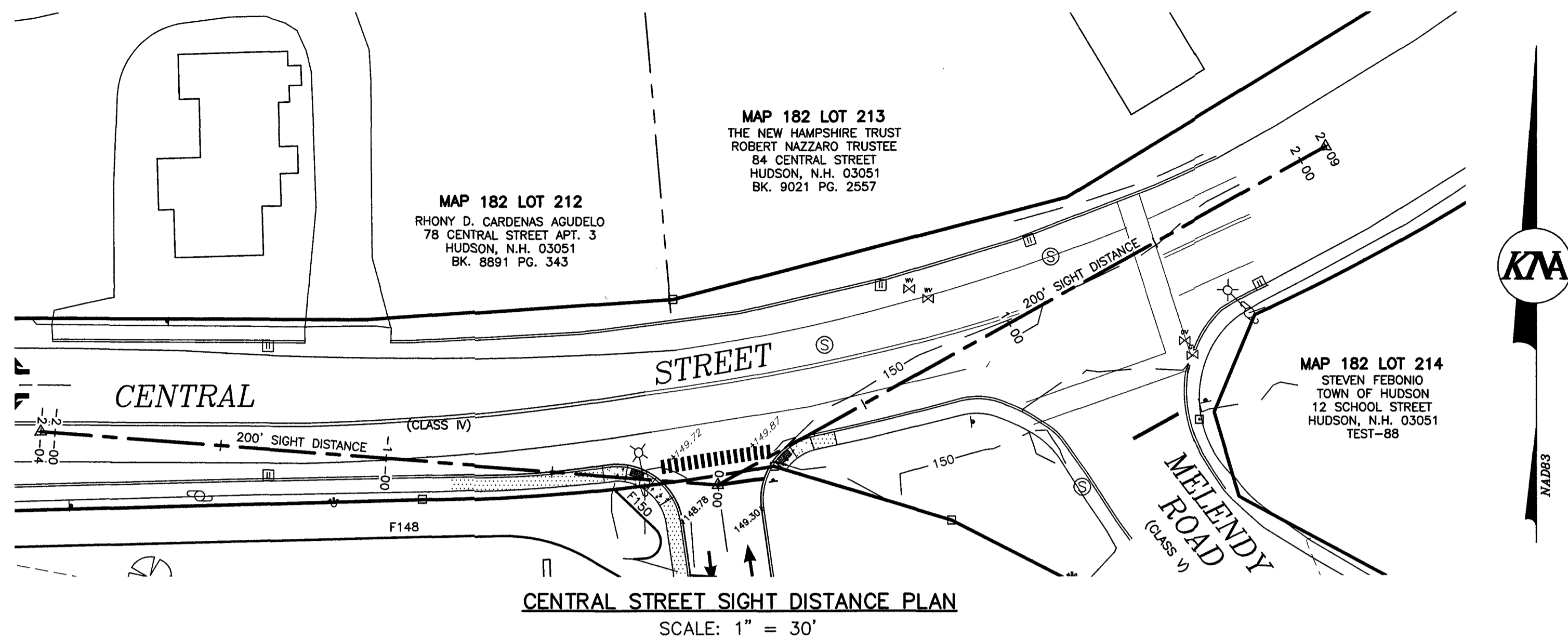
DATE: JULY 10, 2023 SCALE: 1" = 30'  
PROJECT NO: 18-0612-3 SHEET 13 OF 20

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

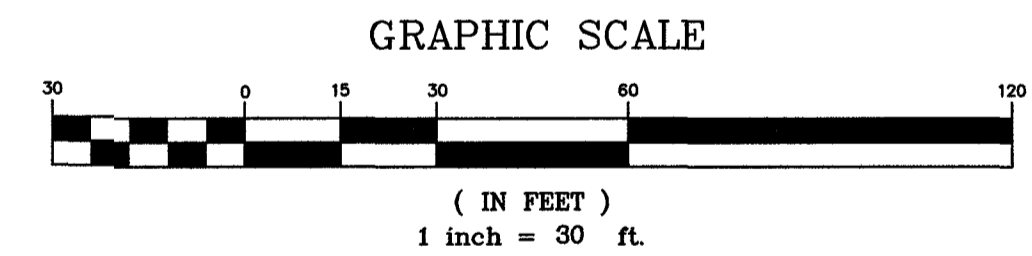
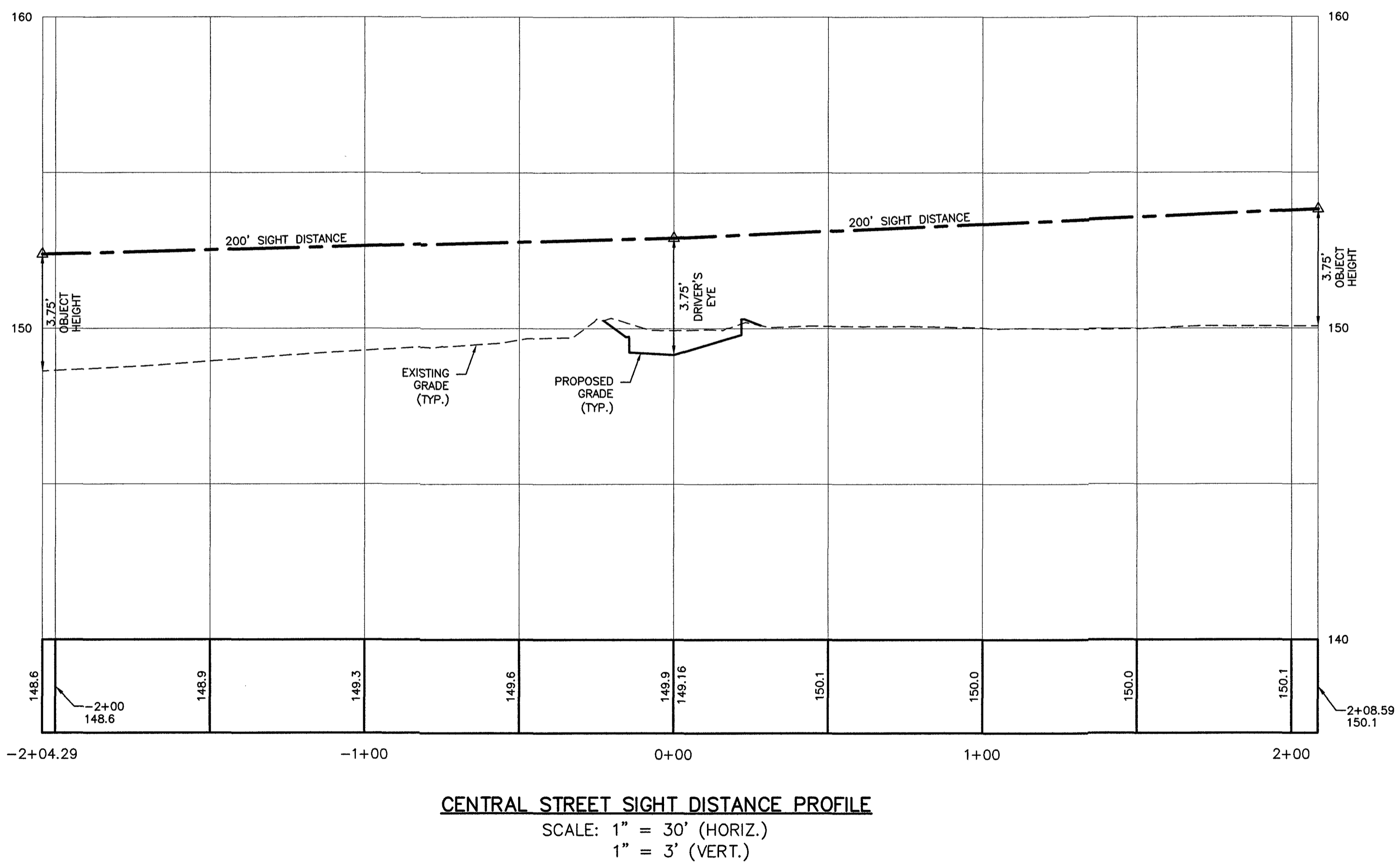
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- LEGEND**
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  - VGC VERTICAL GRANITE CURB
  - 10' CONTOUR
  - 2' CONTOUR
  - PROPOSED EDGE OF PAVEMENT
  - PROPOSED SLOPED GRANITE CURB
  - PROPOSED 2' CONTOUR



**SIGHT DISTANCE PLAN & PROFILE**  
**CENTRAL GAS**  
MAP 182; LOT 217  
LOWELL ROAD & CENTRAL STREET  
HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

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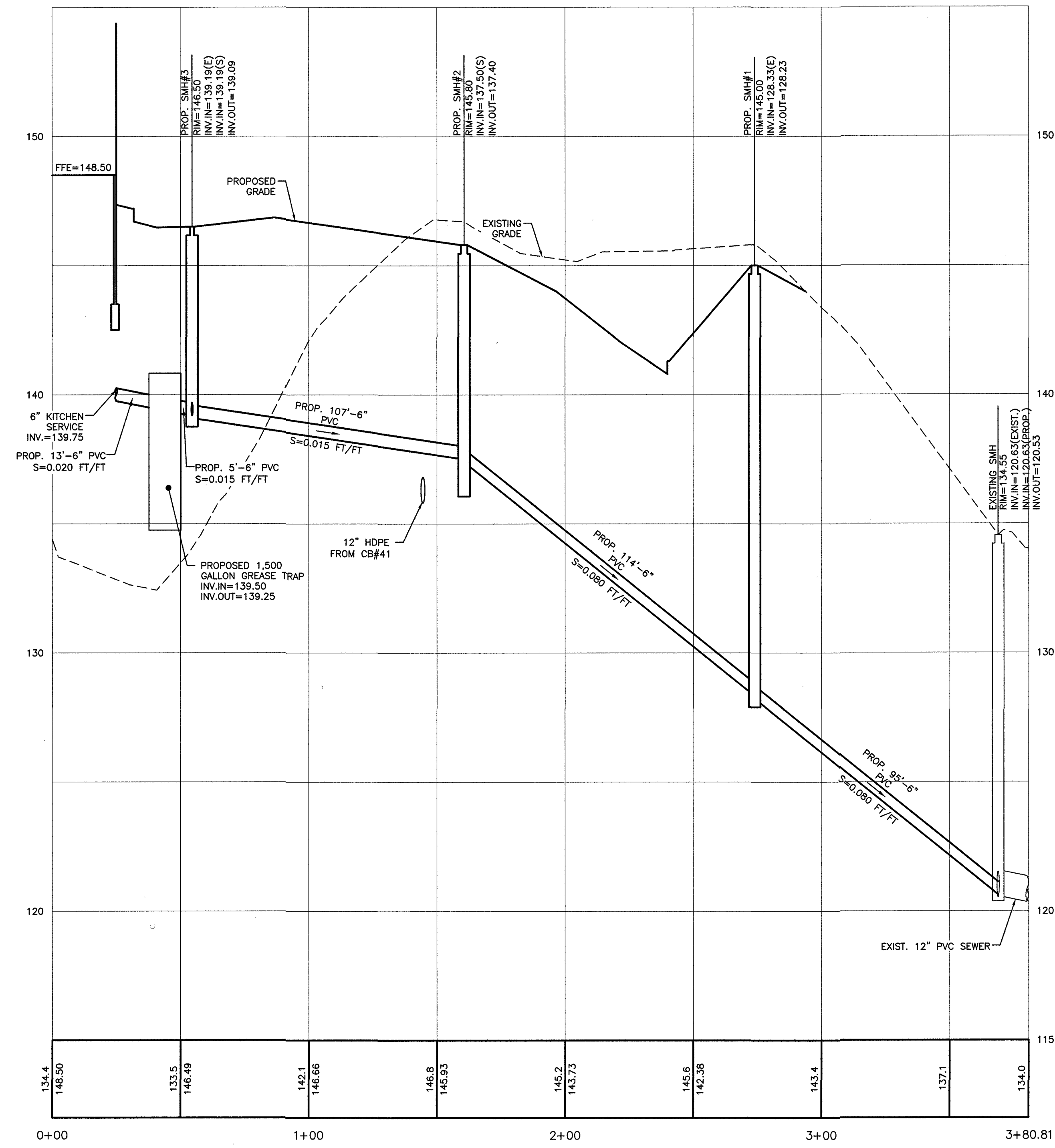
**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
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\_\_\_\_\_  
SIGNATURE DATE: \_\_\_\_\_

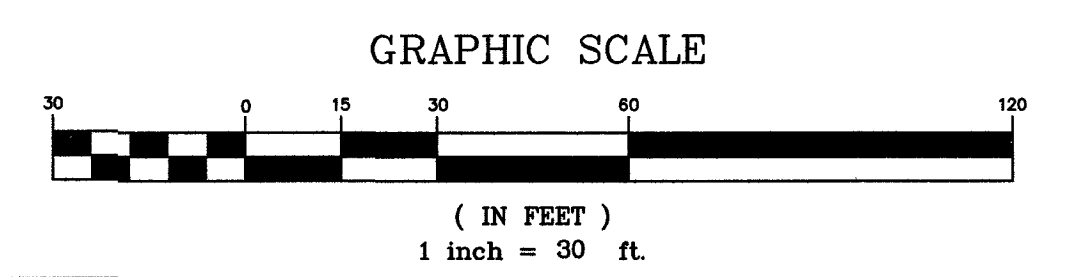
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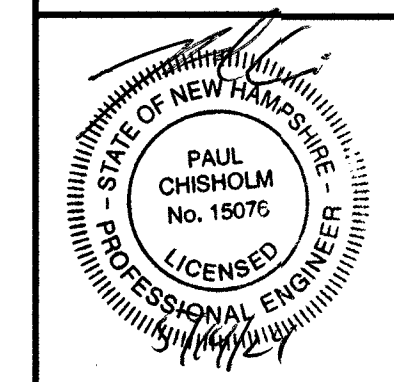
**SEWER PROFILE**  
 SCALE: 1" = 30' (HORIZ.)  
 1" = 3' (VERT.)



**SEWER PROFILE**  
**CENTRAL GAS**  
 MAP 182; LOT 217  
 LOWELL ROAD & CENTRAL STREET  
 HUDSON, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

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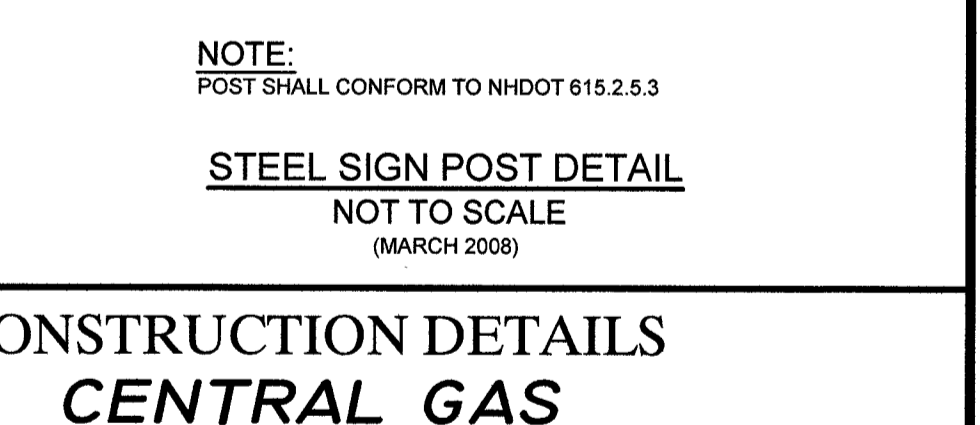
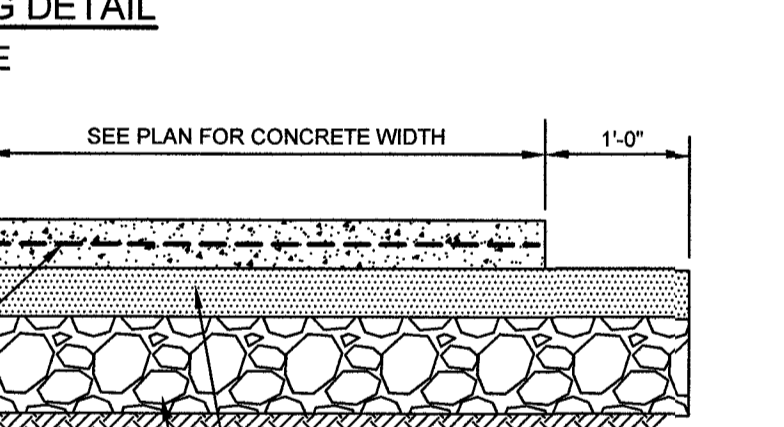
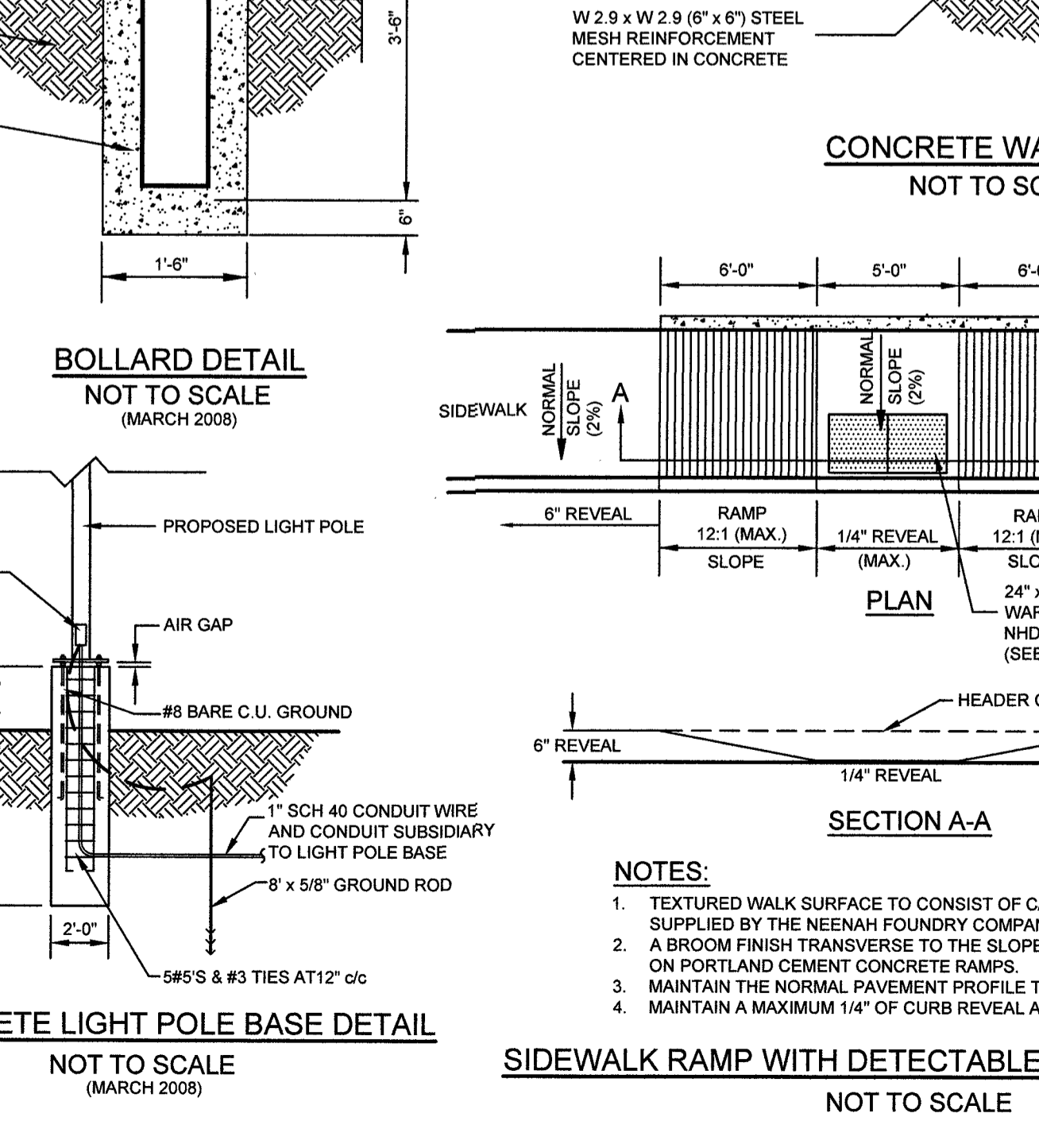
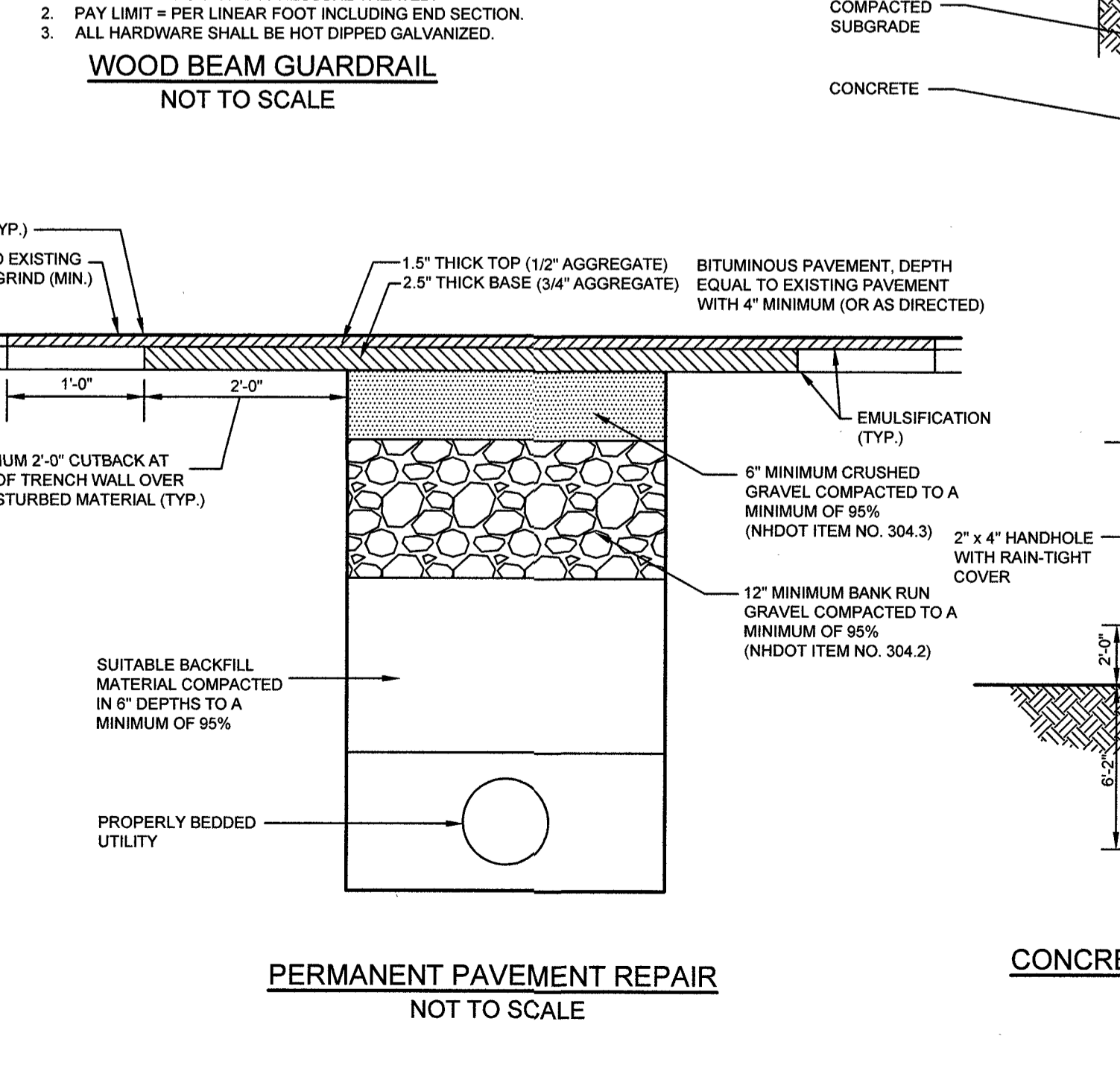
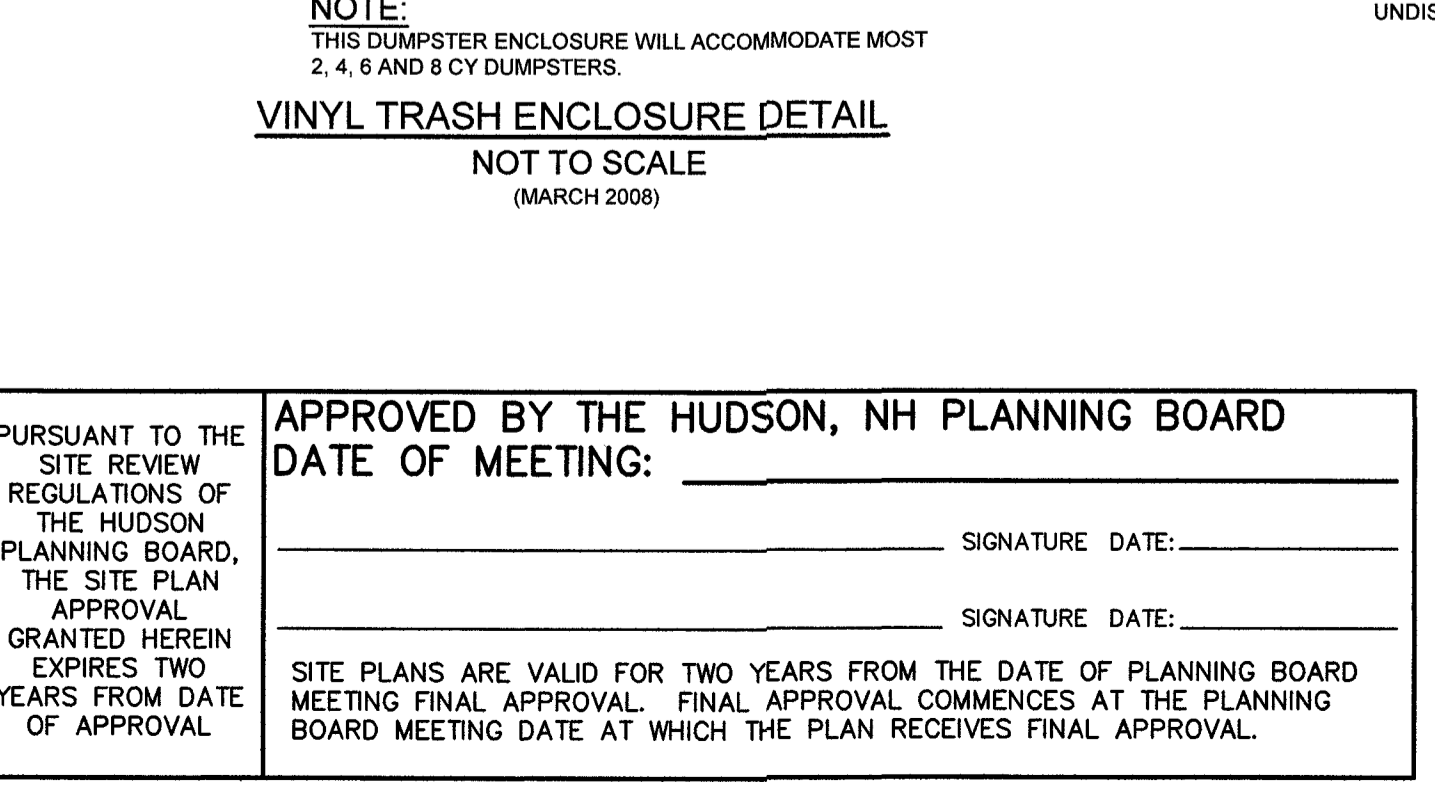
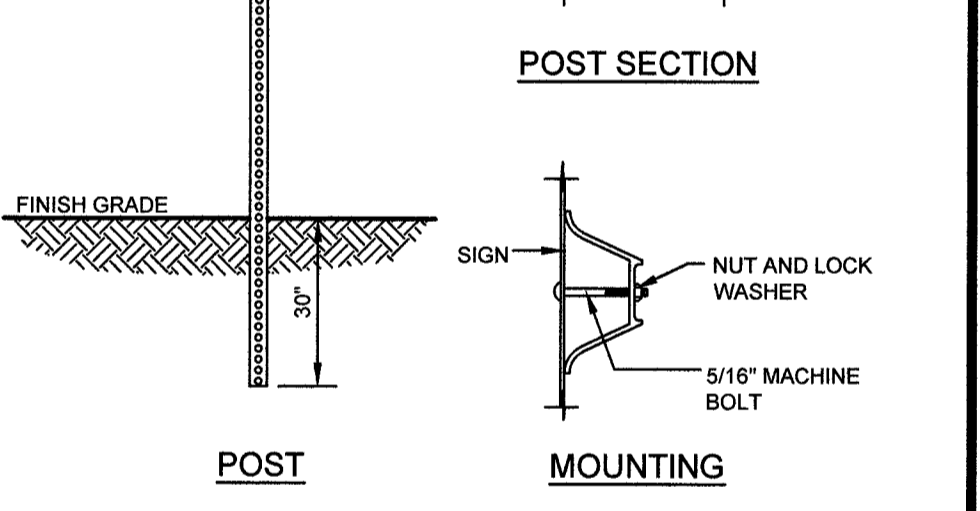
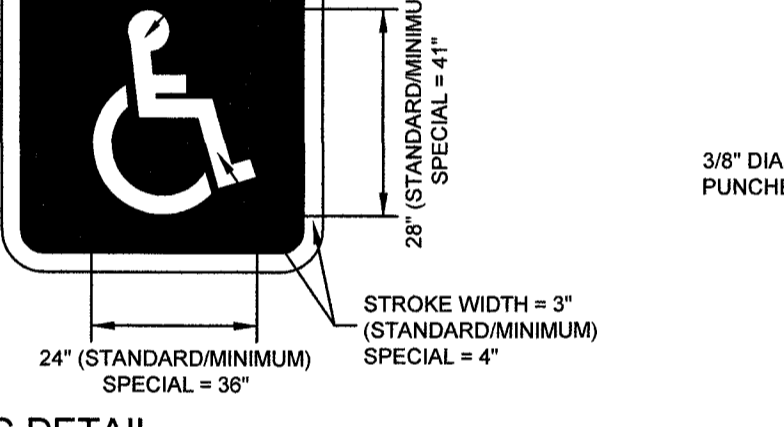
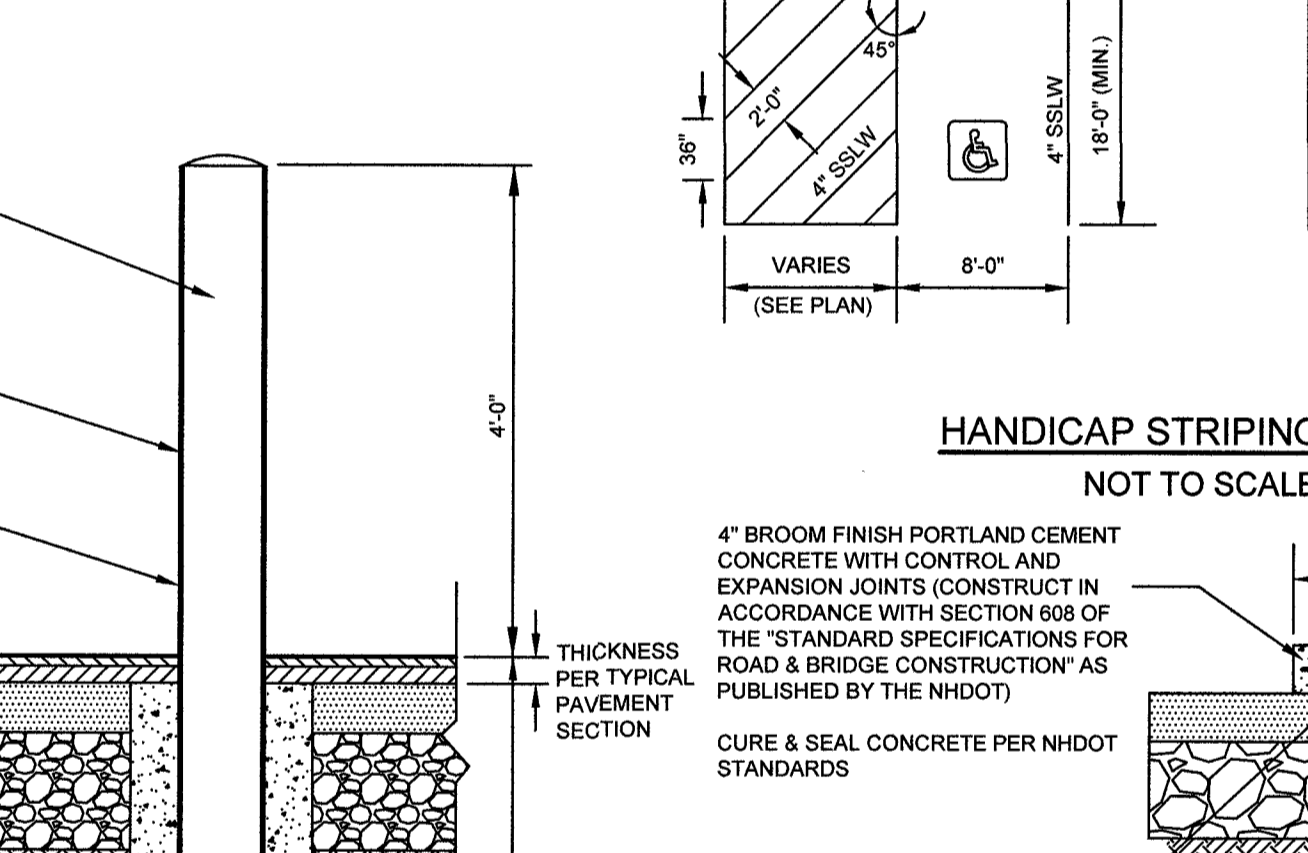
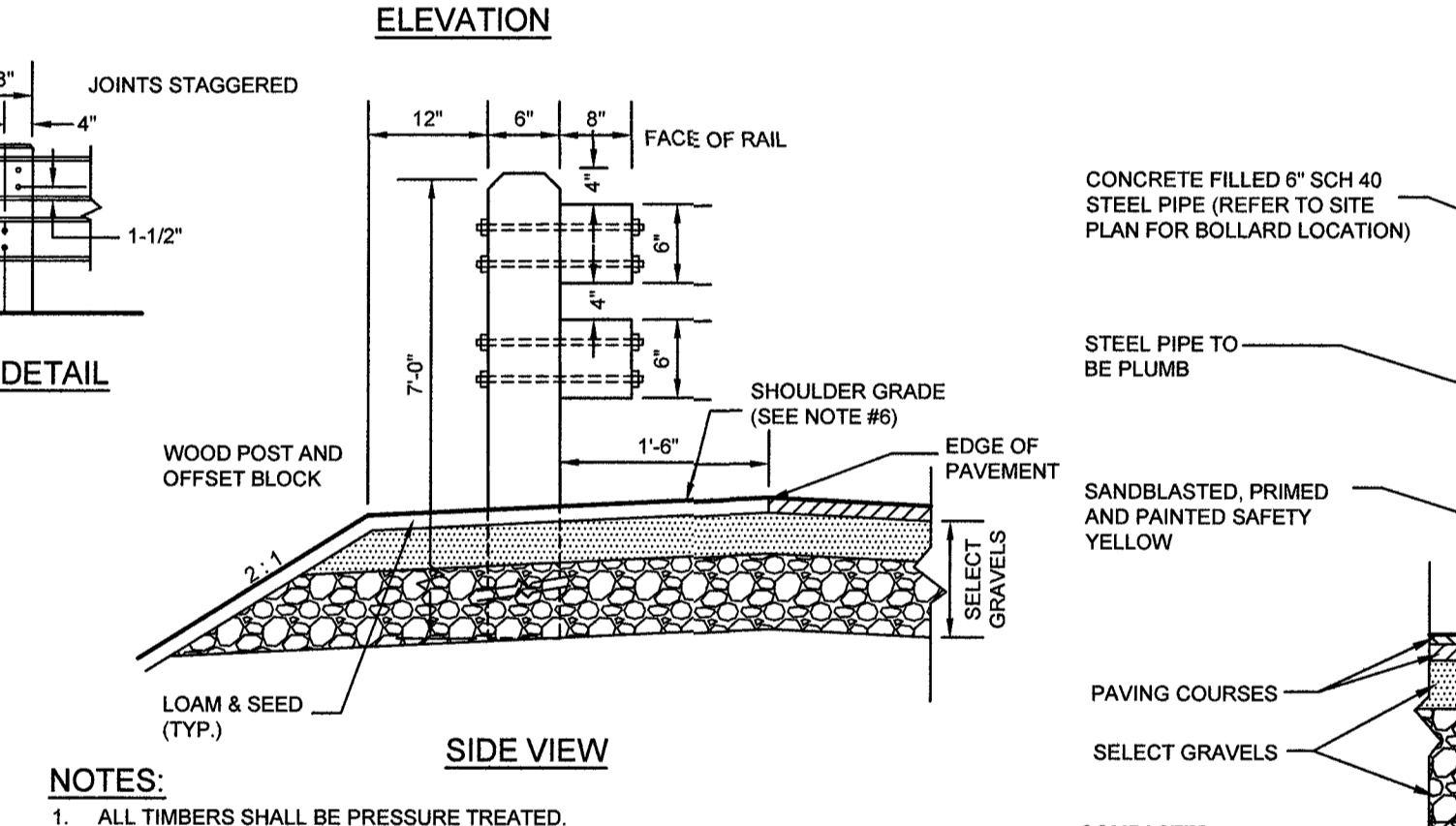
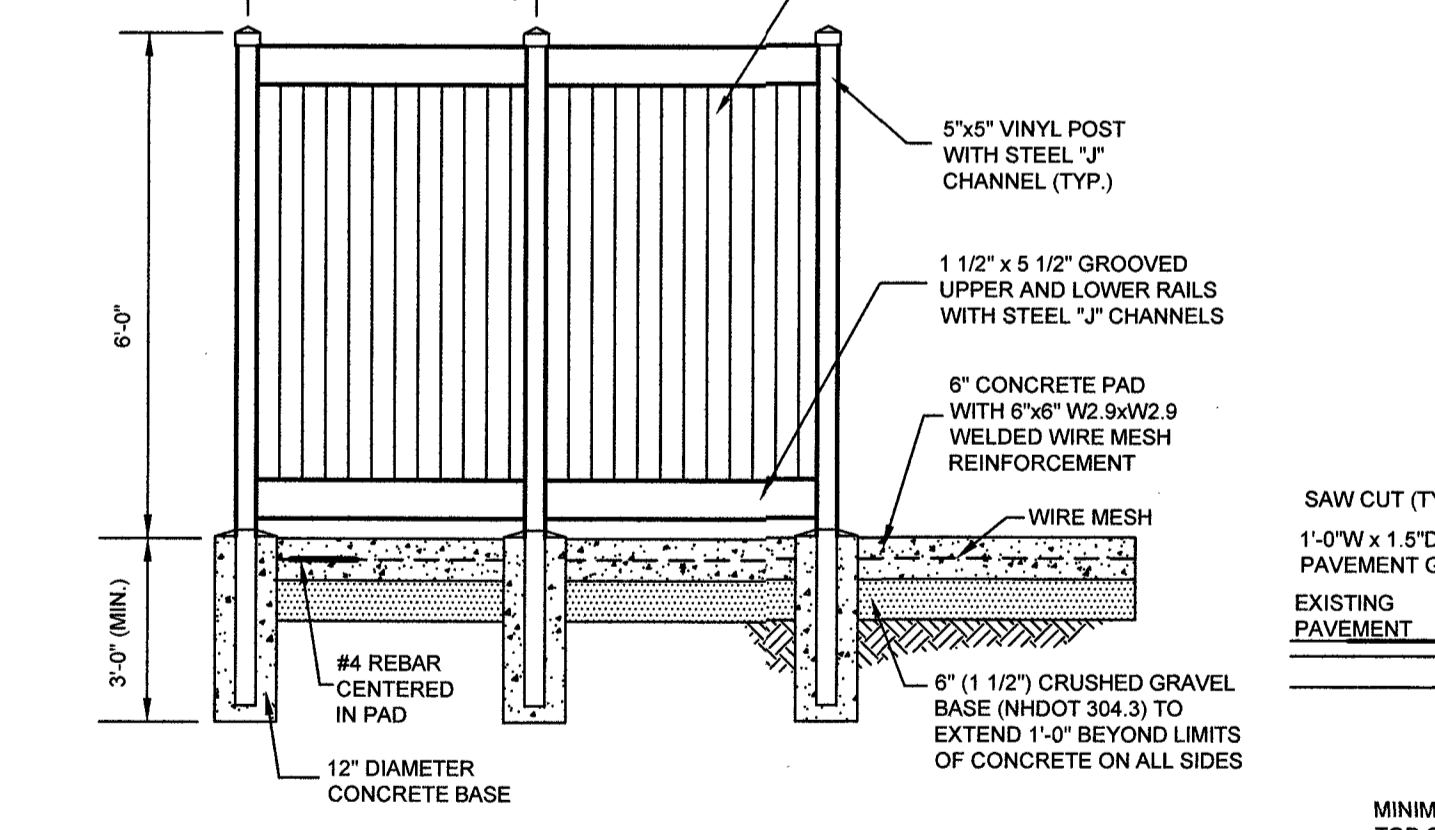
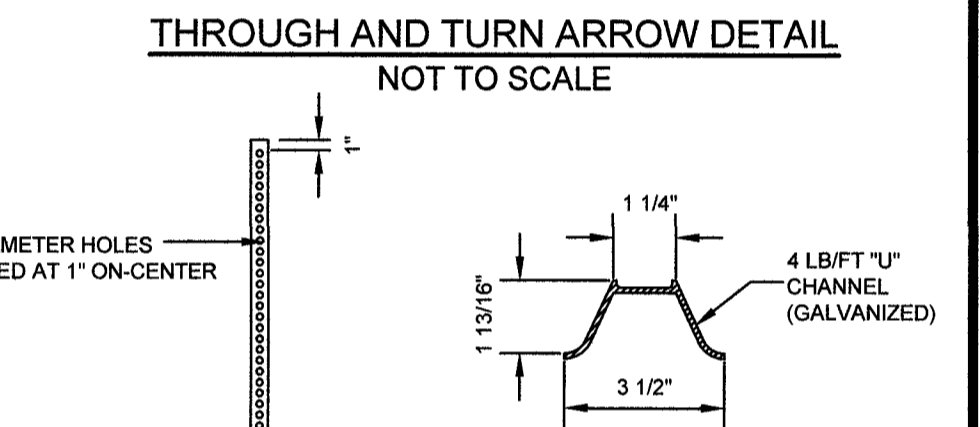
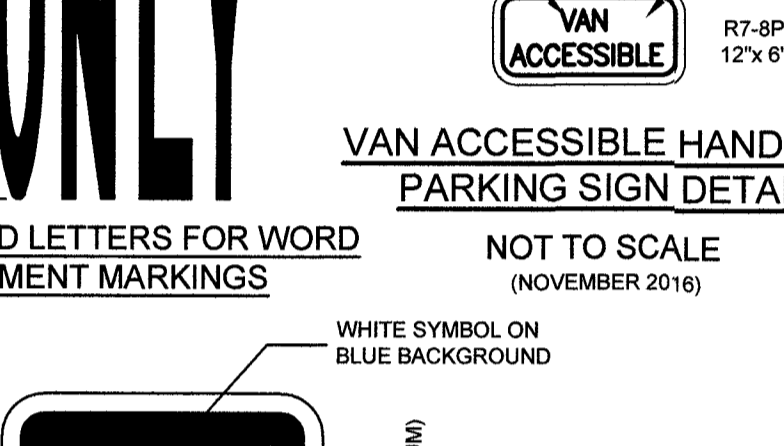
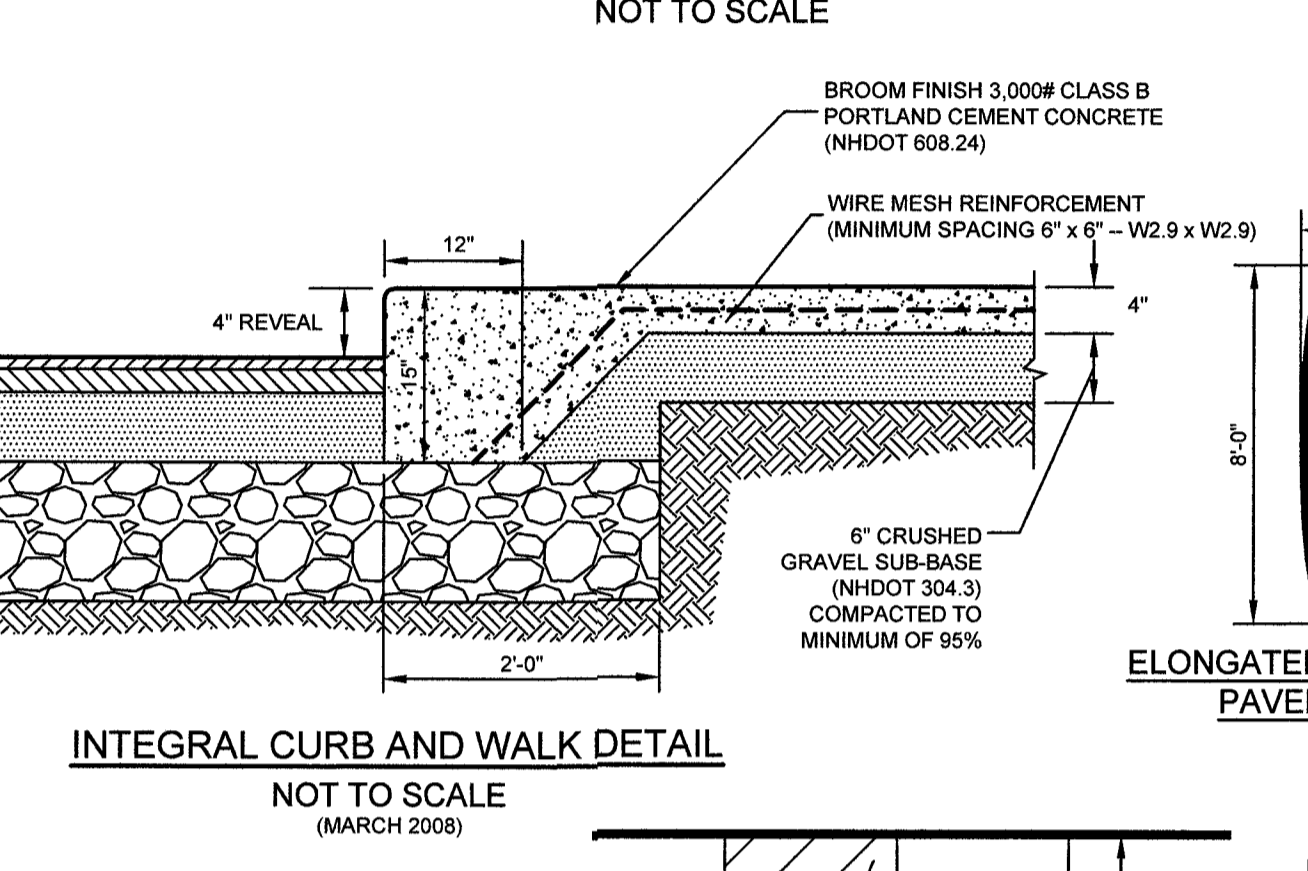
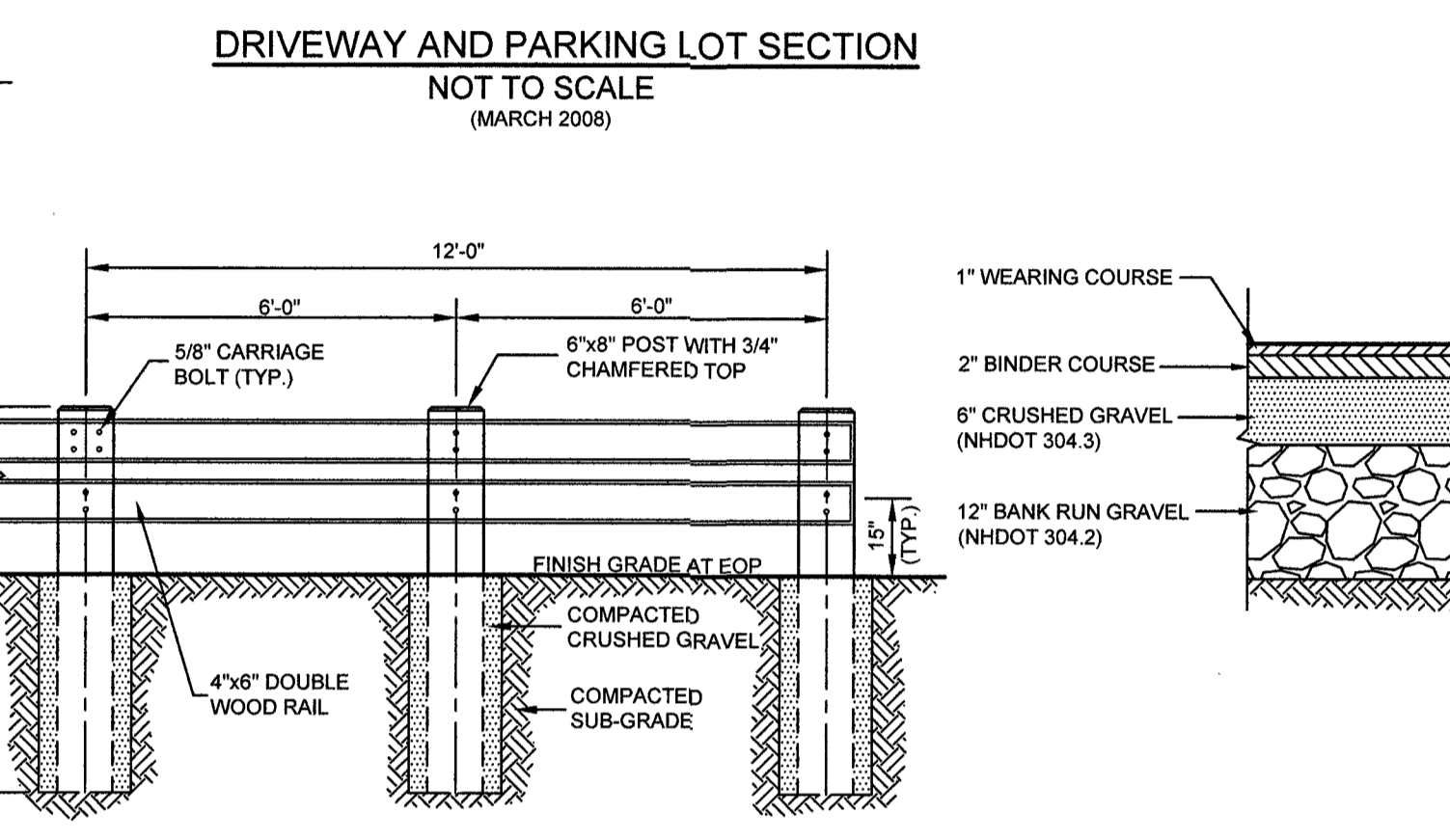
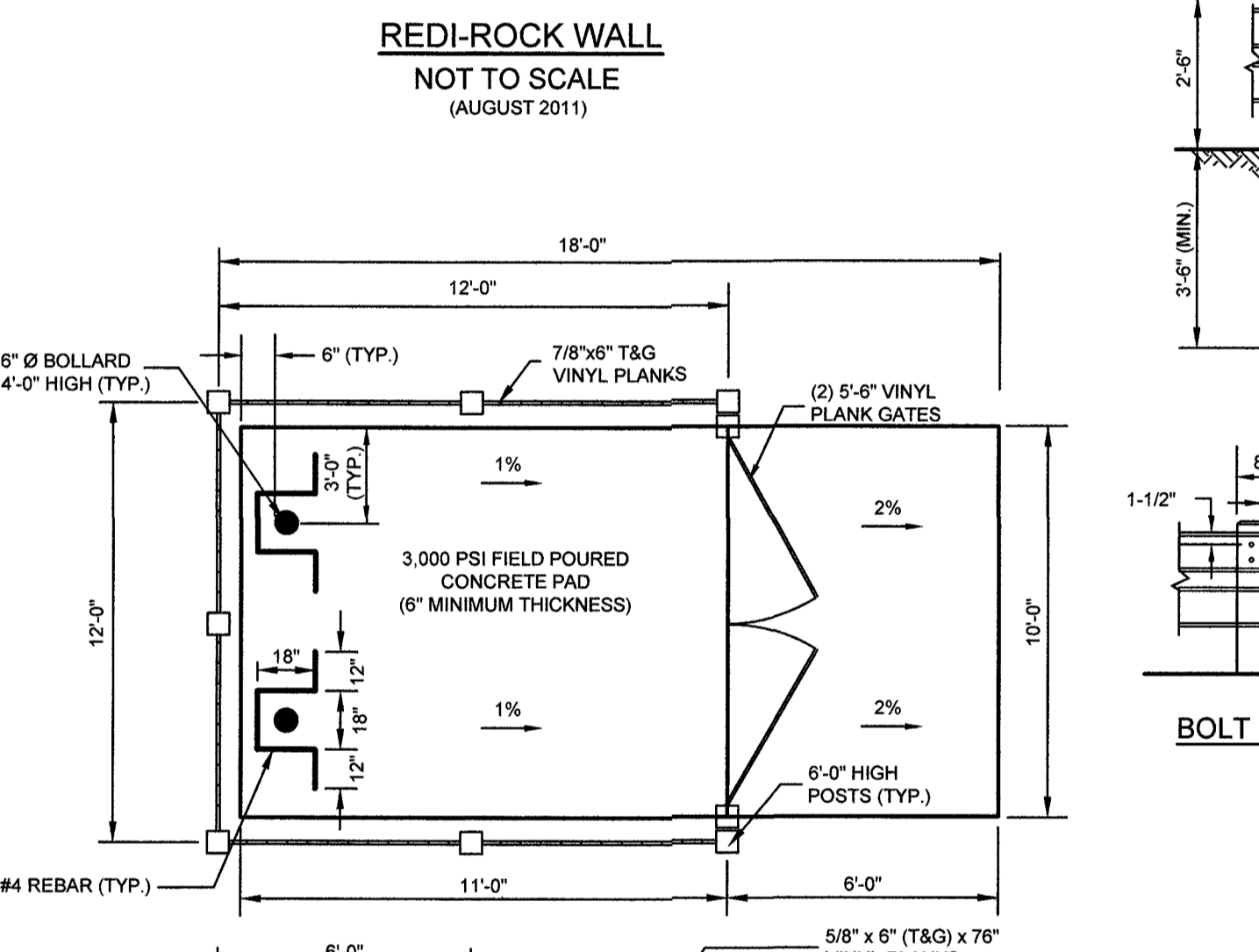
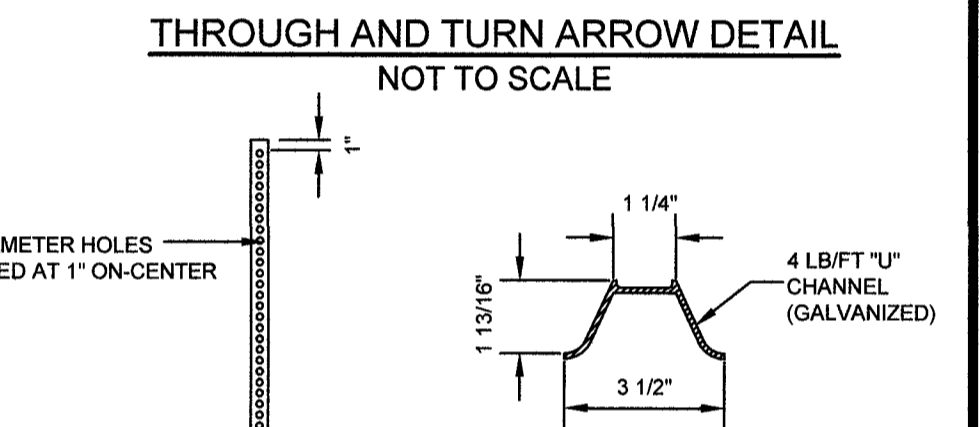
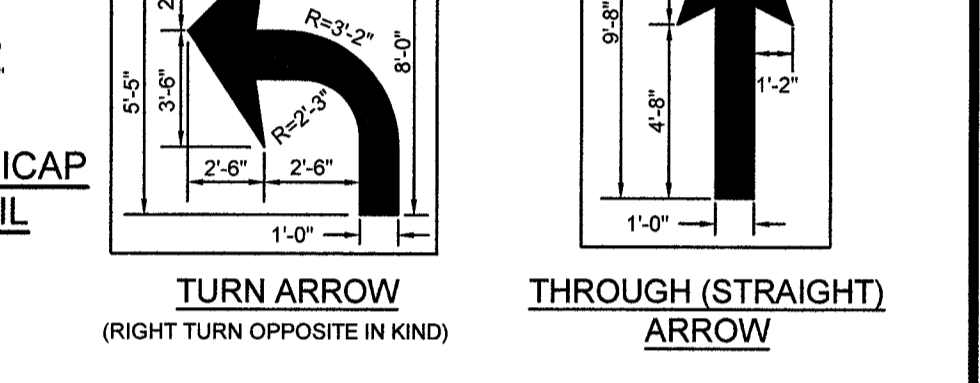
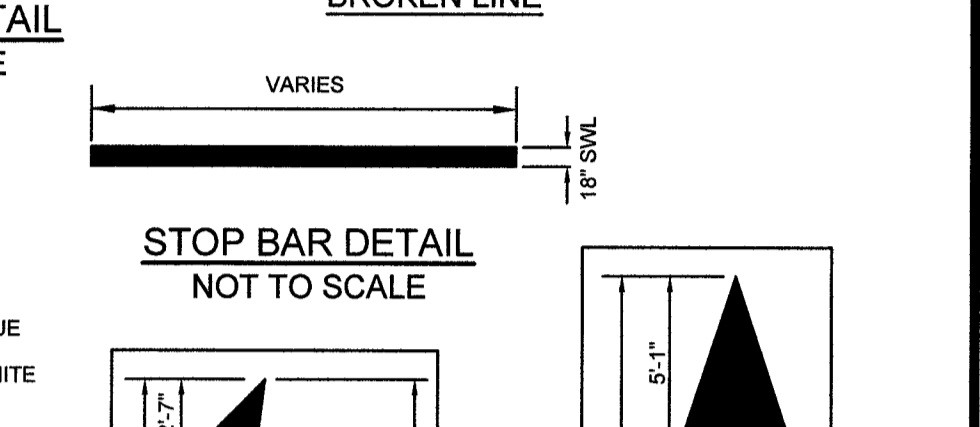
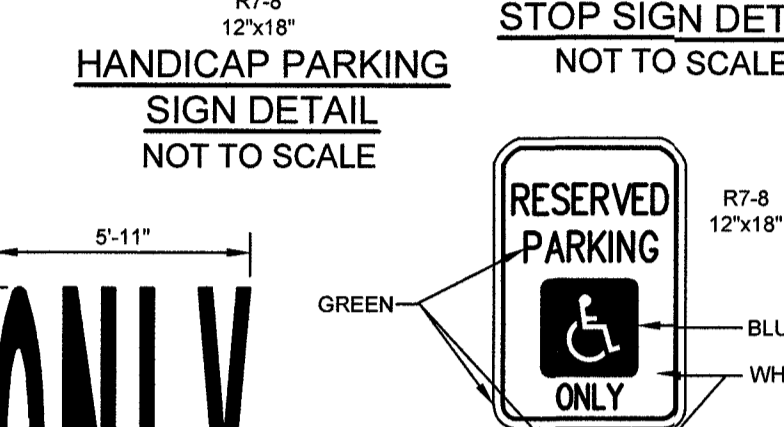
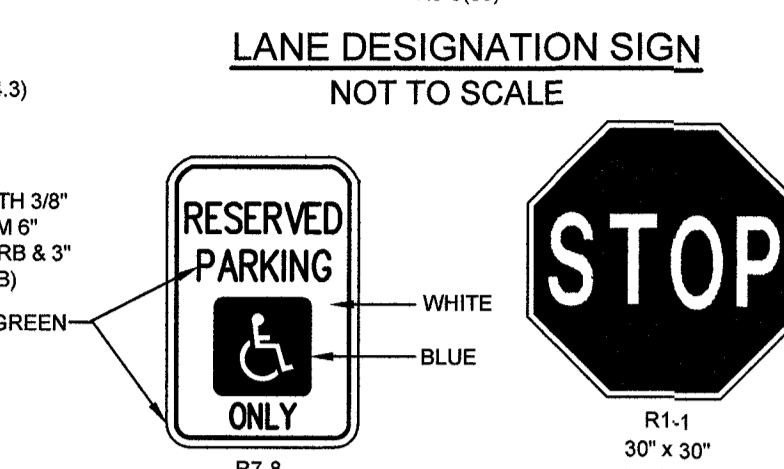
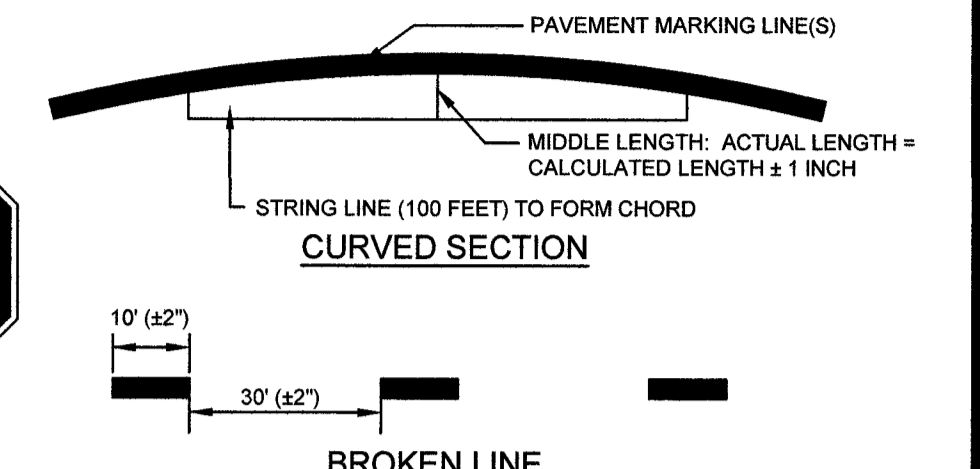
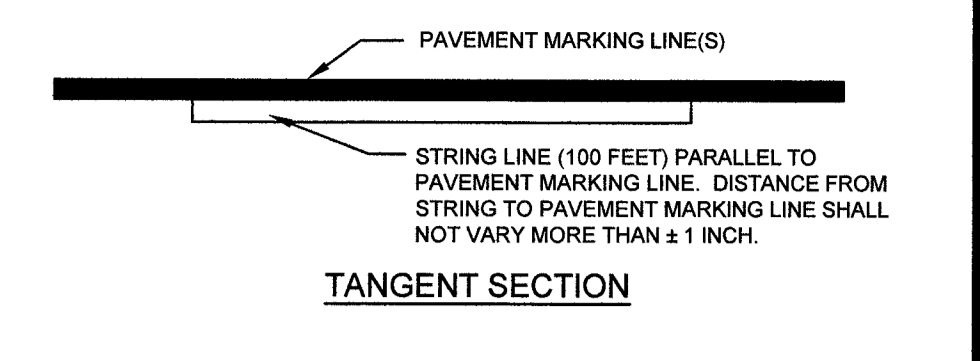
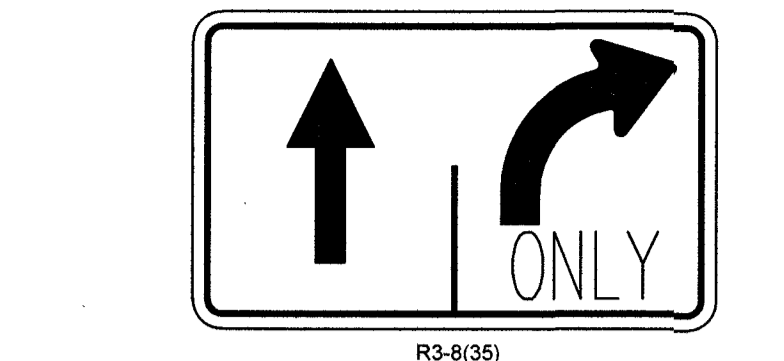
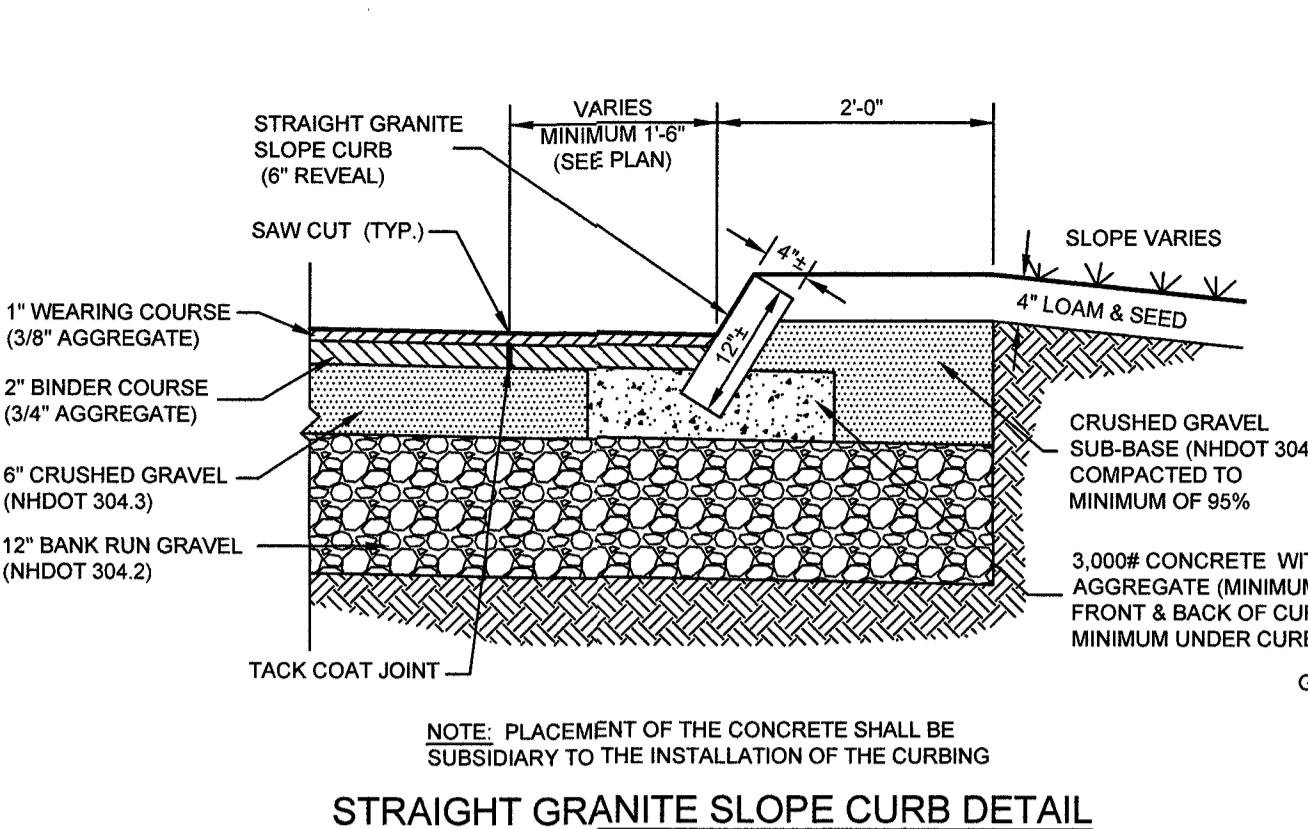
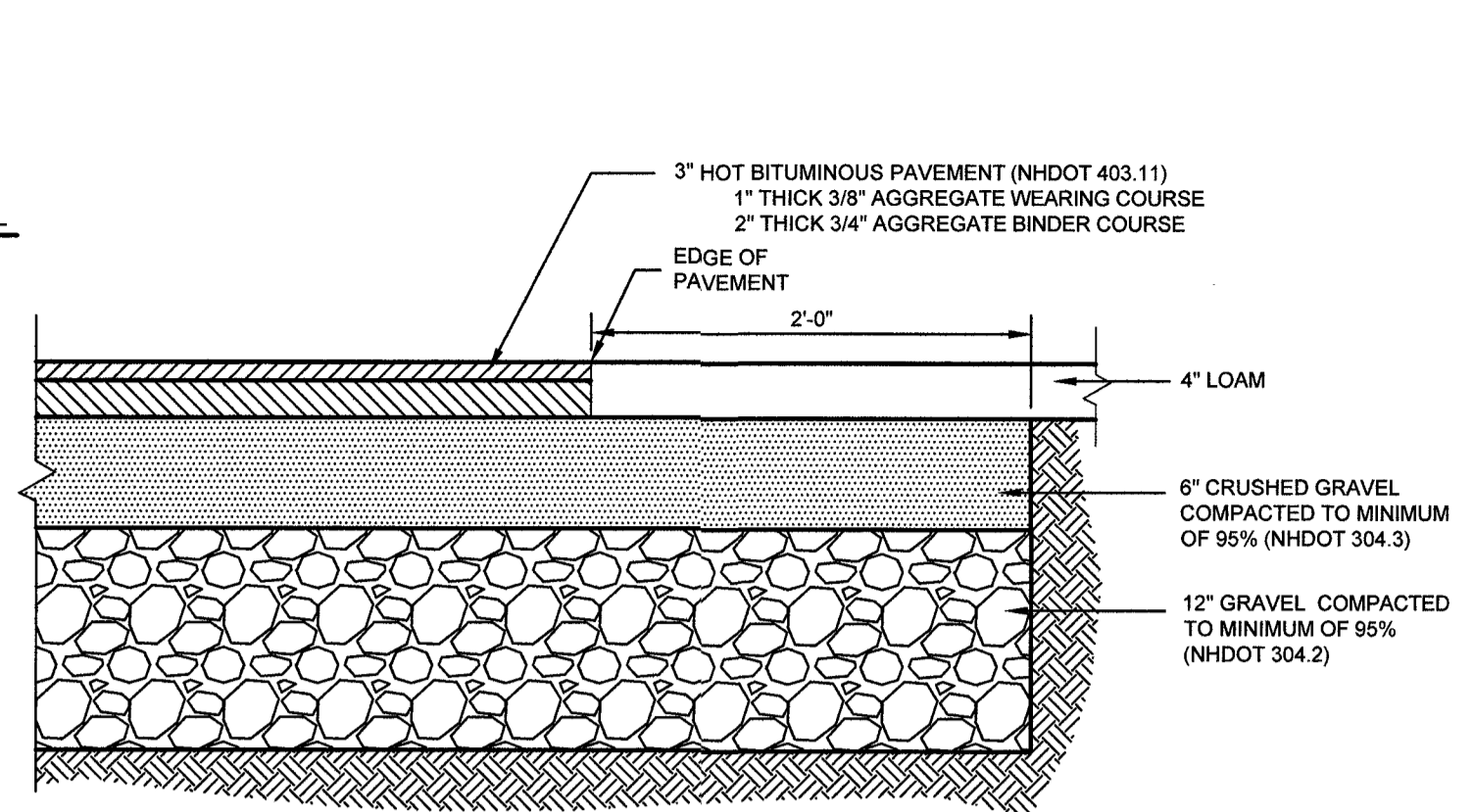
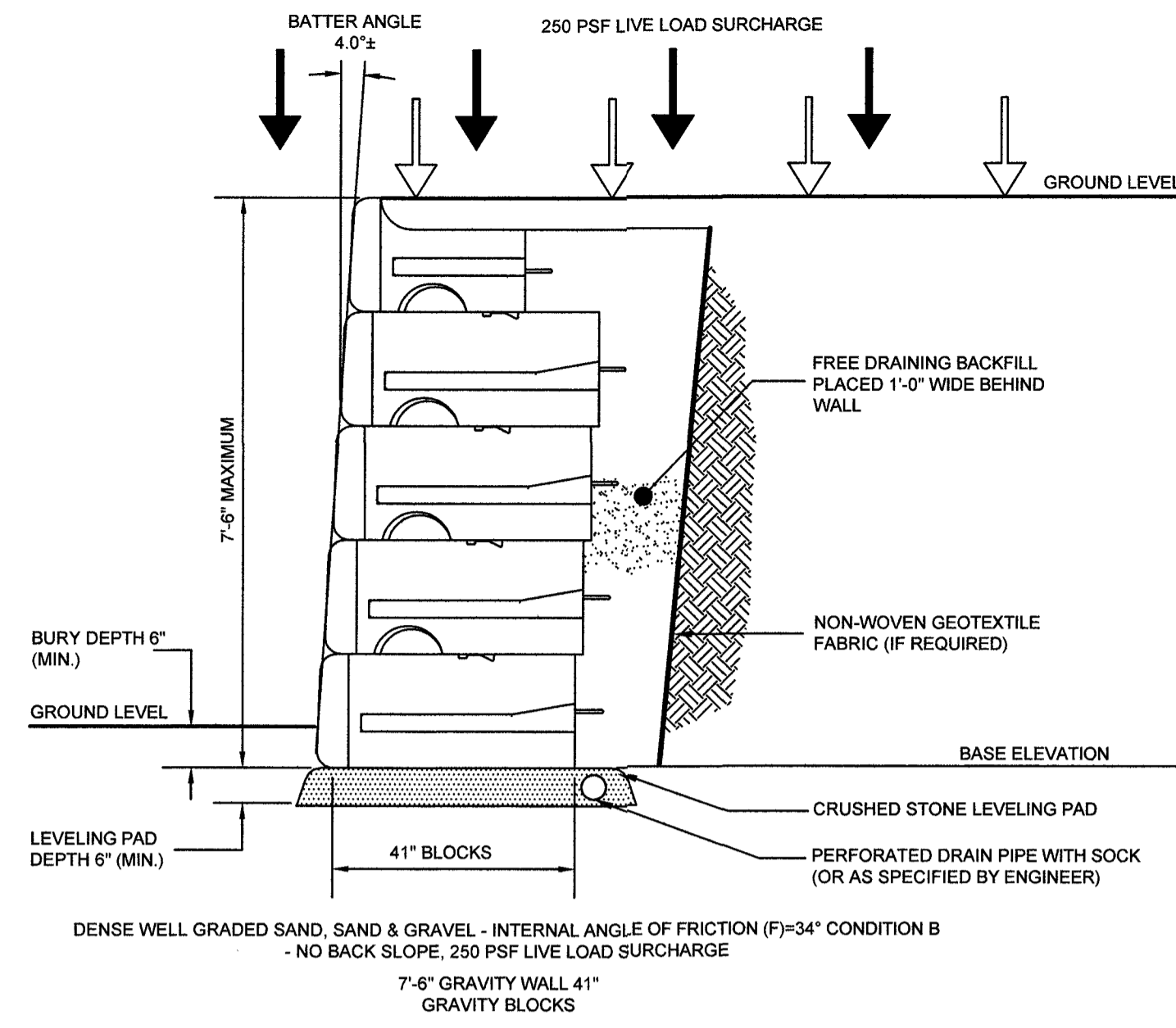
REVISIONS			
No.	DATE	DESCRIPTION	BY
1	09-07-2023	REVISIONS PER TOWN AND PEER REVIEW	BES
2	10-25-2023	REVISIONS PER TOWN AND PEER REVIEW	PDC
3	2-14-2024	REVS PER PB COMMENTS & PEER REVIEW	PCM
4	3-13-2024	REVS PER PB COMMENTS	PCM
5	4-19-2024	REVS PER NHDES SEWER COMMENTS	PCM
6	5-9-2024	REVS PER PB COMMENTS	PCM

DATE: JULY 10, 2023 SCALE: 1" = 30'  
 PROJECT NO: 18-0612-3 SHEET 15 OF 20

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
 DATE OF MEETING: \_\_\_\_\_  
 \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



**CONSTRUCTION DETAILS**  
**CENTRAL GAS**  
MAP 182; LOT 217  
LOWELL ROAD & CENTRAL STREET  
HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

**OWNER/APPLICANT:**  
NOTTINGHAM SQUARE CORPORATION  
46 LOWELL ROAD  
HUDSON, N.H. 03051

**KMA** KEACH-NORDSTROM ASSOCIATES, INC.  
Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

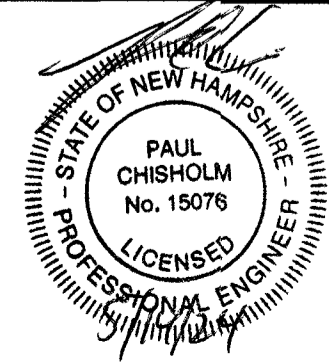
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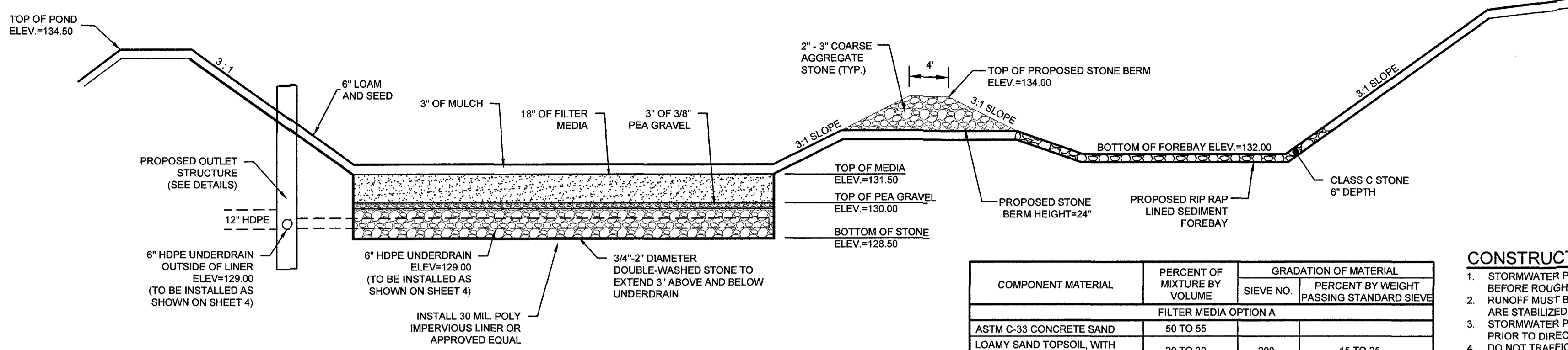
DATE: JULY 10, 2023 SCALE: 1" = 40'  
PROJECT NO: 18-0612-3 SHEET 16 OF 20

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

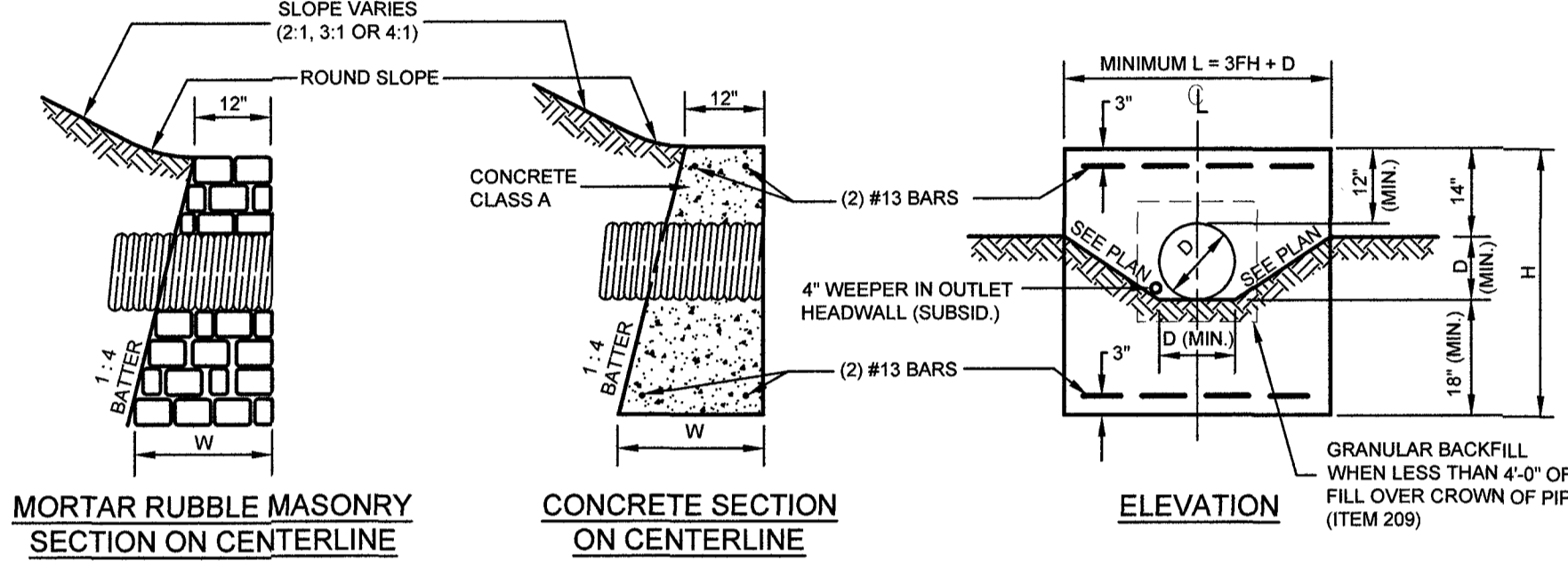
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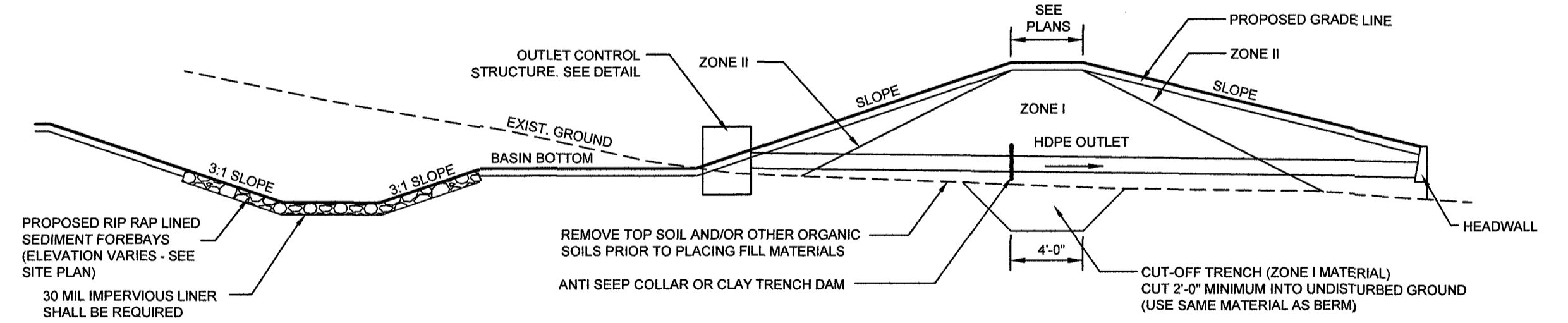


COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	
		SIEVE NO.	PERCENT BY WEIGHT PASSING STANDARD SIEVE
FILTER MEDIA OPTION A			
ASTM C-33 CONCRETE SAND	50 TO 55		
LOAMY SAND TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	15 TO 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	<5
FILTER MEDIA OPTION B			
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	<5
LOAMY COARSE SAND	70 TO 80	10	85 TO 100
		60	15 TO 40
		200	8 TO 15



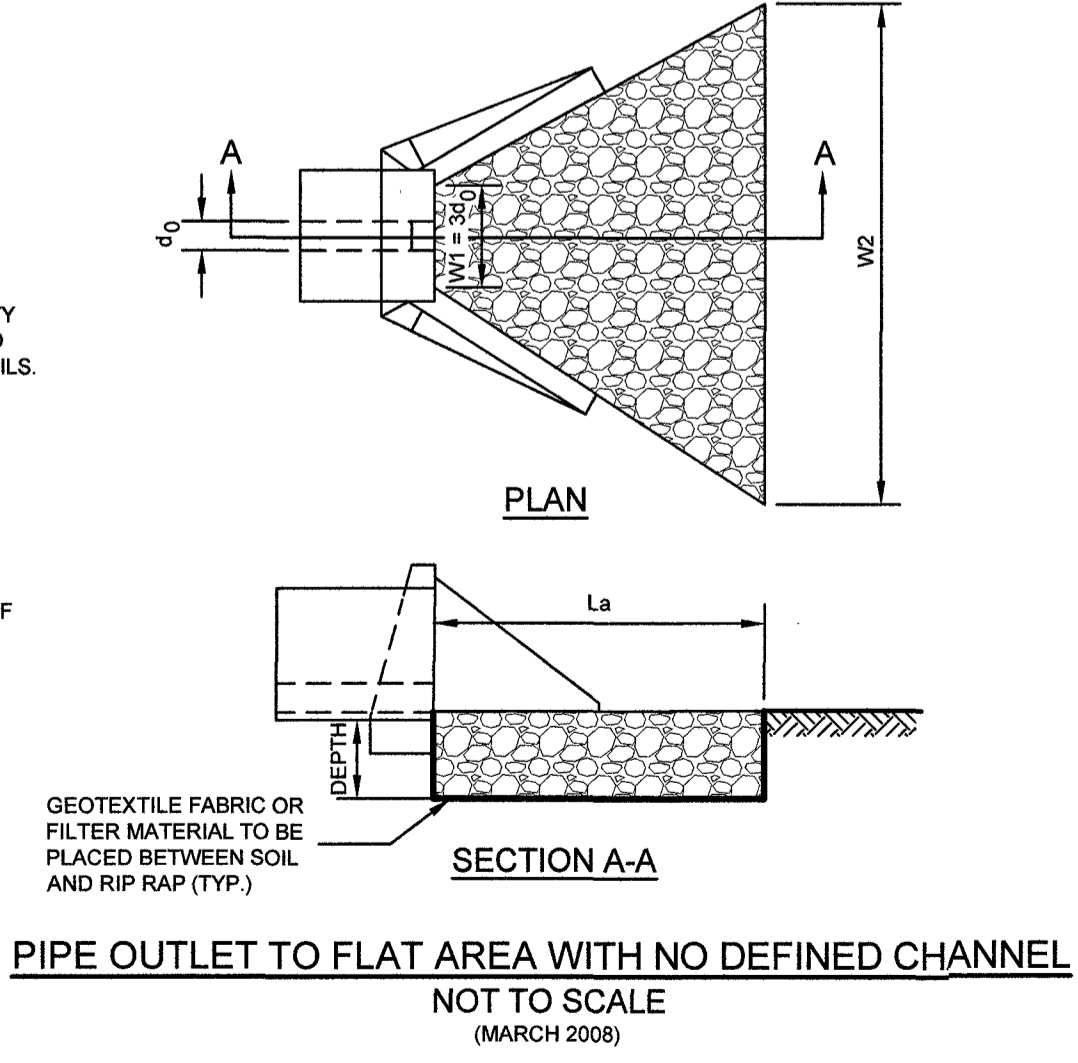
DIAMETER D (INCH)	AREA OF PIPE (SQ. FT.)	MASONRY PER FOOT OF WALL (CU. YD.)	MASONRY PER HOLE (CU. FT.)	MASONRY PER STANDARD HEADER (CU. YD.)	STEEL PER STANDARD HEADER (LB)	LENGTH OF BARS	PIPE EXC. 1\"/> <th colspan="2">ITEM 209 PER LINEAR FOOT</th> <th rowspan="2">HEADER LENGTH L</th> <th rowspan="2">HEADER HEIGHT H</th> <th rowspan="2">FILL HEIGHT FH</th> <th rowspan="2">WIDTH AT BOTTOM OF HEADER W</th> <th rowspan="2">MASONRY IN CORNER FRUSTRUM (CU. YD.)</th> <th rowspan="2">HEADER EXC. PER HEADER 1\"/&gt; </th>	ITEM 209 PER LINEAR FOOT		HEADER LENGTH L	HEADER HEIGHT H	FILL HEIGHT FH	WIDTH AT BOTTOM OF HEADER W	MASONRY IN CORNER FRUSTRUM (CU. YD.)	HEADER EXC. PER HEADER 1\"/>
								EXC. PER LINEAR FOOT	EXC. PER FOOT						
12"	0.79	0.186	1.08	0.81	9	3'-2"	0.111	0.788	0.30	3'-6"	3'-6"	10"	1'-10 1/2"	0.28	1.057
15"	1.23	0.202	1.73	0.85	11	3'-10"	0.120	0.947	0.35	4'-6"	3'-9"	11-1"	1'-11 1/4"	0.31	1.232
18"	1.77	0.222	2.52	1.13	14	5'-2"	0.130	1.111	0.39	5'-6"	4'-0"	1'-4"	2'-0"	0.35	1.406

MORTAR RUBBLE MASONRY AND CONCRETE HEADWALLS NOT TO SCALE



- STORMWATER PONDS CONSTRUCTION SEQUENCE**
- CONTRACTOR TO NOTIFY DIG-SAFE 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - CUT AND CLEAR TREES AND BRUSH FROM CONSTRUCTION AREAS TO THE EXTENT NECESSARY. ALL BRANCHES, TOPS AND BRUSH TO BE PROPERLY DISPOSED OF BY CONTRACTOR.
  - PRIOR TO GRUBBING OF CLEARED AREAS, ALL SILTATION BARRIERS DESIGNED FOR USE AS TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AS CALLED FOR ON PROJECT PLANS.
  - COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR DEBRIS SHALL BE PROPERLY DISPOSED OF BY CONTRACTOR. ORGANIC MATERIAL SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED IN UPLAND AREAS. ALL STOCKPILES SHALL BE SEEDED WITH WINTER RYE AND, IF NECESSARY, SURROUNDED WITH HAY BALES IN ORDER TO PREVENT LOSS DUE TO EROSION.
  - CONSTRUCT TEMPORARY CULVERTS AS NECESSARY TO FACILITATE CONSTRUCTION ACTIVITIES. ALL SUCH CROSSINGS SHALL BE PROTECTED WITH HAY BALE BARRIERS TO LIMIT EROSION.
  - CONSTRUCT CUT-OFF TRENCH (PART OF ZONE I).
  - CONSTRUCT OUTLET AND OVERFLOW STRUCTURE, CULVERT, ANTI SEEP COLLARS, HEADWALL, AND RIP RAP OUTLET PROTECTION AS SHOWN ON PLANS.
  - CONSTRUCT ZONE I PORTION OF EARTH EMBANKMENT.
  - CONSTRUCT ZONE II PORTION OF EARTH EMBANKMENT.
  - APPLY TOPSOIL TO SLOPES AND OTHER AREAS DISTURBED BY CONSTRUCTION. TOPSOIL USED MAY BE NATIVE ORGANIC MATERIAL SCREENED SO AS TO BE FREE OF ROOTS, BRANCHES, STONES, AND OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL BE APPLIED SO AS TO PROVIDE A MINIMUM OF A 4-INCH COMPACTED THICKNESS. UPON COMPLETION OF TOPSOIL, FINISHED SECTIONS ARE TO BE LIME, SEEDED AND MULCHED. CONSTRUCTION PERSONNEL SHALL INSPECT COMPLETED SECTIONS OF WORK ON A REGULAR BASIS AND REMEDY ANY PROBLEM AREAS UNTIL A HEALTHY STAND OF GRASS HAS BECOME ESTABLISHED.
  - MAINTAIN, REPAIR, AND REPLACE AS NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL SUCH TIME AS THE ENTIRE CONSTRUCTION AREA HAS BEEN STABILIZED (A MINIMUM OF ONE WINTER SHALL HAVE PASSED).
  - AFTER STABILIZATION, REMOVE AND SUITABLY DISPOSE OF TEMPORARY EROSION CONTROL MEASURES.
  - MONITOR CONSTRUCTION ACTIVITIES TO INSURE CONSTRUCTION ACTIVITIES ARE BEING PERFORMED IN SUCH A WAY AS NOT TO ENDANGER THE INTEGRITY OF EARTH EMBANKMENTS, STORMWATER CONTROL STRUCTURE, CULVERT AND RIP RAP OUTLET PROTECTION.

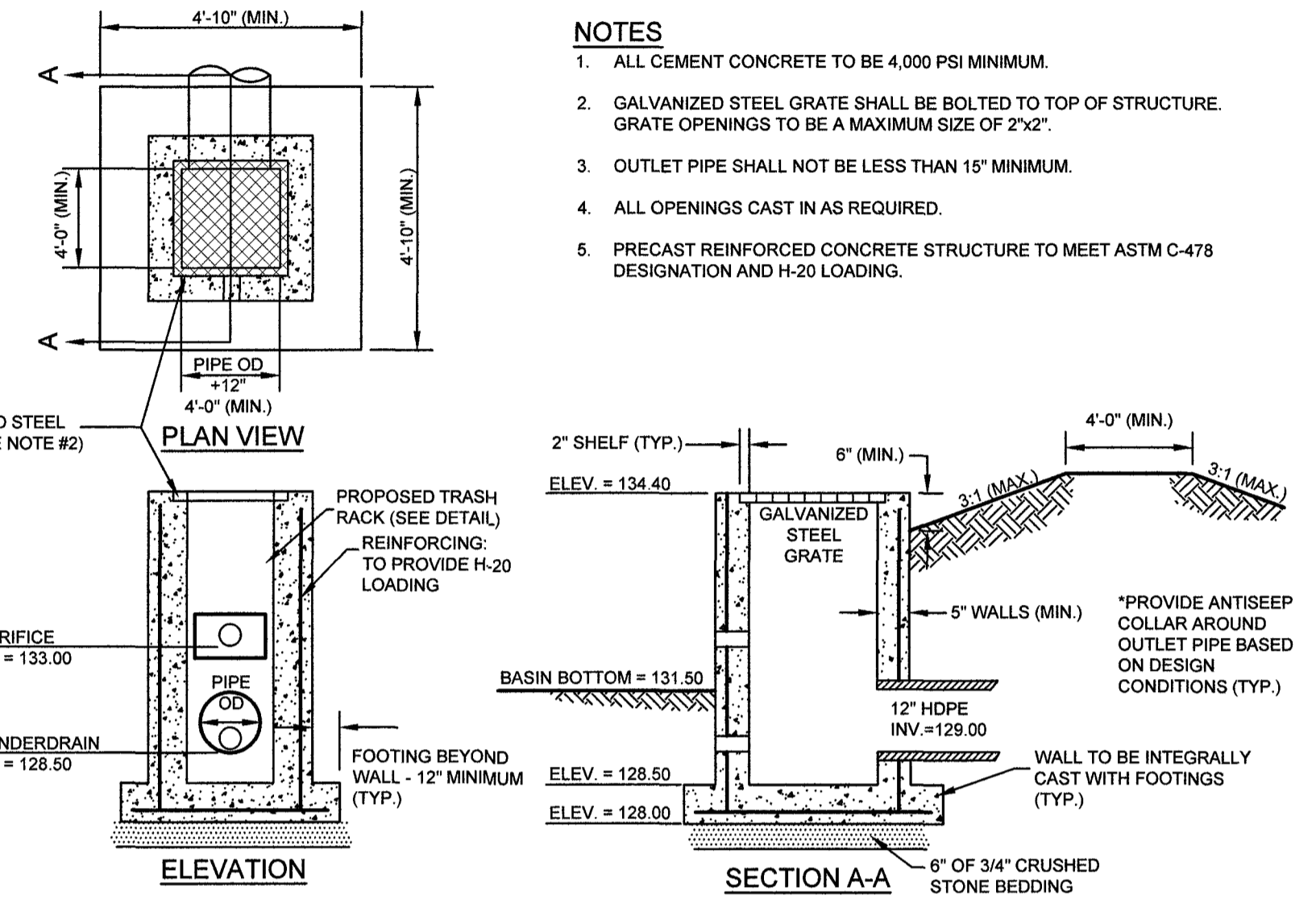
- MATERIAL TYPE/SPECIFICATIONS**
- ZONE I**  
WELL GRADED MIXTURE OF GRAVEL, SAND, SILT OR CLAY WITH MAX. 8-INCH SIZE STONE AND GEADATION AS INDICATED BELOW. PLACE IN MAX. 12-INCH THICK LIFTS TO 95% OF MAX. DRY DENSITY IN ACCORDANCE WITH ASTM D1557. SCARIFY SURFACE PRIOR TO PLACING SUBSEQUENT LIFT. IN ADDITION, REMOVE ORGANIC SOILS.
- SIEVE SIZE PERCENT BY WEIGHT PASSING  
 6-INCH 100  
 NO. 4 50 TO 100  
 NO. 40 30 TO 70  
 NO. 200 20 TO 40
- ZONE II**  
DRAINAGE LAYER: PLACE IN MAX. 12-INCH THICK LIFTS TO 95% OF MAX. DRY DENSITY IN ACCORDANCE WITH ASTM D1557.
- SIEVE SIZE PERCENT BY WEIGHT PASSING  
 1-INCH 100  
 NO. 4 70-100  
 NO. 200 0-12 (IN SAND PORTION ONLY)



LOCATION	La	W1	W2	d50	DEPTH
PROP. HW#1	9'	3'	7'	4"	10"
PROP. HW#2	8'	3'	6'	4"	10"
PROP. HW#3	17'	4'	11'	4"	10"

- MAINTENANCE REQUIREMENTS:**
- SEDIMENT FOREBAYS:**
- INSPECT AT LEAST ANNUALLY.
  - CONDUCT PERIODIC MOWING OF EMBANKMENTS (GENERALLY TWO TIMES PER YEAR) TO CONTROL GROWTH OF WOODY VEGETATION ON EMBANKMENTS.
  - REMOVE DEBRIS FROM OUTLET STRUCTURES AT LEAST ONCE ANNUALLY.
  - REMOVE AND DISPOSE OF ACCUMULATED SEDIMENT BASED ON INSPECTION.
  - INSTALL AND MAINTAIN A STAFF GAGE OR OTHER MEASURING DEVICE, TO INDICATE DEPTH OF SEDIMENT ACCUMULATION AND LEVEL AT WHICH CLEAN-OUT IS REQUIRED.
- BIORETENTION PONDS:**
- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
  - TRASH AND DEBRIS SHOULD BE REMOVED AT EACH INSPECTION.
  - INLET AND OUTLET STRUCTURES SHOULD BE REPAIRED AT EACH INSPECTION AND ANY DEBRIS REMOVED.
  - INSPECTION OF PRE-TREATMENT MEASURES AT LEAST TWICE ANNUALLY AND REMOVAL OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
  - PHOTOS OF PRACTICES SHALL BE TAKEN AND STORED DURING EACH INSPECTION.
  - AT LEAST ONCE ANNUALLY, THE SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME IF THE POND DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT. A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO THE REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE BASIN BOTTOM.

- CONSTRUCTION PRACTICE REQUIREMENTS:**
- STORMWATER PONDS, INFILTRATION BASINS, AND SWALES MUST BE INSTALLED BEFORE ROUGH GRADING TO SITE.
  - RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMPs ARE STABILIZED.
  - STORMWATER PONDS, INFILTRATION BASINS, AND SWALES MUST BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
  - DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATION WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
  - AFTER THE INFILTRATION SYSTEM AREA IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
  - DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
  - INFILTRATION BASIN FLOOR PREPARATION WILL INCLUDE GRASS TURF THAT CAN BE INUNDATED FOR UP TO 72 HOURS.
  - INFILTRATION AREAS ARE TO BE PROTECTED FROM OVER-COMPACTION DURING CONSTRUCTION.



- NOTES**
- ALL CEMENT CONCRETE TO BE 4,000 PSI MINIMUM.
  - GALVANIZED STEEL GRATE SHALL BE BOLTED TO TOP OF STRUCTURE. GRATE OPENINGS TO BE A MAXIMUM SIZE OF 2"x2".
  - OUTLET PIPE SHALL NOT BE LESS THAN 15" MINIMUM.
  - ALL OPENINGS CAST IN AS REQUIRED.
  - PRECAST REINFORCED CONCRETE STRUCTURE TO MEET ASTM C-478 DESIGNATION AND H-20 LOADING.

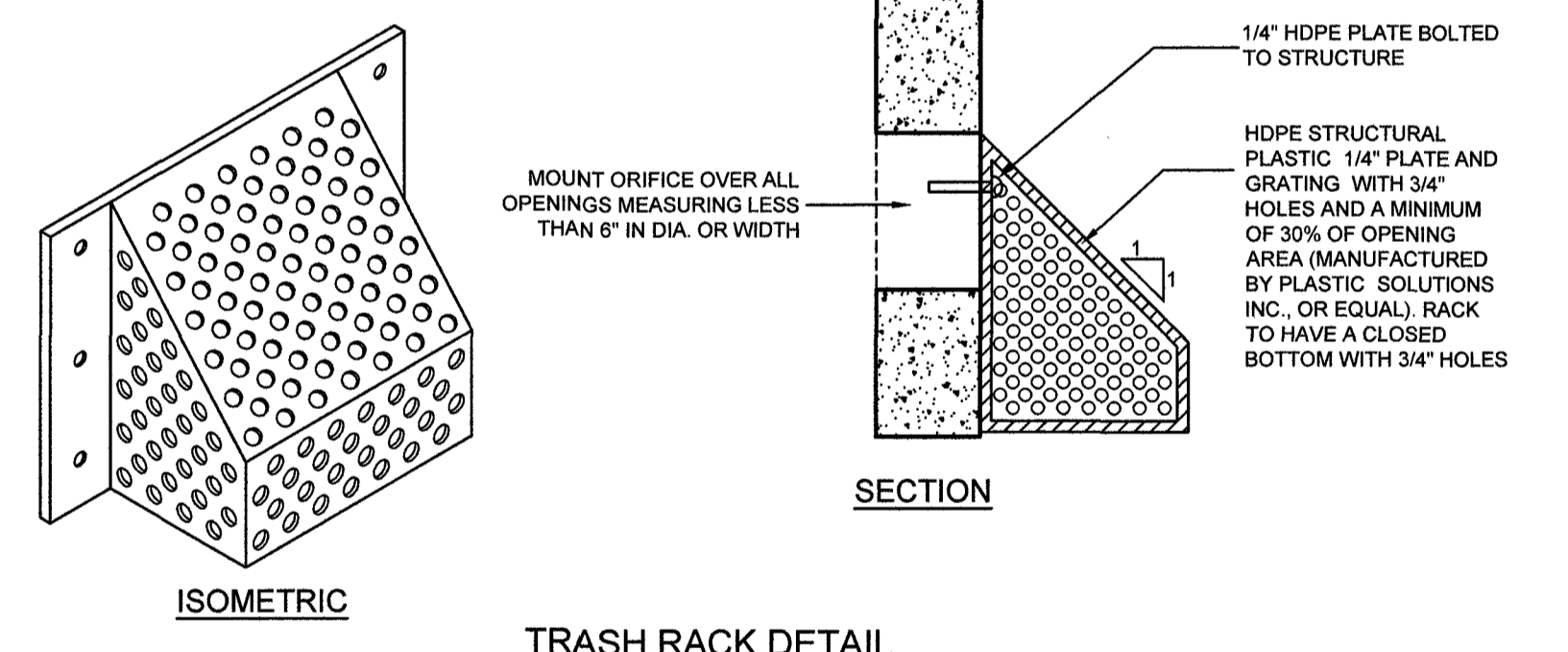


TABLE 7-24 -- RECOMMENDED RIP RAP GRADATION RANGES

PERCENT OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE
100%	1.5 TO 2.0 d50
85%	1.3 TO 1.8 d50
50%	1.0 TO 1.5 d50
15%	0.3 TO 0.5 d50

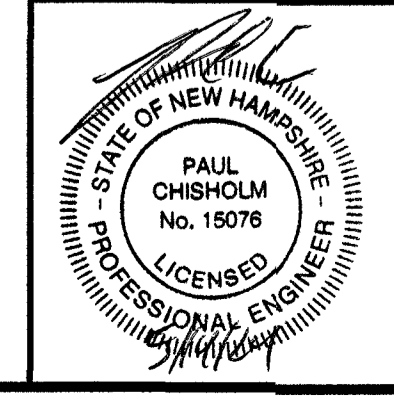
- CONSTRUCTION SPECIFICATIONS:**
- THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
  - THE ROCK OR GRAVEL USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
  - GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
  - STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

- MAINTENANCE:**
- THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR RAIN EVENT. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED, OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

**CONSTRUCTION DETAILS**  
**CENTRAL GAS**  
 MAP 182, LOT 217  
 LOWELL ROAD & CENTRAL STREET  
 HUDSON, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

**OWNER/APPLICANT:**  
 NOTTINGHAM SQUARE CORPORATION  
 46 LOWELL ROAD  
 HUDSON, N.H. 03051

**KMA KEACH-NORDSTROM ASSOCIATES, INC.**  
 Civil Engineering Land Surveying Landscape Architecture  
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



**REVISIONS**

No.	DATE	DESCRIPTION	BY
1	08-07-2023	REVISIONS PER TOWN AND PEER REVIEW	BES
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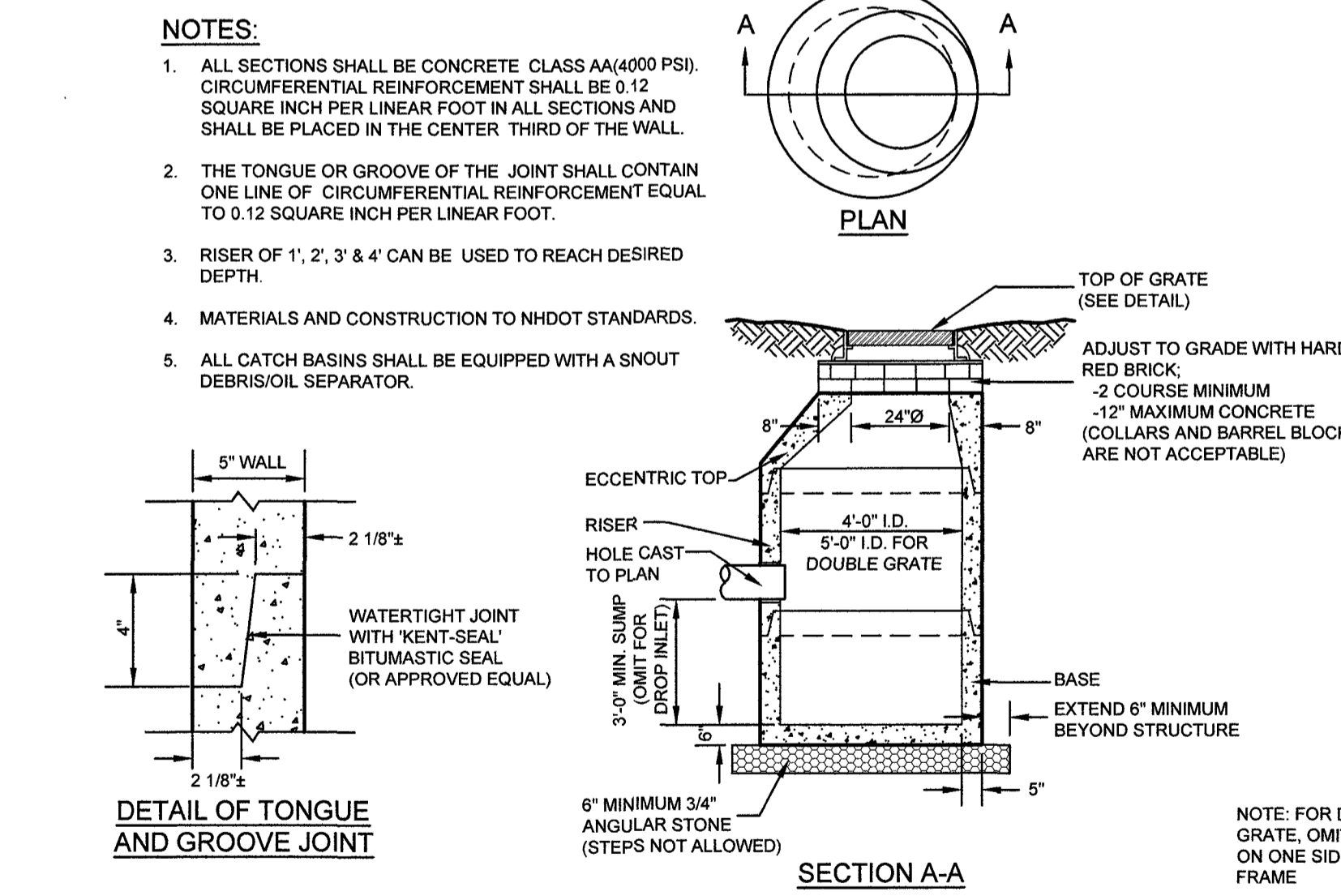
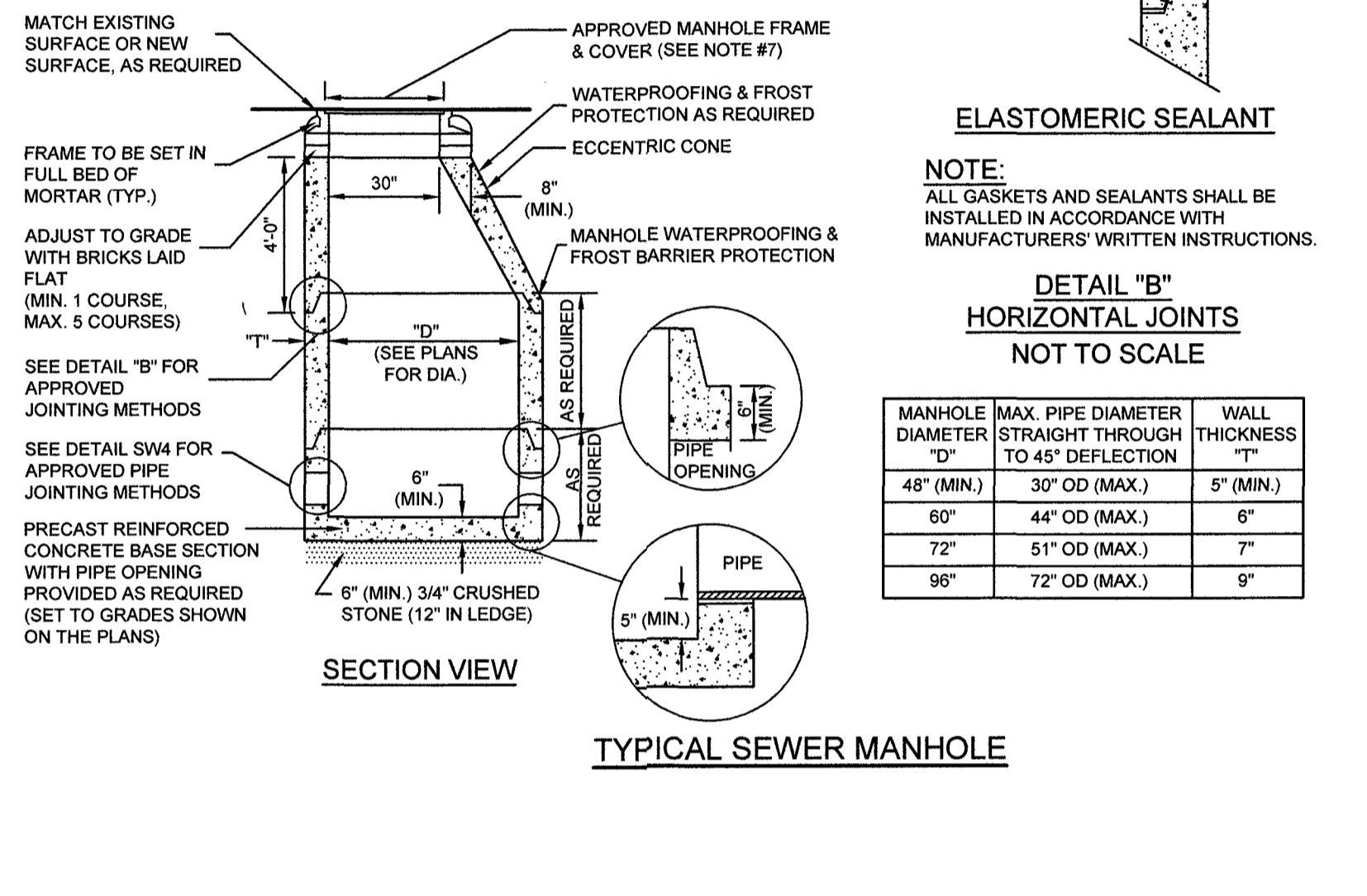
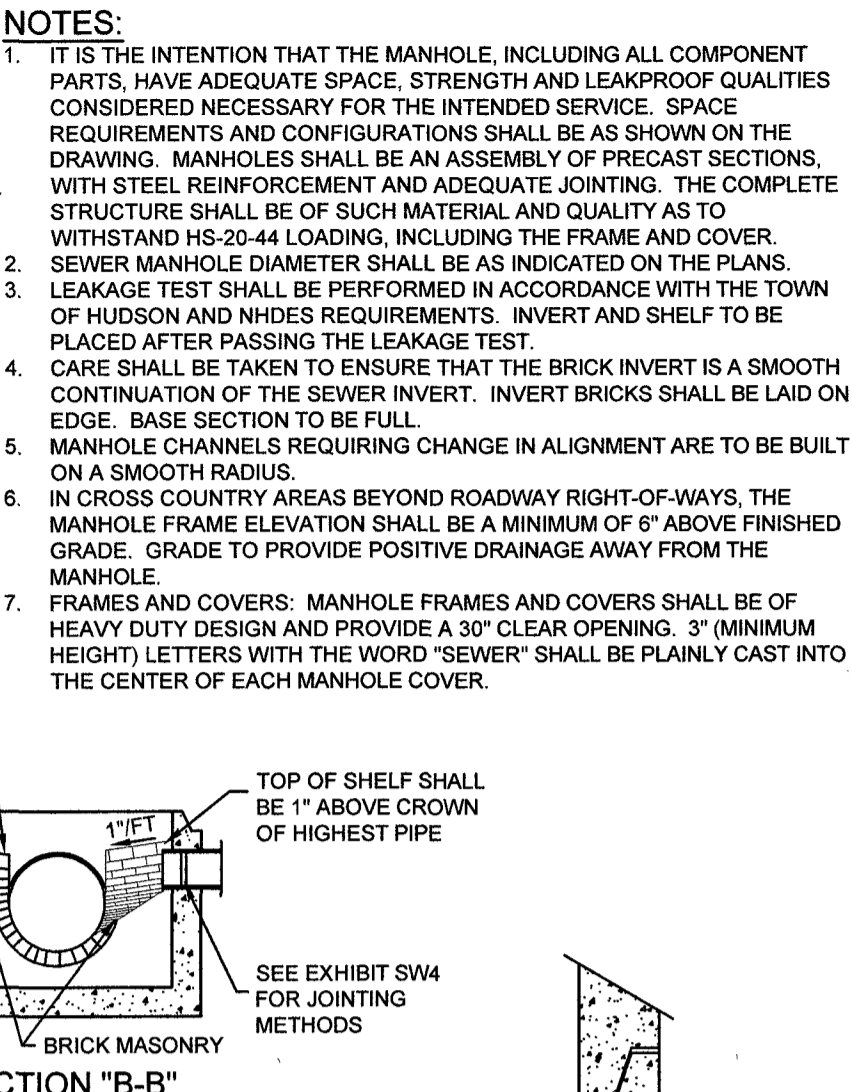
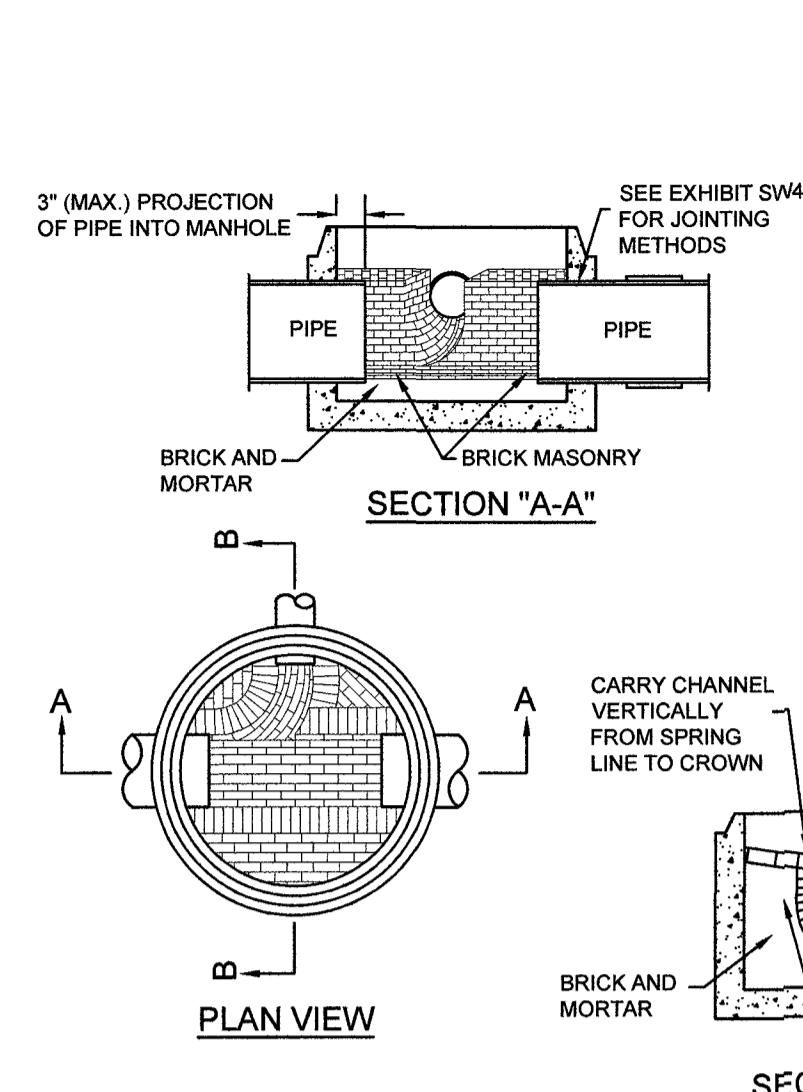
PURSUANT TO THE SITE REVIEW REGULATION OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
 DATE OF MEETING: \_\_\_\_\_

\_\_\_\_\_  
 SIGNATURE DATE: \_\_\_\_\_

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SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
 DATE OF MEETING: \_\_\_\_\_  
 \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

**SANITARY SEWER MANHOLE NOTES: (NHDES ENV WQ700 - 2015)**

- ALL COMPONENT PARTS OF MANHOLE STRUCTURES SHALL HAVE THE STRENGTH, LEAK RESISTANCE AND SPACE NECESSARY FOR THE INTENDED SERVICE.
- MANHOLE STRUCTURES SHALL HAVE A LIFE EXPECTANCY IN EXCESS OF 25 YEARS.
- MANHOLE STRUCTURES SHALL BE DESIGNED TO WITHSTAND H-20 LOADING AND SHALL NOT LEAK IN EXCESS OF ONE GPD PER VERTICAL FOOT OF MANHOLE FOR THE LIFE OF THE STRUCTURE.
- BARRELS, CONCRETE GRADE RINGS AND CONE SECTIONS SHALL BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE AND SHALL CONFORM TO ASTM C478.
- BEDDING: CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 100% PASSING 1 INCH SCREEN 90% PASSING 3/4 INCH SCREEN 20-55% PASSING 3/8 INCH SCREEN 0-10% PASSING #4 SIEVE 0-5% PASSING #8 SIEVE

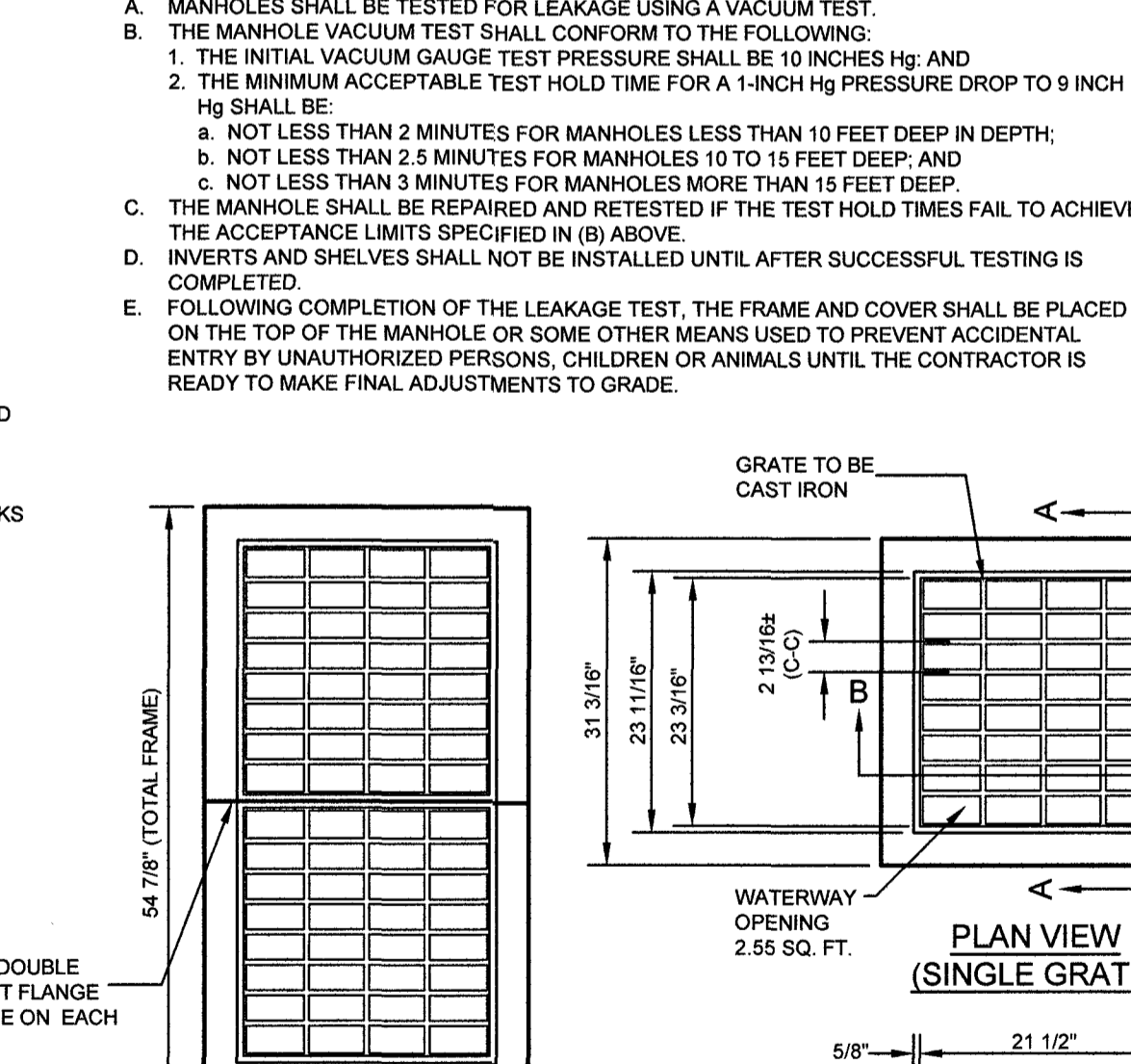
WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, CRUSHED STONE 1/2 INCH TO 1-1/2 INCH SHALL BE USED.

BASE SECTIONS SHALL BE OF MONOLITHIC CONSTRUCTION TO A POINT AT LEAST 6 INCHES ABOVE THE CROWN OF THE INCOMING PIPE.

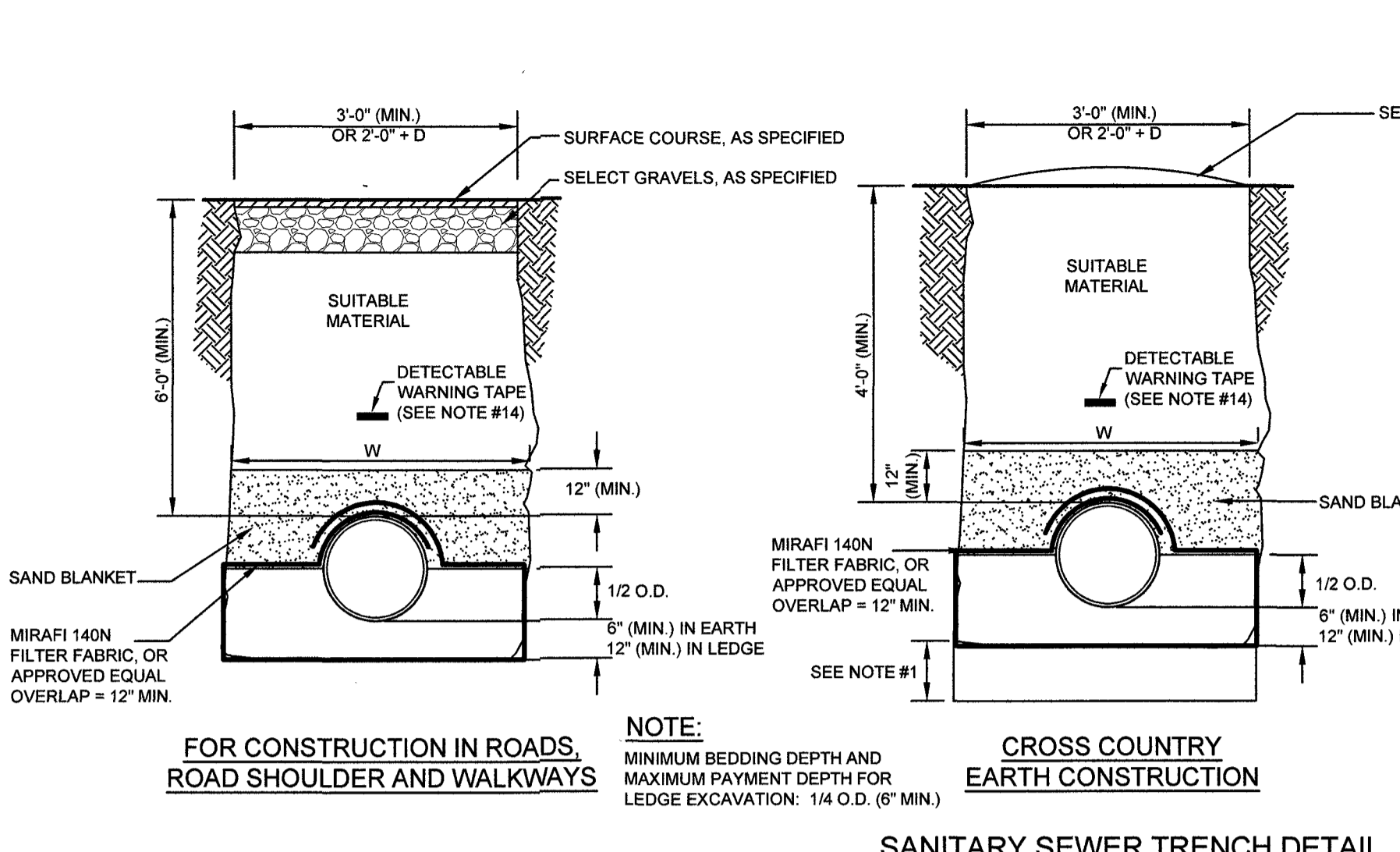
HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF AN OVERLAPPING TYPE, SEALED FOR WATER-TIGHTNESS USING A DOUBLE ROW OF AN ELASTOMERIC OR MASTIC-LIKE SEALANT.

PIPE TO MANHOLE JOINTS SHALL BE AS FOLLOWS:

- ELASTOMERIC RUBBER SLEEVE WITH WATERTIGHT JOINTS AT THE MANHOLE OPENING AND PIPE SURFACES.
- CAST INTO THE WALL OR SECURED WITH STAINLESS STEEL CLAMPS.
- ELASTOMERIC SEALING RING CAST IN THE MANHOLE OPENING WITH SEAL FORMED ON THE SURFACE OF THE PIPE BY COMPRESSION OF THE RING, AND
- NON-SHRINK GROUTED JOINTS WHERE WATERTIGHT BONDING TO THE MANHOLE AND PIPE CAN BE OBTAINED.

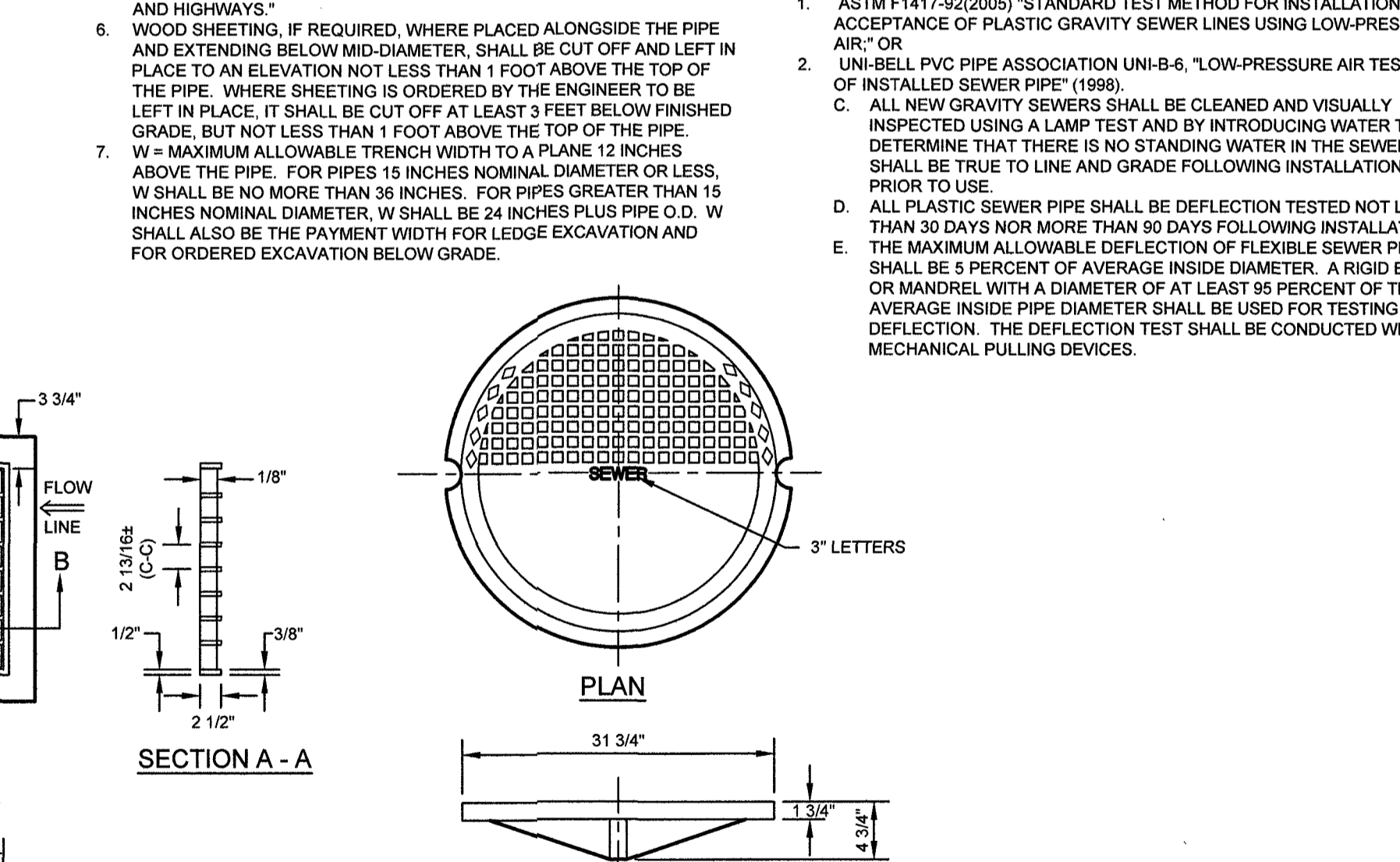


**TYPE B FRAME & GRATE DETAIL**  
 NOT TO SCALE  
 (MARCH 2008)

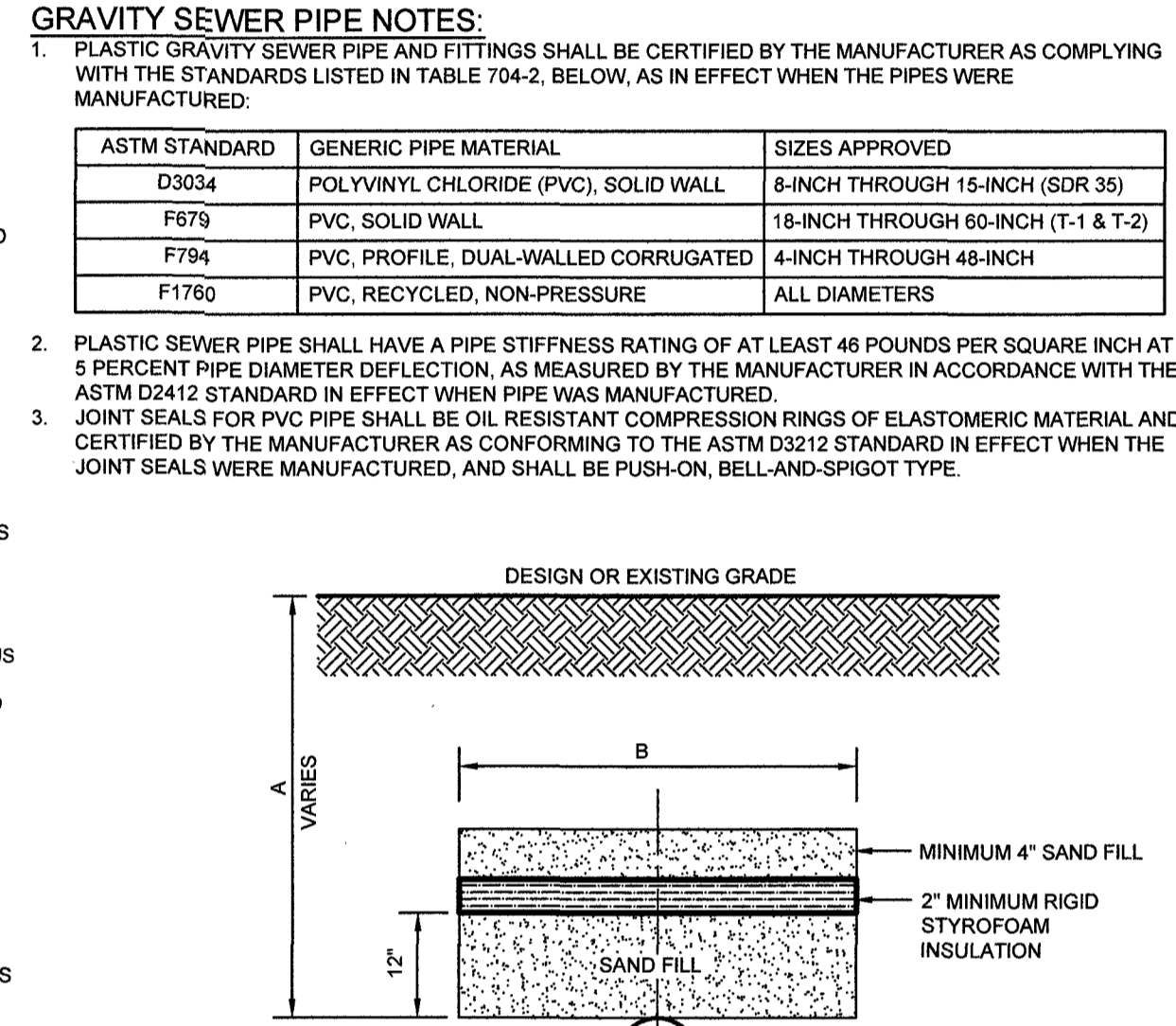
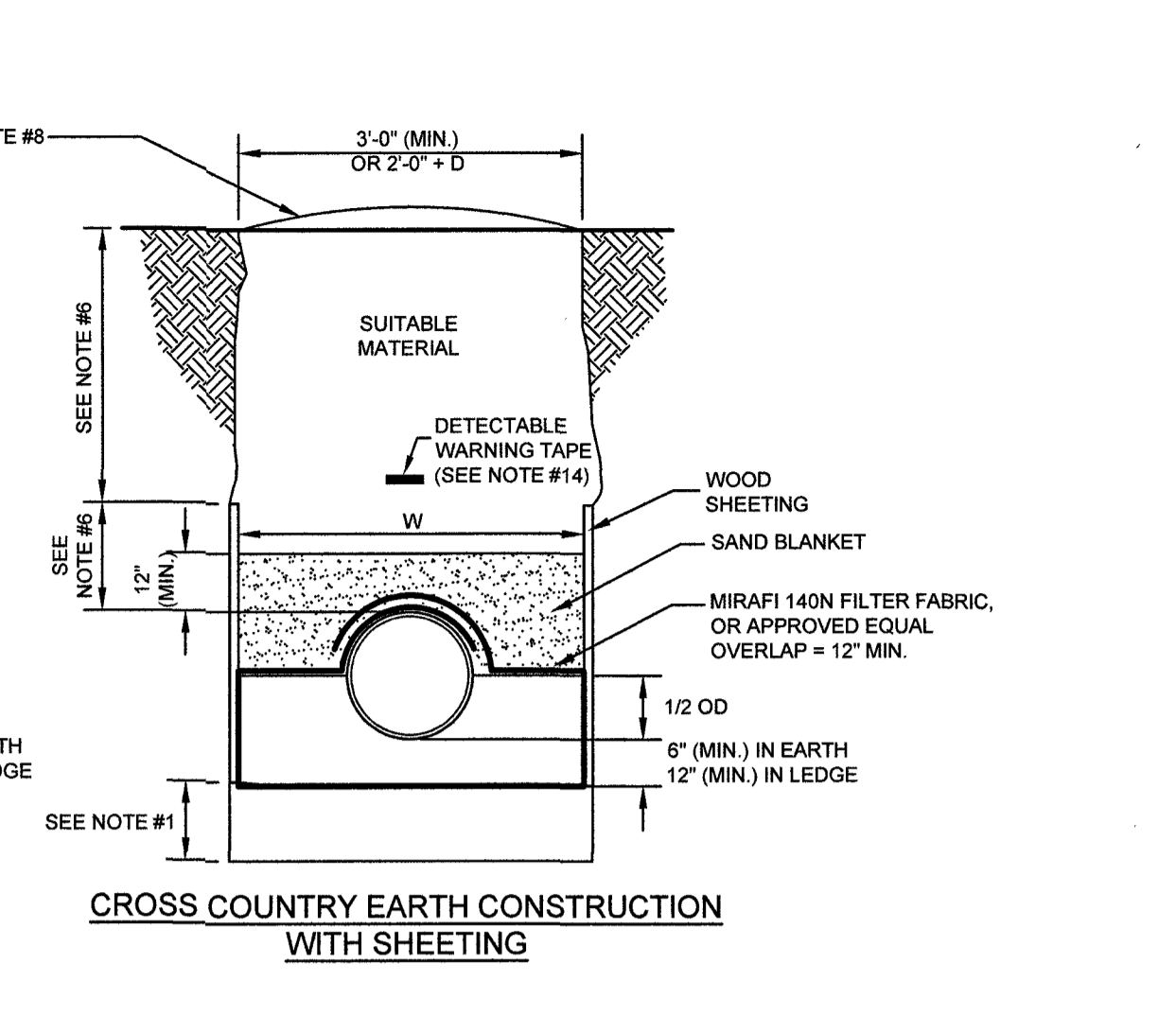


**NOTES:**

- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE. REFILL WITH BEDDING MATERIAL, ALSO SEE NOTE #7.
- BEDDING: CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33/C33M STONE SIZE NO. 67 100% PASSING 1 INCH SCREEN 90 - 100% PASSING 3/4 INCH SCREEN 20 - 55% PASSING 3/8 INCH SCREEN 0 - 10% PASSING #4 SIEVE 0 - 5% PASSING #8 SIEVE
- WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED CRUSHED STONE 1/2 INCH TO 1-1/2 INCHES SHALL BE USED.
- SAND BLANKET: GRADED CLEAN SAND FREE FROM ORGANIC MATTER, SO THAT 100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A # 200 SIEVE. BLANKET MAY BE OMITTED FOR CAST IRON, DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED HOWEVER, THAT NO STONE LARGER THAN 2 INCHES IS IN CONTACT WITH THE PIPE.
- MIRAFI 140 N FILTER FABRIC, OR APPROVED EQUAL, SHALL BE INSTALLED ABOVE PIPE.
- SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL AND ALL ROCKS OVER 6 INCHES IN LARGEST DIMENSION, OR ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.



**SEWER MANHOLE FRAME AND COVER DETAIL**  
 NOT TO SCALE  
 (MARCH 2008)



**SEWER MAIN INSULATION DETAIL**  
 NOT TO SCALE  
 (AUGUST 2011)

**CONSTRUCTION DETAILS**  
**CENTRAL GAS**  
 MAP 182; LOT 217  
 LOWELL ROAD & CENTRAL STREET  
 HUDSON, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

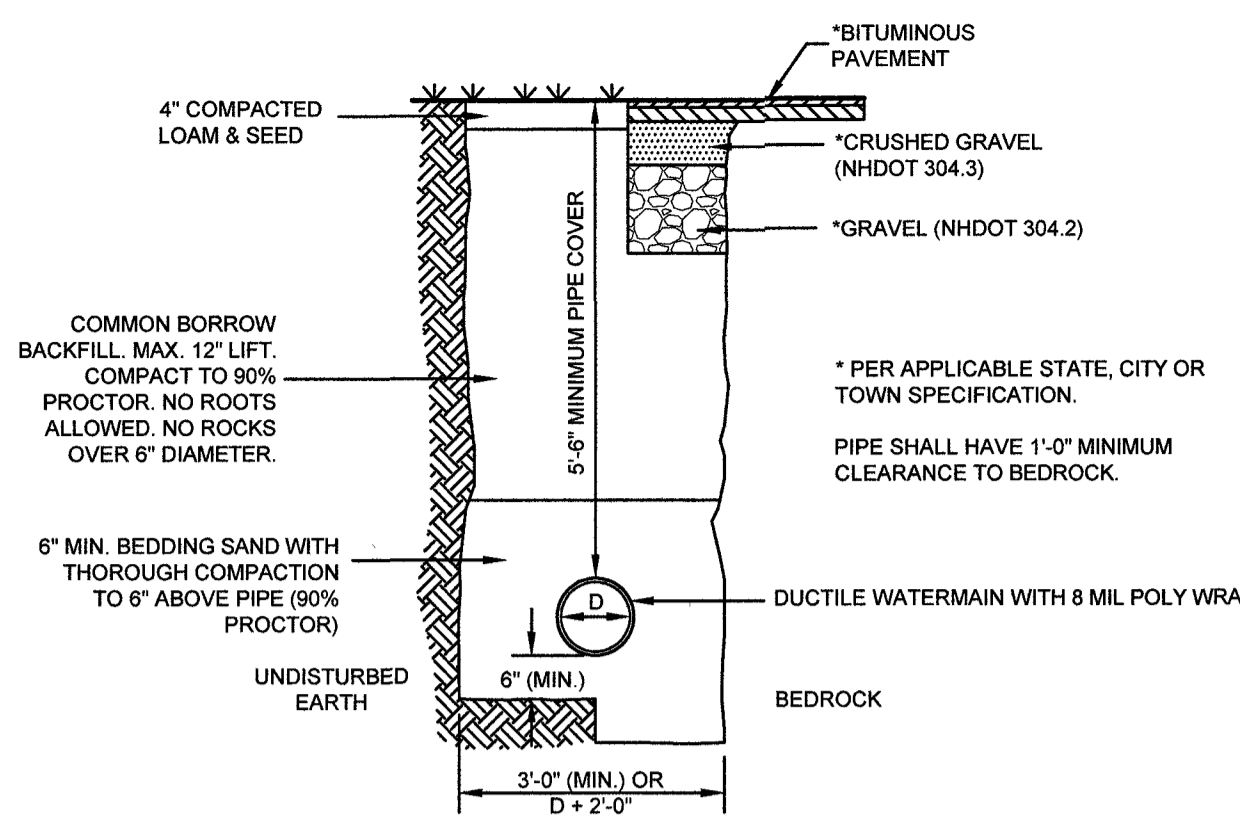
**OWNER/APPLICANT:**  
 NOTTINGHAM SQUARE CORPORATION  
 46 LOWELL ROAD  
 HUDSON, N.H. 03051

**KEACH-NORDSTROM ASSOCIATES, INC.**  
 Civil Engineering Land Surveying Landscape Architecture  
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2801

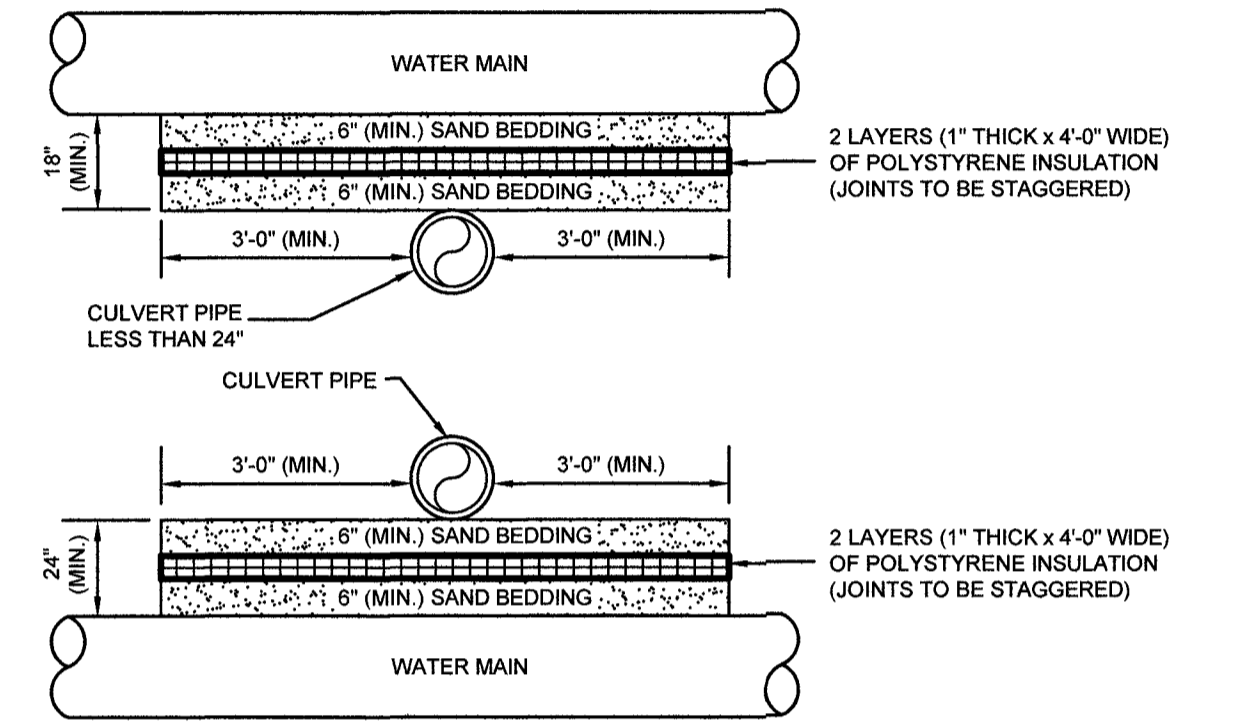
**REVISIONS**

No.	DATE	DESCRIPTION	BY
1	09-07-2023	REVISIONS PER TOWN AND PEER REVIEW	BES
2	10-25-2023	REVISIONS PER TOWN AND PEER REVIEW	PCD
3	2-14-2024	REVS PER PB COMMENTS & PEER REVIEW	PCM
4	3-13-2024	REVS PER PB COMMENTS	PCM
5	4-19-2024	REVS PER NHDES SEWER COMMENTS	PCM
6	5-9-2024	REVS PER PB COMMENTS	PCM

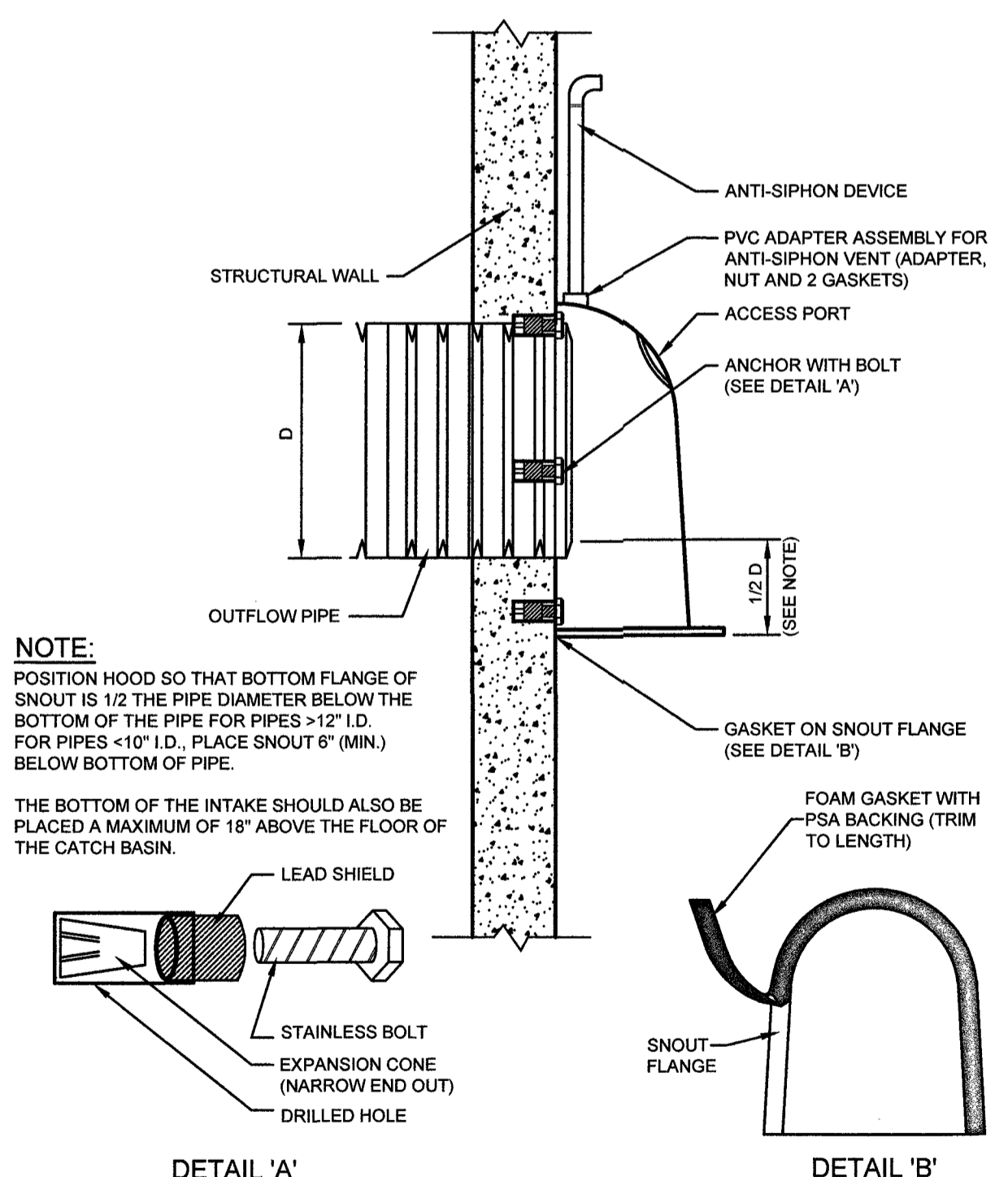
DATE: JULY 10, 2023 SCALE: 1" = 40'  
 PROJECT NO: 18-0612-3 SHEET 18 OF 20



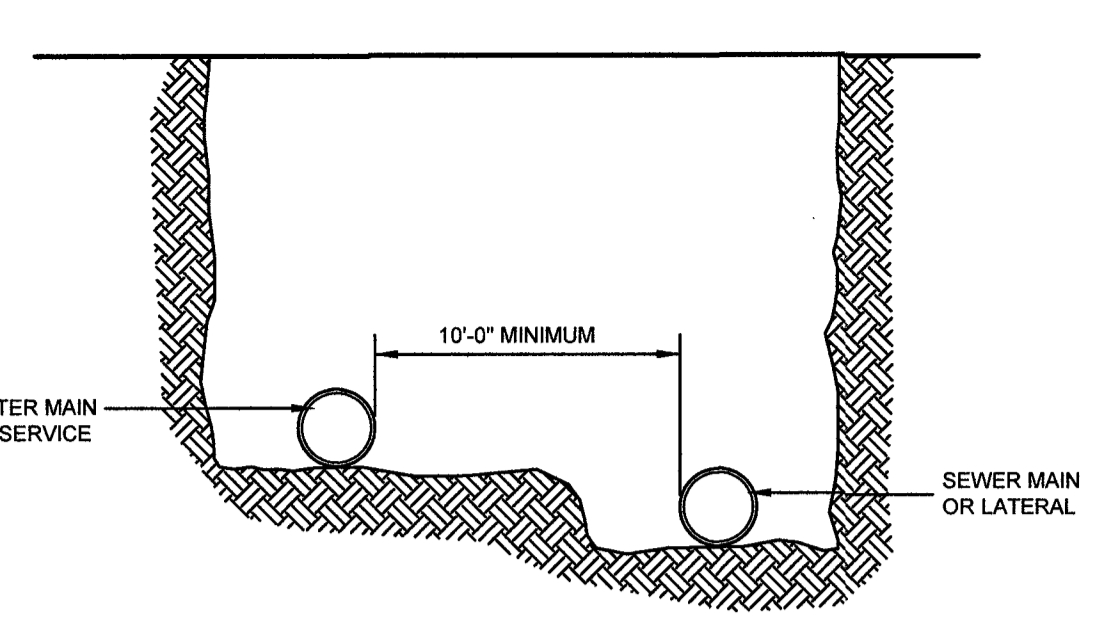
**WATER LINE TRENCH DETAIL**  
NOT TO SCALE  
(MARCH 2008)



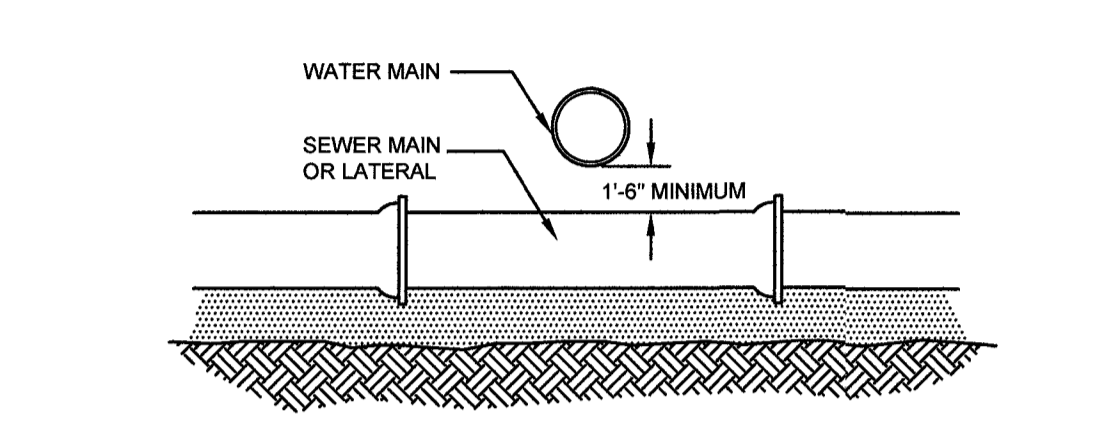
**WATER PIPE CROSSING INSULATION DETAIL**  
NOT TO SCALE  
(JUNE 2012)



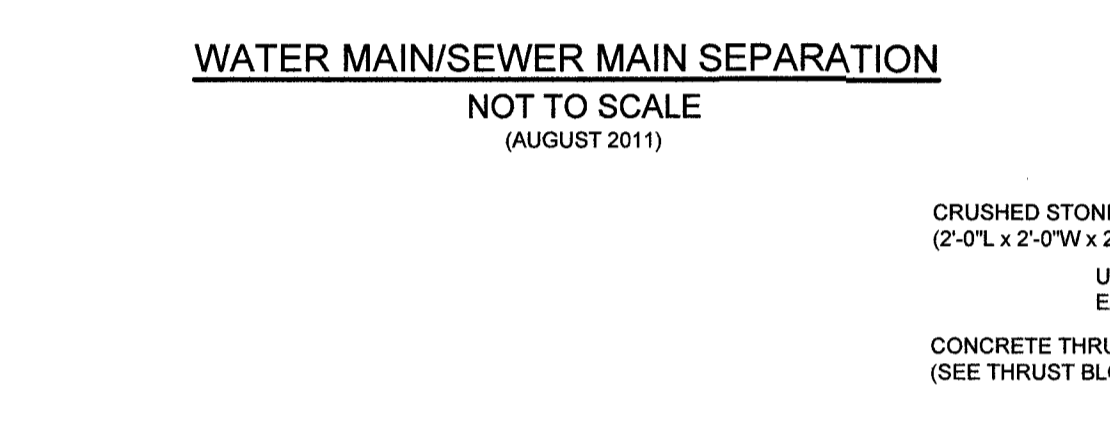
**SNOUT OIL AND DEBRIS STOP DETAIL (OR EQUAL)**  
NOT TO SCALE



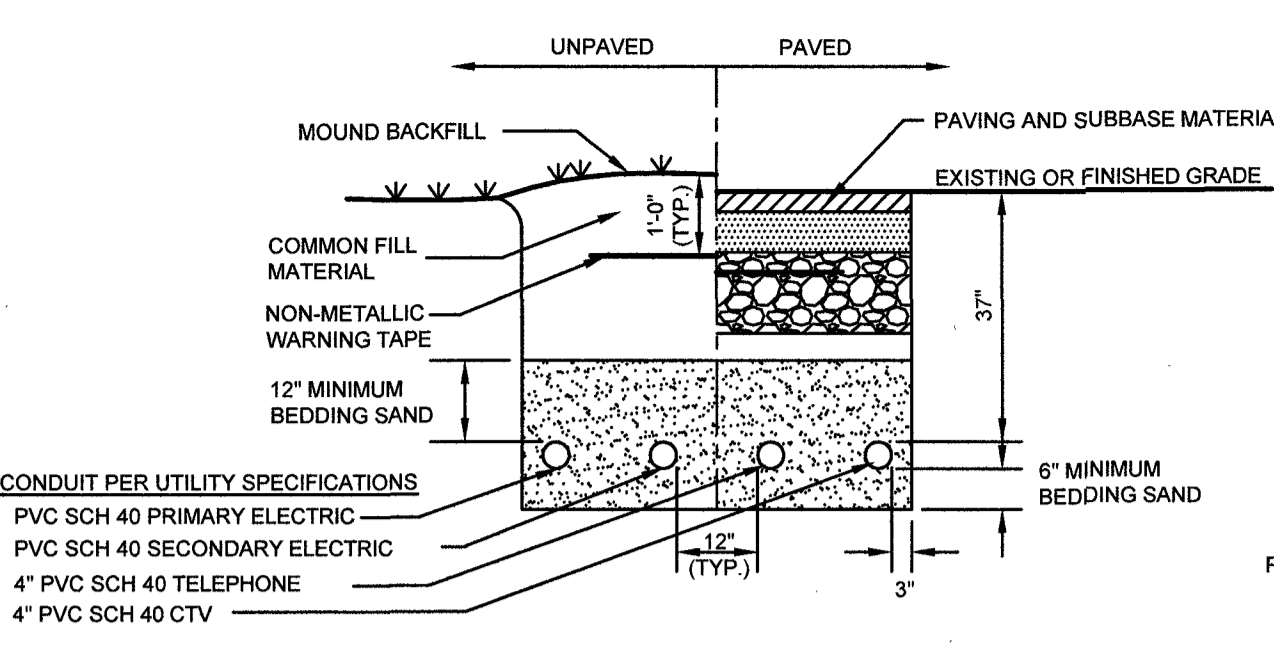
**PARALLEL INSTALLATION**



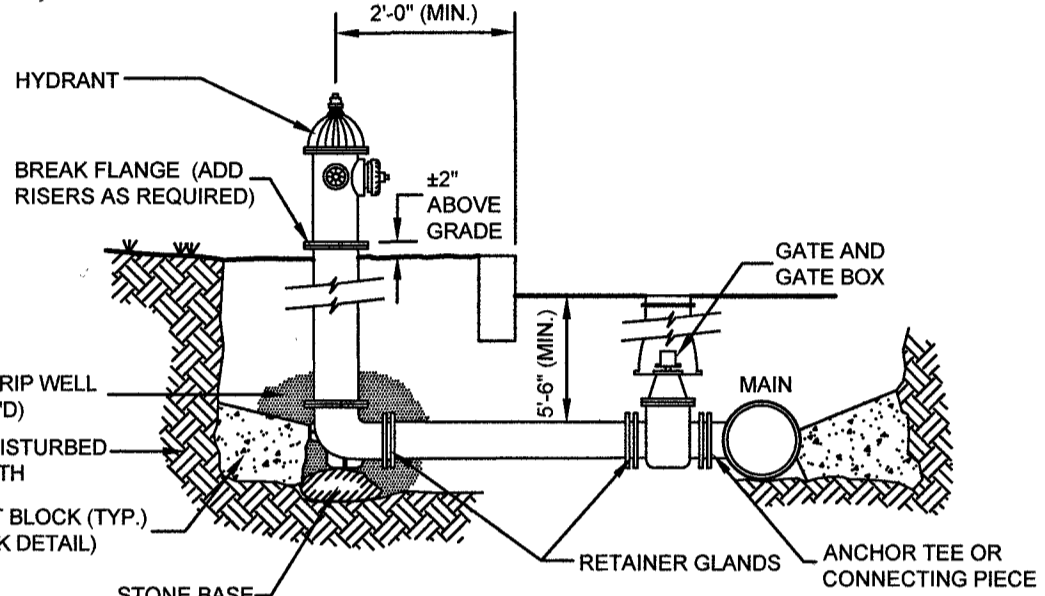
**MAIN CROSSINGS**



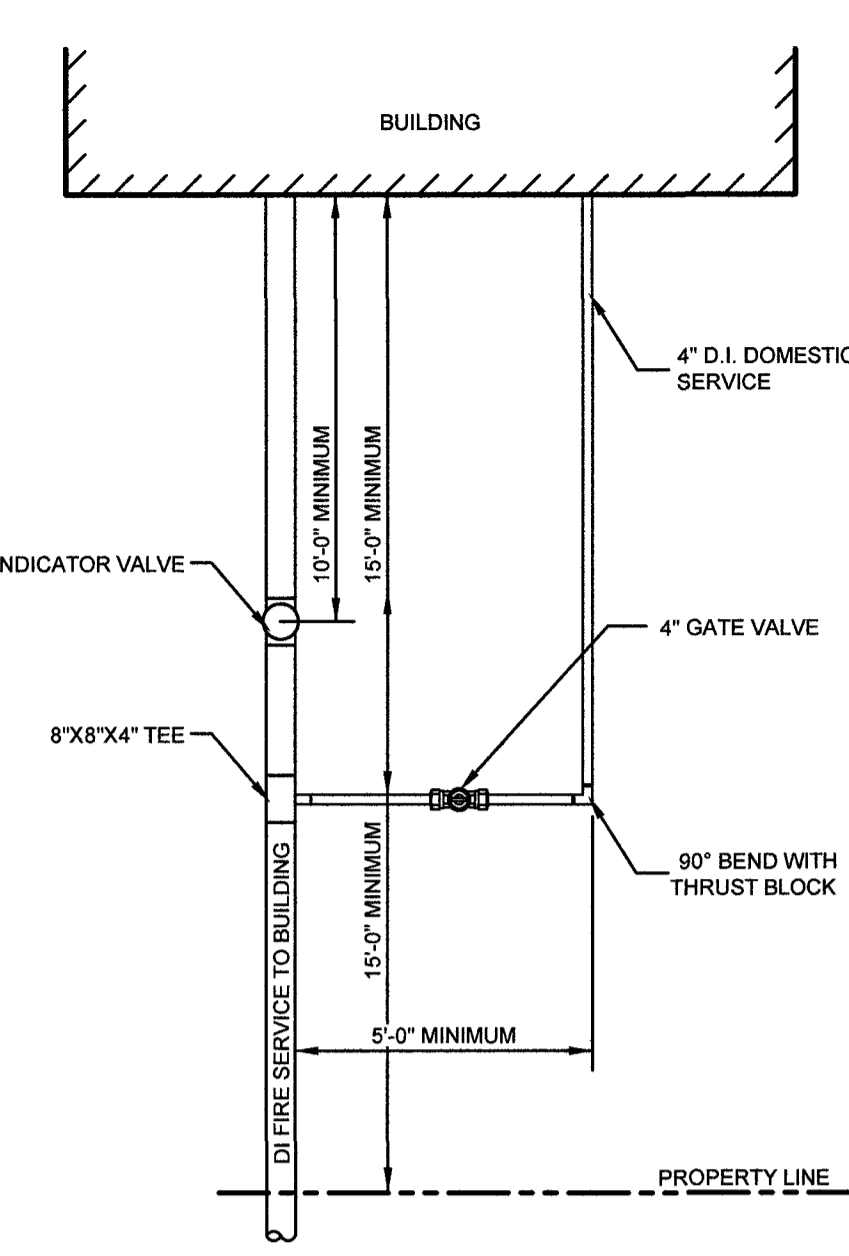
**WATER MAIN/SEWER MAIN SEPARATION**  
NOT TO SCALE  
(AUGUST 2011)



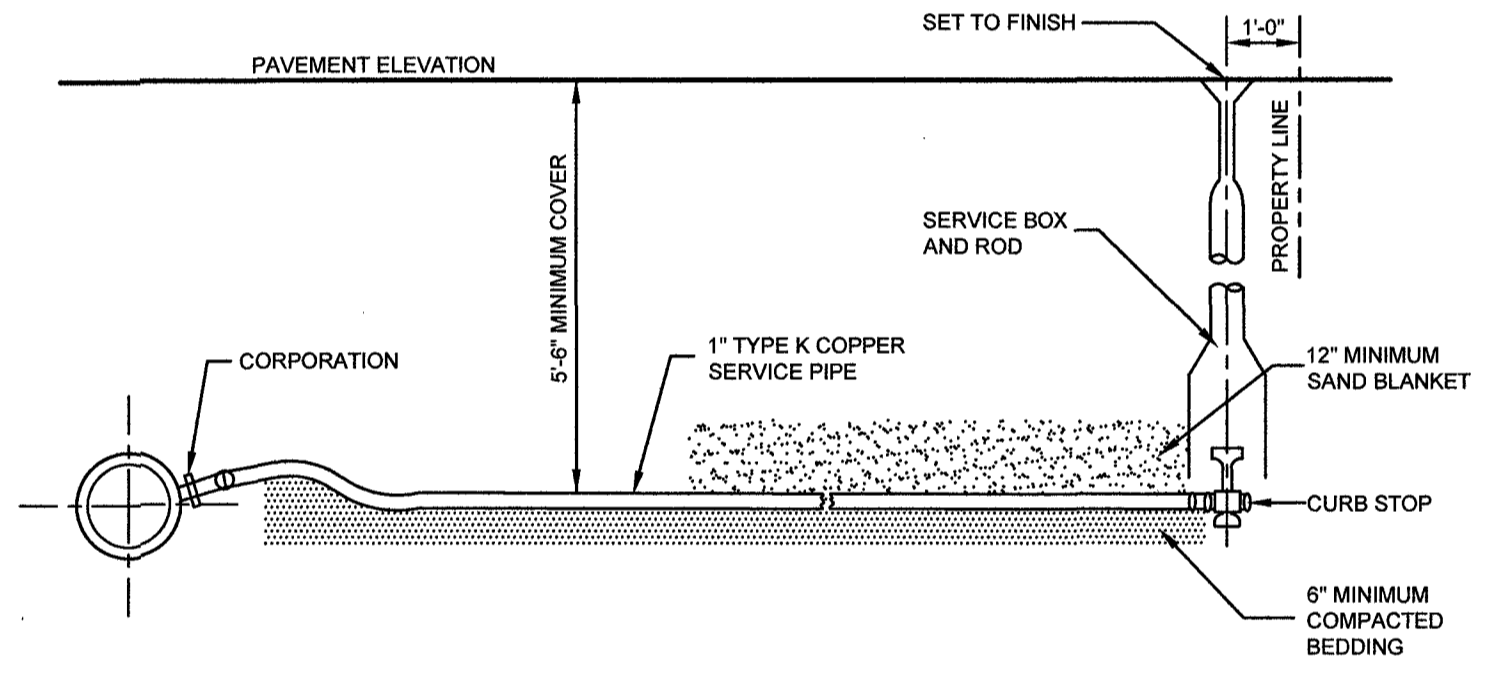
**UTILITY TRENCH DETAIL**  
NOT TO SCALE



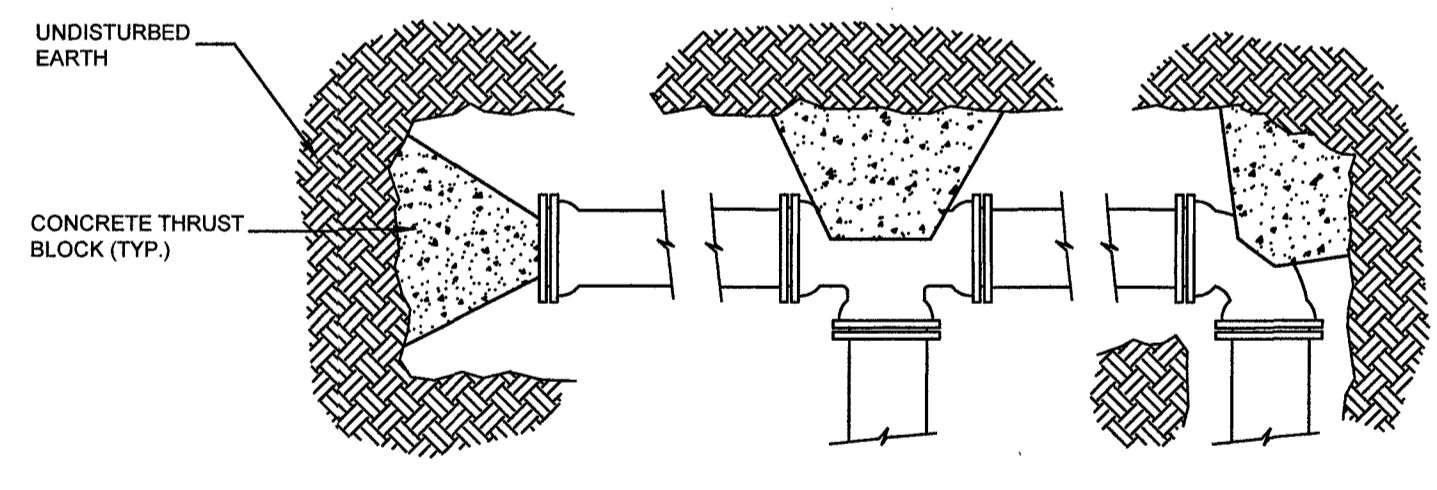
**HYDRANT INSTALLATION**  
NOT TO SCALE



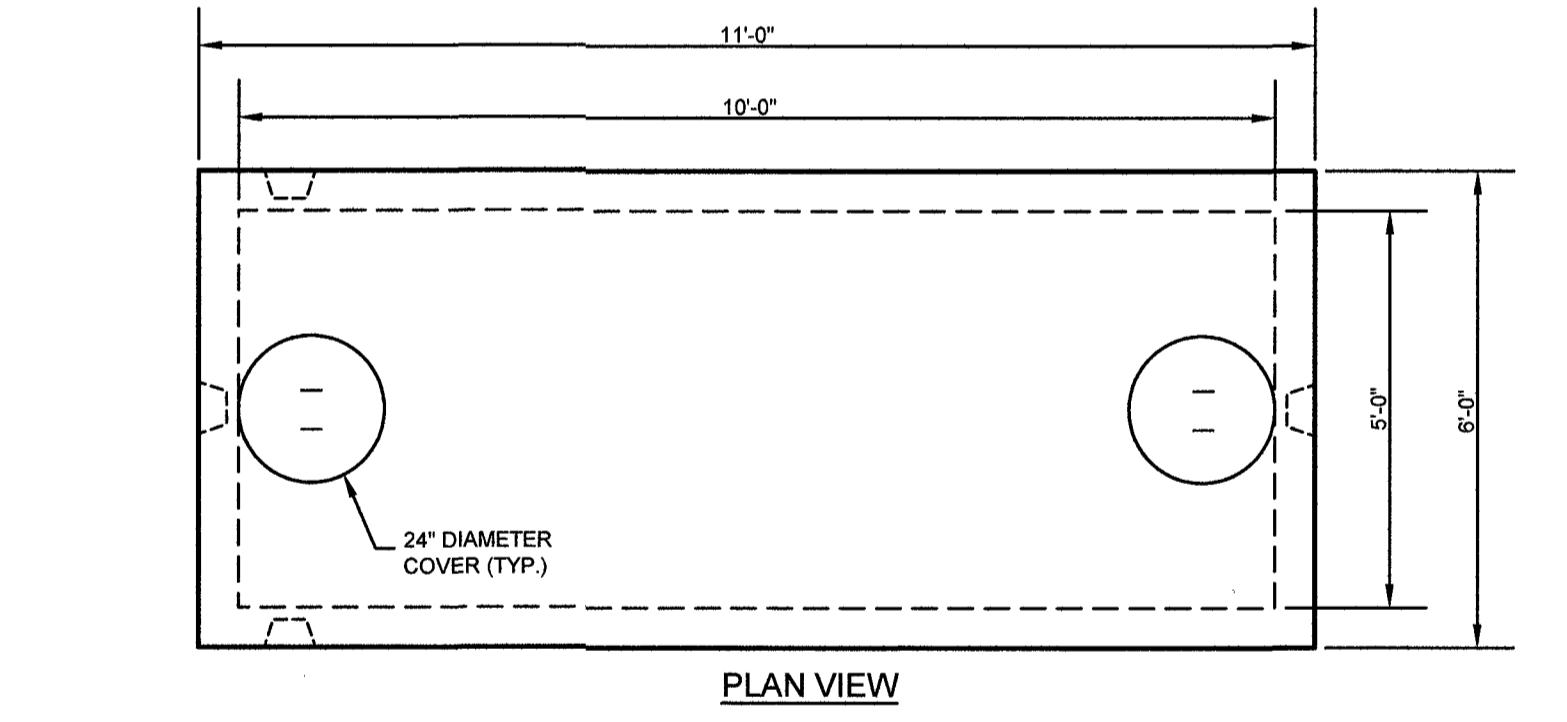
**DOMESTIC SERVICE TAPPED OFF FIRE SERVICE**  
(A-24)  
NOT TO SCALE  
(MARCH 2008)



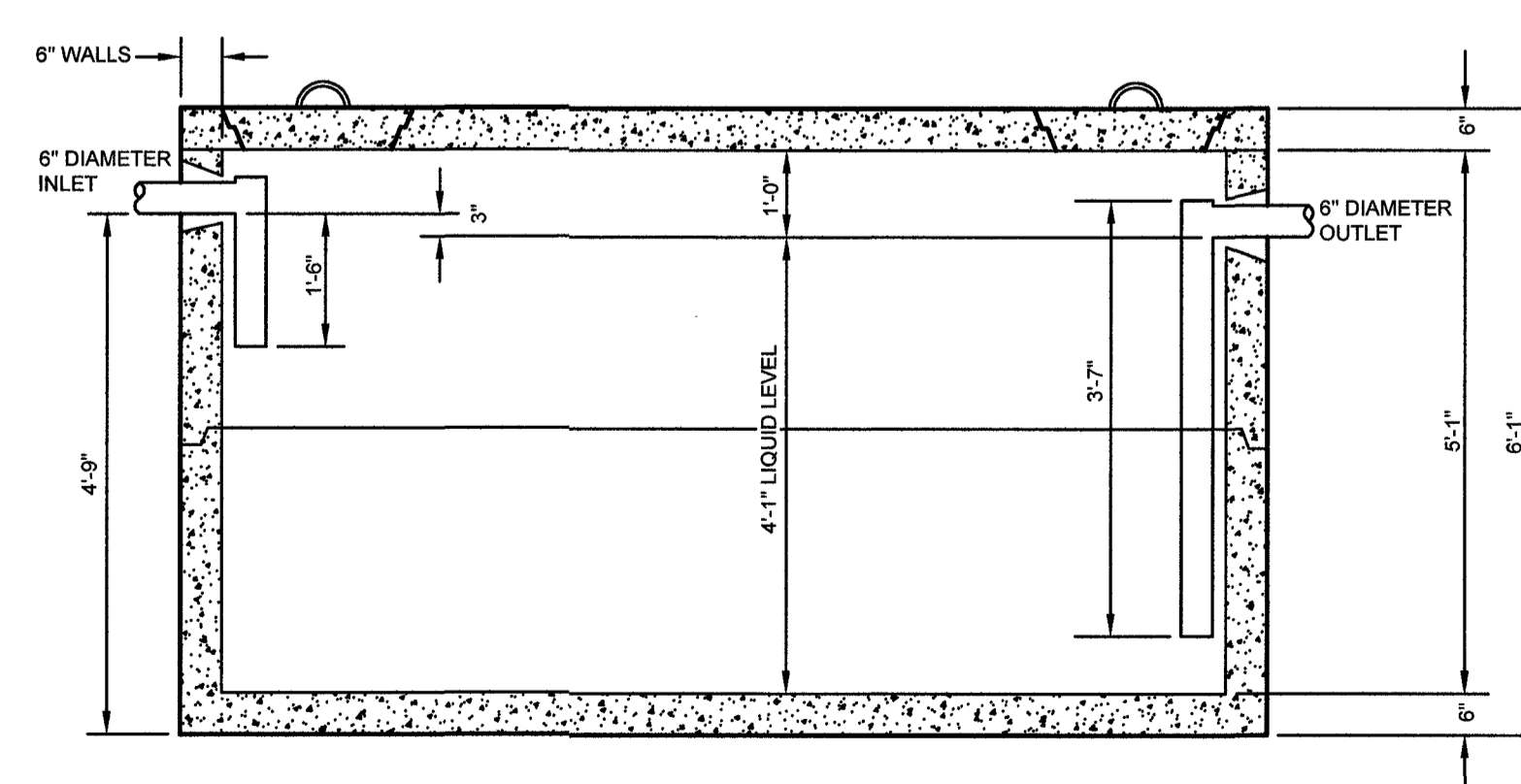
**WATER SERVICE CONNECTION**  
NOT TO SCALE  
(MARCH 2008)



**PLAN - HORIZONTAL BENDS, TEES AND PLUGS**

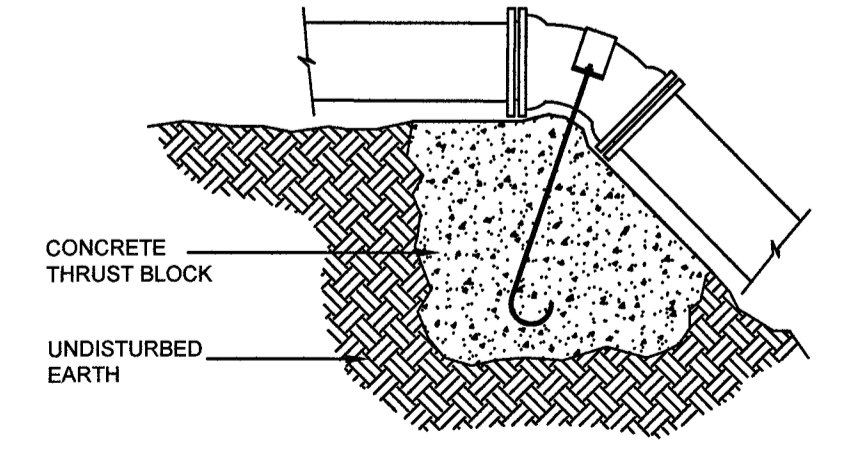


**PLAN VIEW**



**CROSS SECTION VIEW**

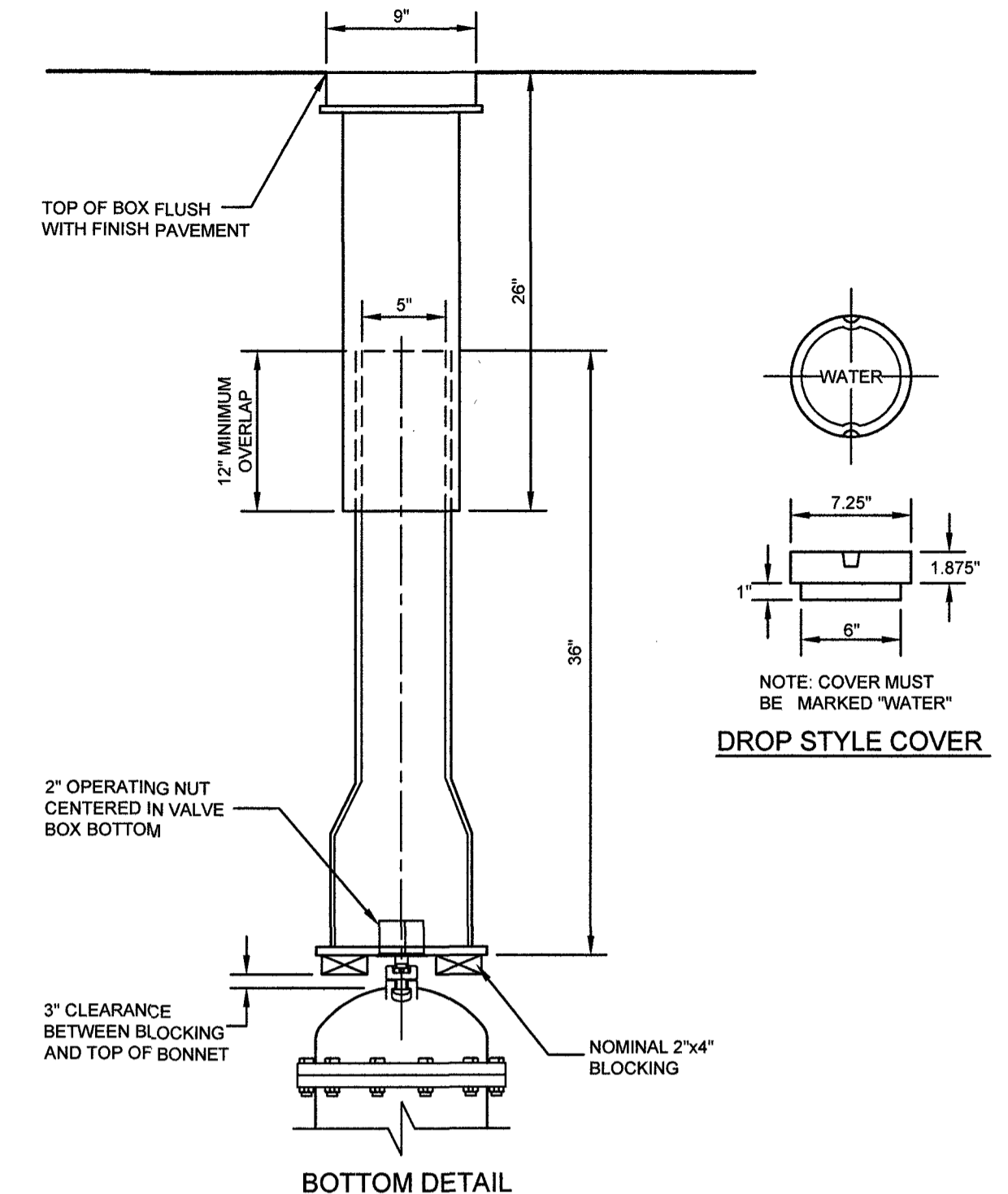
**1,500 GALLON GREASE TRAP DETAIL**  
NOT TO SCALE  
(MARCH 2008)



**ELEVATION - VERTICAL BENDS**

- NOTES:**
- THRUST BLOCK DIMENSIONS TO BE DETERMINED IN FIELD BY ENGINEER BASED ON PIPE SIZE, WATER PRESSURE AND SOIL TYPE.
  - STONE BACKING MAY BE SUBSTITUTED FOR CONCRETE THRUST BLOCKS PROVIDED THE STONE(S) ARE OF EQUAL SIZE AND BEAR ON UNDISTURBED EARTH.
  - USE OF JOINT RESTRAINT SYSTEMS SHALL NOT ELIMINATE THRUST BLOCK REQUIREMENTS (WHERE POSSIBLE).

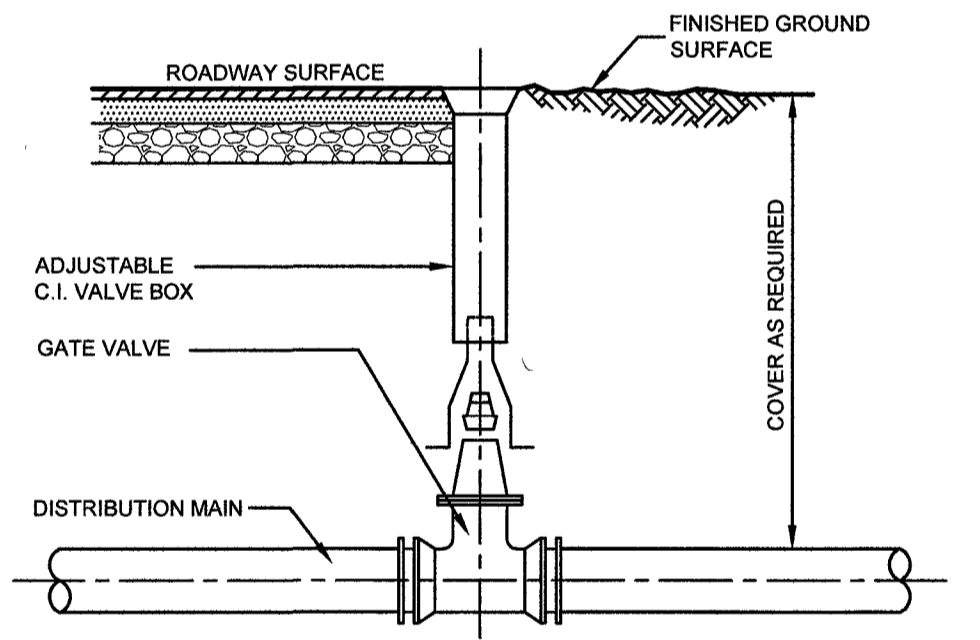
**THRUST BLOCKS**  
NOT TO SCALE  
(MARCH 2008)



**DROP STYLE COVER**

- NOTES:**
- ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO PENNICKUCK WATER WORKS, INC. TECHNICAL SPECIFICATIONS.
  - ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.

**VALVE BOX DETAIL**  
(A-09)  
NOT TO SCALE  
(MARCH 2008)

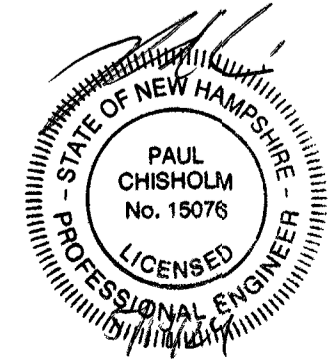


**WATER AND GAS GATE VALVE**  
NOT TO SCALE  
(MARCH 2008)

**CONSTRUCTION DETAILS**  
**CENTRAL GAS**  
MAP 182; LOT 217  
LOWELL ROAD & CENTRAL STREET  
HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

**OWNER/APPLICANT:**  
NOTTINGHAM SQUARE CORPORATION  
46 LOWELL ROAD  
HUDSON, N.H. 03051

**KA** KEACH-NORDSTROM ASSOCIATES, INC.  
Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY
1	09-07-2023	REVISIONS PER TOWN AND PEER REVIEW	BES
2	10-25-2023	REVISIONS PER TOWN AND PEER REVIEW	PDC
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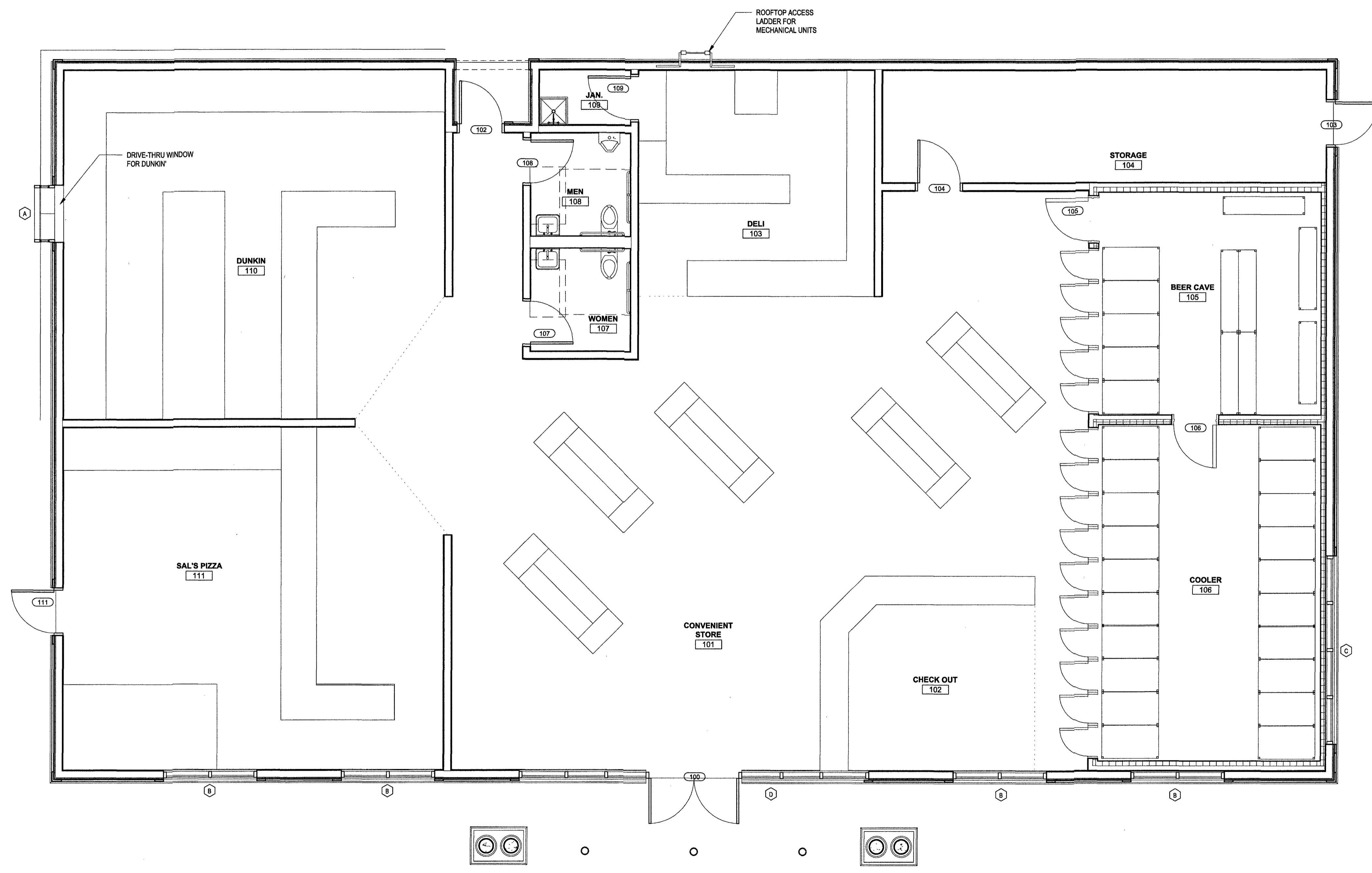
DATE: JULY 10, 2023 SCALE: 1" = 40'  
PROJECT NO: 18-0612-3 SHEET 19 OF 20

L:\project\180612\3\p\Production Drawings\180612-D-DETAILS.dwg, 5/9/2024, 8:58:19 AM, V:\NA\SCT\NIP, R. 4000 P5





three inches = one foot  
 one and one half inches = one foot  
 one inch = one foot  
 three quarter inch = one foot  
 one quarter inch = one foot  
 one eighth inch = one foot  
 A201 1/4" = 1'-0"



**GENERAL PLAN NOTES**

1. ARCHITECTURAL DATUM = 100'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM IN HEIGHT ABOVE SEA LEVEL.
2. ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF OPENING, U.N.O. AT EXISTING WALLS DIMENSIONS ARE TO FINISH FACE OF WALL.
3. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCING WITH ANY WORK.
4. REFER TO DIMENSION PLANS FOR GENERAL PARTITION NOTES & PARTITION TYPES.
5. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
6. ALL LUMBER IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
7. REVIEW PRIOR TO INSTALLATION, ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARM STROBES) WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
8. PROVIDE BLOCKING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
9. COORDINATE MISC. STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT.

**TO BE EDITED**

**FLOOR PLAN LEGEND**

- 101 DOOR TAG, SEE DOOR SCHEDULE
- X WINDOW TAG, SEE WINDOW SCHEDULE
- 11 ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
- A KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
- STRUCTURAL GRID LINE
- == NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- NEW DOOR
- EXISTING DOOR

**FLOOR PLAN KEYNOTES**

KEY # DESCRIPTION

**TO BE EDITED**

**WA**  
**WARRENSTREET**  
**ARCHITECTS**  
 27 Warren Street Concord NH 03301  
 T 603.225.0640 F 603.225.0621 www.warrenstreet.coop

**OWNER**  
 TITLE 1  
 TITLE 2  
 STREET  
 CITY, STATE ZIP  
 P. ( ) F. ( )

**CONSTRUCTION MANAGER**  
 TITLE 1  
 TITLE 2  
 STREET  
 CITY, STATE ZIP  
 P. ( ) F. ( )

PLAN KEY:

PROJECT TITLE / ADDRESS:  
**HUDSON COMMERCIAL BUILDING**  
 77 CENTRAL STREET  
 HUDSON, NH 03051

SCALE: AS NOTED DWN BY: TG  
 JOB #: 3673 CHK BY: JH  
 PRINT DATE: 2/28/2024 10:13:13 AM  
 ISSUE DATE:

**NOT FOR CONSTRUCTION PROGRESS**

REVISION	DATE	COMMENTS

FIRST FLOOR PLAN

**A111**  
 SHEET NUMBER: OF 2 ARCHITECTURAL

**PROGRESS - NOT FOR CONSTRUCTION**

**OWNER**  
 TITLE 1  
 TITLE 2  
 STREET  
 CITY, STATE ZIP  
 P. ( ) F. ( )

**CONSTRUCTION MANAGER**  
 TITLE 1  
 TITLE 2  
 STREET  
 CITY, STATE ZIP  
 P. ( ) F. ( )

PROGRESS - NOT FOR CONSTRUCTION

PLAN KEY:

PROJECT TITLE / ADDRESS:  
**HUDSON COMMERCIAL BUILDING**  
 77 CENTRAL STREET  
 HUDSON, NH 03051

SCALE: AS NOTED DWN BY: TG  
 JOB #: 3673 CHK BY: JH  
 PRINT DATE: 2/28/2024 10:13:15 AM  
 ISSUE DATE:

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 PROGRESS**

REVISION	DATE	COMMENTS

EXTERIOR ELEVATIONS

## A201

SHEET NUMBER: 1 OF 2 ARCHITECTURAL  
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1 NORTH ELEVATION  
 3/16" = 1'-0"



2 SOUTH ELEVATION  
 3/16" = 1'-0"

Autodesk DocuSign Hudson Convenience Store 0860 2024-07-31 Hudson  
 Convenience Store NH  
 TEMPLATE DATE: 11/28/2019

three eighths inch = one foot  
 one and one half inches = one foot  
 one inch = one foot  
 three quarters inch = one foot  
 one quarter inch = one foot  
 one eighth inch = one foot



1 EAST ELEVATION  
3/16" = 1'-0"



2 WEST ELEVATION  
3/16" = 1'-0"

**WA**  
WARRENSTREET  
ARCHITECTS  
27 Warren Street Concord NH 03301  
T 603.225.0640 F 603.225.0621 www.warrenstreet.coop

**OWNER**  
TITLE 1  
TITLE 2  
STREET  
CITY, STATE ZIP  
P. ( ) F. ( )

**CONSTRUCTION MANAGER**  
TITLE 1  
TITLE 2  
STREET  
CITY, STATE ZIP  
P. ( ) F. ( )

PLAN KEY:

PROJECT TITLE / ADDRESS:  
**HUDSON COMMERCIAL BUILDING**  
77 CENTRAL STREET  
HUDSON, NH 03051

SCALE: AS NOTED DWN BY: TG  
JOB #: 3673 CHK BY: JH

PRINT DATE: 2/28/2024 10:13:16 AM  
ISSUE DATE:

**NOT FOR CONSTRUCTION  
PROGRESS**

REVISION	DATE	COMMENTS

EXTERIOR ELEVATIONS

**A202**  
SHEET NUMBER: 2 OF 2 ARCHITECTURAL

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