

# **MIARA TRANSPORTATION GARAGE ADDITION**

SP# 06-24

CUP# 01-24

## **STAFF REPORT**

September 11, 2024

**SITE:** 12 Bockes Road, Map 136 / Lot 001

**ZONING:** Residential-2 (R-2)

**PURPOSE OF PLAN:** To depict the proposed construction of a 9,600 square-foot garage with attached 3,600 square-foot awning in the rear of the property. The proposed structure will be used for trailer storage to keep snow and weather away from trailers and equipment.

### **PLAN UNDER REVIEW:**

Non-Residential Site Plan Miara Transportation SP# 05-24, Map 136 Lot 001, 12 Bockes Road, Hudson, NH; prepared by: Keach-Nordstrom Associates, Inc. 10 Commerce Park North, Suite 3, Bedford, NH 03110; prepared for: Granite Realty Trust, 12 Bockes Road, Hudson NH; consisting of 8 sheets and general notes 1-27 on Sheet 1; May 20, 2024, last revised August 8, 2024.

### **ATTACHMENTS:**

- 1) Revised Application with associated waiver request, dated August 12, 2024 – Attachment “A”.
- 2) Conditional Use Permit Application, last revised August 12, 2024 – Attachment “B”.
- 3) Department Comments – Attachment “C”.
- 4) Applicant response to Engineering Comments – Attachment “D”.
- 5) Conservation Commission CUP Recommendation dated August 12, 2024 – Attachment “E”.
- 6) Stormwater Management report, last revised August 12, 2024 – Attachment “F”.
- 7) CAP fee sheet – Attachment “G”.

### **APPLICATION TRACKING:**

- May 24, 2024 – Site plan application received.
- June 26, 2024 – Public hearing deferred to September 11, 2024.
- August 13, 2024 – Revised Applications, Waiver, Plan Set, & Stormwater Report received.
- September 11, 2024 – Public hearing scheduled.

### **COMMENTS & RECOMMENDATIONS:**

#### **BACKGROUND**

The site is approximately 9.21 acres and is located in the Residential-Two zone. The site has been home to transportation firms dating back prior to 1985, with the same primary structure being present for that entire period. The site is not served by Town water or sewer. No section of the property falls within FEMA designated flood zones. The site is home to a large swath of wetland along the southwestern portion of the site, alongside a small amount located along the northwestern edge. A small communications easement is located on the southeastern portion of the property. The site is accessed by a singular curb-cut on Bockes Road, with no additional points of access.

This site received planning board approval of two-phase expansion in 2017, which is in progress currently and may be seen within the proposed plan set.

The applicant is seeking one waiver from **§276-11.1.B(12)(c) General Plan Requirements**, which is discussed in further detail in a later section. The site received recommendation and approval of work within the Wetland buffer as part of the original plans approved in 2017, for which the applicant has provided a copy of in their application. As part of the proposed changes, the applicant has applied for a Conditional Use Permit related to work within Wetland areas identified on site. More information related to the Conditional Use Permit may be found within the Staff Comment section.

### **DEPARTMENT COMMENTS**

The following comments have been submitted by department staff:

**Engineering** submitted the following comments. In a letter dated August 15, 2024, the applicant provided responses (seen in Italics):

1. The applicant shall provide additional protective erosion control measures along the wetland area.
  - a. *Response: A double row of silt fence is now shown along both wetlands.*
2. The applicant shall provide additional information about the well that is shown in the proposed parking area.
  - a. *Response: Septic, gas, and water are now no longer proposed to connect to the garage. With the relocation of the garage, the well is no longer within or near proposed pavement.*
3. The applicant shall provide information about the septic system and back up regarding the proposed additional discharge.
  - a. *Response: Septic, gas, and water are now no longer proposed to connect to the proposed garage. The original permit from 1984 is included in this response.*

**Engineering** has stated that all comments are resolved at this time.

**Fire** submitted the following comments:

1. Water supply for firefighting needs to be added to the site according to the State Adopted Fire Code.
2. NFPA 1142 (water supplies for suburban and rural firefighting) shall be the standard to calculate minimum water supply.
3. No details were provided for the actual proposed building such as ceiling height and type of construction.
  - a. This is an estimate until details are provided.
    - i. Total volume of water required is 39,600 gallons.
4. The applicant needs to install a cistern. The site plan shows future building construction which will require additional water storage.
5. Provide a revised site plan showing the building details and the required cistern on the plan.

Full Comments can be found in **Attachment “C”**. The applicant’s letter can be found in **Attachment “D”**.

**WAIVERS REQUESTED**

As noted above, the Applicant is seeking one waiver:

Distance from a residential property, **§276-11.1.B(12)(c)**, to allow for development within 100’ of a residential use. The Applicant states that due to the layout of the site, forcing the location of the structure to meet 100’ buffers from residential uses would impede site flow and movement due to the large turning radii of trucks and equipment on site. The applicant states that no harm is done by granting this waiver, as the property is abutted by open space to the west, and there is both a stockade fence alongside additional tree screening for the property to the north, with wetland and forest naturally blocking lines of sight to the nearest residence 300’ away. Staff notes that the waiver requested is in part required due to the revisions suggested by the conservation commission pursuant to minimizing wetland and wetland buffer impacts.

**STAFF COMMENTS**

The proposed changes to the previously approved plans are in essence due to the applicant’s decision to propose a more robust structure in-lieu of a hoop structure on shipping containers as was previously approved in 2022. The applicant has already gone before the ZBA and received approval for the expansion of a non-conforming use in 2023.

The application originally was submitted with a Conditional Use Permit related to sections of the building being located within wetland buffers. After comments from the Conservation Commission, the building has been relocated. Currently a small strip of pavement is located within the western wetland buffer. This section was previously approved in 2017 for gravel as part of Phase I. The applicant is simply changing this surface to be pavement instead of gravel now as part of the revised site plan. The Conservation commission has provided a recommendation of favorable acceptance with no additional stipulations, which may be found in **Attachment “E”**.

**RECOMMENDATIONS**

Staff recommend acceptance of the application and holding of a public hearing, followed by deliberation and consideration of the revised site plan and waiver request prior to potential approval or further requests for information/deferment.

**DRAFT MOTIONS:**

**MOTION TO DEFER:**

I move to defer the Non-Residential Site Plan application Miara Transportation SP# 06-24 & Conditional Use Permit CUP# 01-24, Map 136 / Lot 001, 12 Bockes Road, Hudson New Hampshire, date specific, to \_\_\_\_\_, 2024.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**MOTION TO ACCEPT:**

I move to accept the Non-Residential Site Plan application Miara Transportation Garage Addition Site Plan SP# 06-24 & Conditional Use Permit CUP# 01-24, Map 136 / Lot 001, 12 Bockes Road, Hudson, New Hampshire.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**MOTION TO GRANT A WAIVER:**

I move to grant a waiver from §276-11.1.B(12)(c), General Plan Requirements, to allow for the construction of a building within the 100’ buffer of a residential property, where it would otherwise not be allowed, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**MOTION TO CONTINUE:**

I move to continue the site plan application Non-Residential Site Plan Miara Transportation Garage Addition SP# 06-24 & Conditional Use Permit CUP# 01-24, Map 136 Lot 001, 12 Bockes Road, Hudson, to date certain, \_\_\_\_\_, 2024.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**MOTION TO APPROVE:**

I move to approve the site plan application for Non-Residential Site Plan Miara Transportation Garage Addition SP# 06-24 & Conditional Use Permit CUP# 01-24, Map 136 Lot 001, 12 Bockes Road, Hudson, New Hampshire, 03051; prepared by: Keach-Nordstrom Associates, Inc. 10 Commerce Park North, Suite 3, Bedford, NH 03110; prepared for: Granite Realty Trust, 12 Bockes Road, Hudson NH; consisting of 8 sheets and general notes 1-27 on Sheet 1; May 20, 2024, last revised August 8, 2024; and:

That the Planning Board finds that this application complies with the Zoning Ordinances, and with the Land Use Regulations with consideration of the waivers granted; and for the reasons set forth in the written submissions, together with the testimony and factual representations made by the applicant during the public hearing;

Subject to, and revised per, the following stipulations:

1. All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Plan.
2. Prior to the issuance of a final certificate of occupancy, an L.L.S. Certified “As-Built” site plan shall be provided to the Town of Hudson Land Use Department, confirming that the site conforms to the Planning Board approved Site Plan.
3. Prior to the Planning Board endorsement of the Plan, it shall be subject to final administrative review by Town Planner and Town Engineer.
4. A cost allocation procedure (CAP) amount of \$15,456.00 shall be paid prior to the issuance of a Certificate of Occupancy for the lot improvements to be done.

1. Prior to application for a building permit, the Applicant shall schedule a pre-construction meeting with the Town Engineer.
2. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall be allowed on Sundays.
3. Hours of refuse removal shall be exclusive to the hours between 7:00 A.M. and 7:00 P.M., Monday through Friday only.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

August 12, 2024

Jay Minkarah  
Town Planner  
12 School Street  
Hudson, New Hampshire 03051

Subject: **Revised Plan Set Letter**  
**Miara Transportation Proposed Garage**  
**12 Bockes Road (Map 136; lot 1)**  
**Salem, New Hampshire**  
KNA Project No. 16-0223-1

Dear Mr. Minkarah,

This project was originally submitted in May of 2024. That application included a Conditional Use Permit. A part of that permit process was to appear before the Conservation Commission due to impacts proposed to the wetland buffer. Conservation Commission members recommended relocating the proposed garage to the northern side of the property to reduce buffer impacts. Based on those comments, we have updated the layout to show the proposed garage in the northwest corner of the property. This revision includes updated closed drainage layout, grading and landscaping. This revision also no longer proposes services for sewer, water and gas to the building. Due to the major update in the proposed layout the following items have been revised and included in this resubmittal:

1. The Site Data Sheet from the Site Plan Application
2. The Waiver Request
3. The Project Narrative
4. The Stormwater Management Report
5. The Conditional Use Permit
6. The Non-Residential Site Plan Set

Sincerely,



Allison Lewis, EIT  
Project Engineer  
Keach-Nordstrom Associates, Inc.

*Civil Engineering*

*Land Surveying*

*Landscape Architecture*

SITE DATA SHEETPLAN NAME: Miara TransportationPLAN TYPE: SITE PLANLEGAL DESCRIPTION: MAP 136 LOT 1DATE: 5/13/2024

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Location by Street: 12 Bockes Road

Zoning: R-2

Proposed Land Use: Transportation Company

Existing Use: Transportation Company

Surrounding Land Use(s): Multi-family, VFW, residential, warehouse

Number of Lots Occupied: 1

Existing Area Covered by Building: 25,618.1 sf

Existing Buildings to be removed: 0

Proposed Area Covered by Building: 41,248.1 sf (2,430 sf previously approved, but not yet built)

Open Space Proposed: 220,365 sf

Open Space Required: N/A

Total Area: S.F.: 401,449 Acres: 9.21

Area in Wetland: 61,666.3 sf Area Steep Slopes: 0 sf

Required Lot Size: 60,000 sf

Existing Frontage: 569.85 ft

Required Frontage: 120 ft

Building Setbacks:	<u>Required*</u>	<u>Proposed</u>
Front:	<u>50 ft</u>	<u>27.6 ft (existing)</u>
Side:	<u>15 ft</u>	<u>20.8 ft (existing)</u>
Rear:	<u>15 ft</u>	<u>101.3 ft</u>





August 12, 2024

Town of Hudson  
Planning Department  
12 School Street  
Hudson, New Hampshire 03051

**Subject: Waiver Request – Miara Transportation  
Tax Map 105; Lot 7  
321 Derry Road – Hudson, New Hampshire  
KNA Project No. 23-1002-3**

Dear Chairman and Board Members:

Keach-Nordstrom Associates, Inc. is submitting an application for Planning Board approval for the above referenced project and as such, we are requesting a waiver from **Section 276-11.1(b)(12)(c) General Plan Requirements** of the Town of Hudson Site Plan Regulations:

Hardship reason(s) for granting this waiver:

This is an existing development. The Applicant’s proposal, to construct a 13,600 sf garage seeks to build the garage within the existing boundary of the gravel yard on the property. The property is utilized by a transportation company who uses the rear gravel yard for storage and loading of trailers. While the property is located within the R-2 zone, commercial use was present on site before the area had been rezoned to R-2 in 1985. Due to the re-zoning the property is surrounded by residential properties. Requiring the Applicant to meet the regulation and build outside of the residential buffer would result in lose of truck and trailer mobility within the site, as trailers and trucks have large turning radius’, and that would render the site unusable for the current use of the property.

Reason(s) for granting this waiver, relative to not being contrary to the spirit and intent of the Land Use Regulations:

The spirit and intent of this regulation is to provide adequate space between residential uses and commercial/industrial uses. The parcel has existed as a commercial/industrial use since before the Residential 2 zone was enacted. The location of the proposed garage was chosen as to have the least impact on neighboring properties while also minimally impacting the wetlands on site. There is a large wetland complex to the south of the garage that is densely wooded and blocks the view of the property from homes on Rolling Wood Drive. The property to the west is open space within the Rolling Woods development and is also heavily wooded with a small wetland. While the proposed garage is adjacent to 16 Bockes Road, the building is proposed behind an existing stockade fence that runs between both properties. To further shield the proposed garage, trees are proposed between the garage and the fence. With the combination of heavily wooded areas and the proposed location being more than 300’ from any residential home, this proposed garage should not affect the neighboring residential parcels. Furthermore, in 2023 the Zoning Board approved this garage as an expansion of a non-conforming use within the R-2 zone. Therefore,

*Civil Engineering*

*Land Planning*

*Landscape Architecture*

10 Commerce Park North, Suite 3B

Bedford, NH 03110

Phone (603) 627-2881

Fax (603) 627-2915

## Attachment "A"

granting this waiver would not be contrary to the spirit and intent of the Town of Hudson Site Plan Regulations.

KNA will be present to further discuss the Waiver at the scheduled hearing. If you have any questions or comments, please contact me at (603) 627-2881.

Sincerely,



Allison Lewis, EIT  
Project Engineer  
Keach Nordstrom Associates, Inc.

*Civil Engineering*

*Land Planning*

*Landscape Architecture*

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10 Commerce Park North, Suite 3B

Bedford, NH 03110

Phone (603) 627-2881

Fax (603) 627-2915

August 12, 2024

**Subject: Miara Transportation – Non-Residential Site Plan  
Map 136; Lot 1  
12 Bockes Road, Hudson NH  
KNA Project No. 16-0223-1**

**PROJECT NARRATIVE**

Joseph A. Miara, Jr., Trustee of Granite Realty Trust (the “Applicant”), is the owner of 12 Bockes Road. The property is located on the northwesterly side of Bockes Road, across from the VFW facility. The property is within Hudson’s Residential-2 Zoning District and approximately 9.216 acres in overall area, housing the existing Miara Transportation facility.

The property currently contains one 23,188 sf industrial building and one 2,428 sf maintenance building. In February of 2017 the Hudson Planning Board Approved a two-phase expansion on the property. The expansion included a 2,430 Sf building, pavement expansion in the rear of the existing building, and a large expansion of the gravel area. The gravel area expansion included a wetland impact to the existing wetlands in the rear of the site. This impact was approved through the Hudson Zoning Board, Hudson Conservation Commission, and a Wetland and Non-Site Specific permit was approved by the State of New Hampshire. Phase one of this expansion was the wetland impact and gravel expansion. Phase two is a proposed building addition to the existing maintenance building and the newly paved area.

Phase one of this project has been started. The gravel area has been expanded and the stormwater pond is currently being finalized. Phase two has not begun yet. Final items for Phase 1 are being completed. Due to phase one still being constructed, the previously approved work was included in this plan set in order to show the finalization of phase one and the proposed garage in conjunction as phase 3.

In 2022 a “hoop structure” was proposed and approved by the Town of Hudson Planning Board and Zoning Board. The hoop structure was originally proposed to afford Miara Transportation a place to store trailers away from winter weather to prevent snow from piling up on the trailers and making them unsafe for roadway travel. Miara Transportation transports a variety of items that come in all shapes and sizes. This assortment makes completely clearing snow from the loaded trailers difficult.

When the owner moved forward with constructing the hoop structure, the Town of Hudson requested that a foundation be installed for the structure. The original design for the hoop structure relied on shipping containers to support the hoop. With a requirement for a foundation, the owner decided to construct an enclosed structure as opposed to a two-sided hoop structure.

*Civil Engineering*

*Land Surveying*

*Landscape Architecture*

10 Commerce Park North, Suite 3B

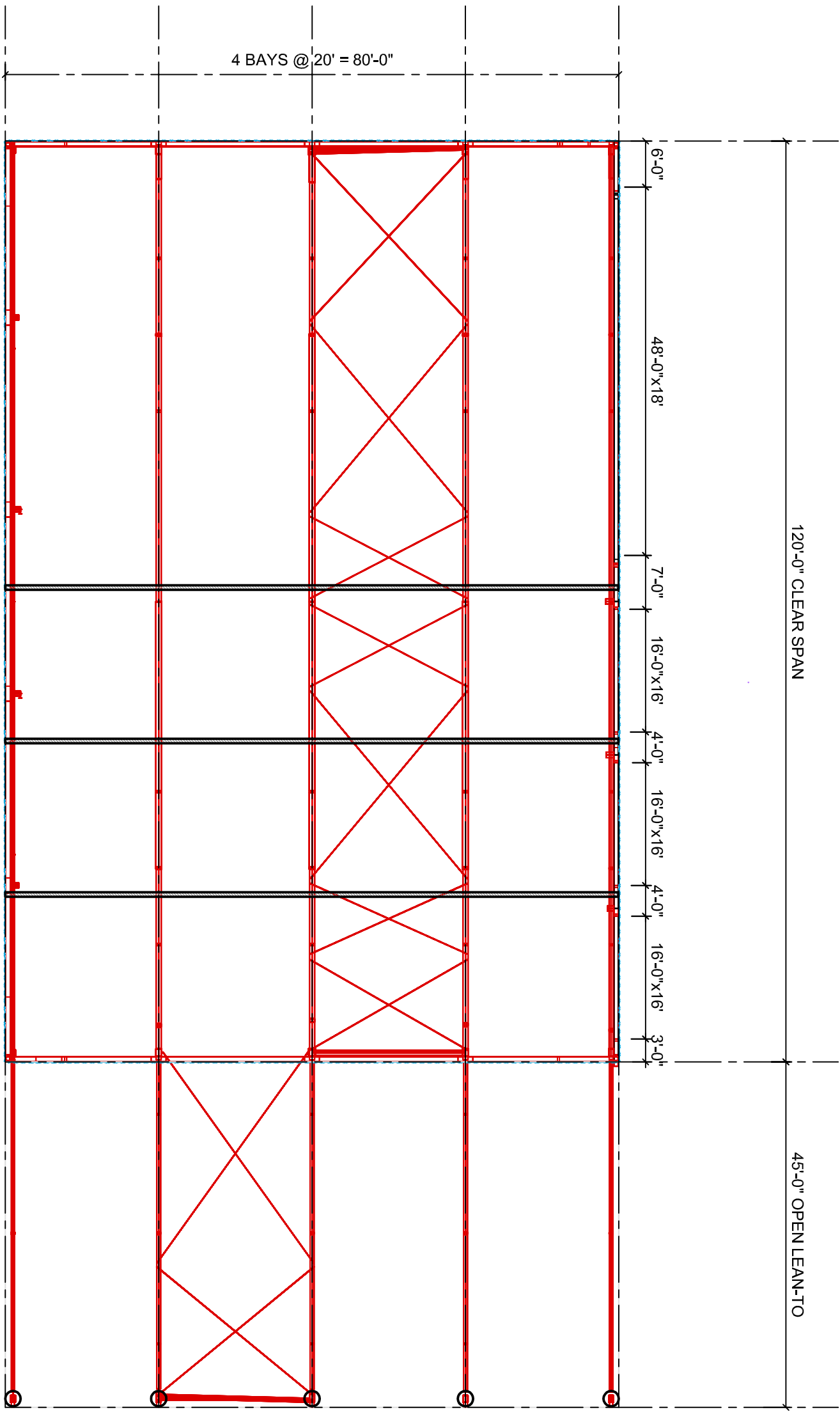
Bedford, NH 03110

Phone (603) 627-2881

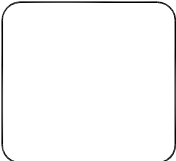
Fax (603) 627-2915

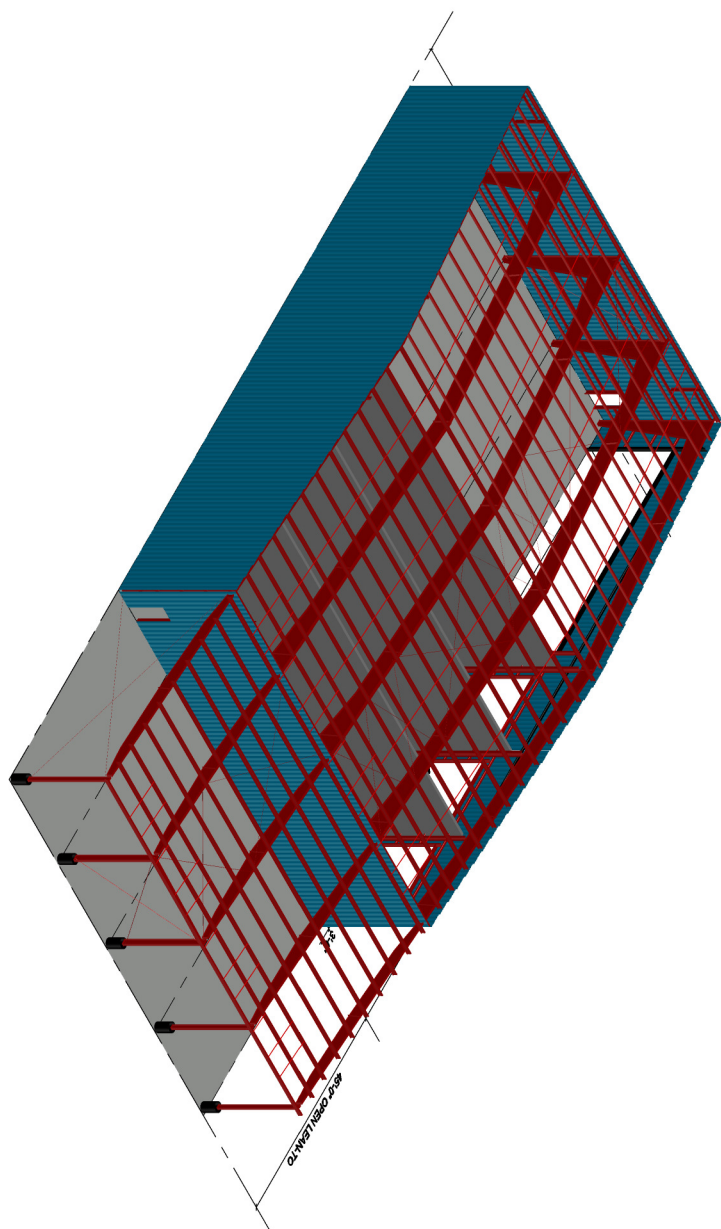
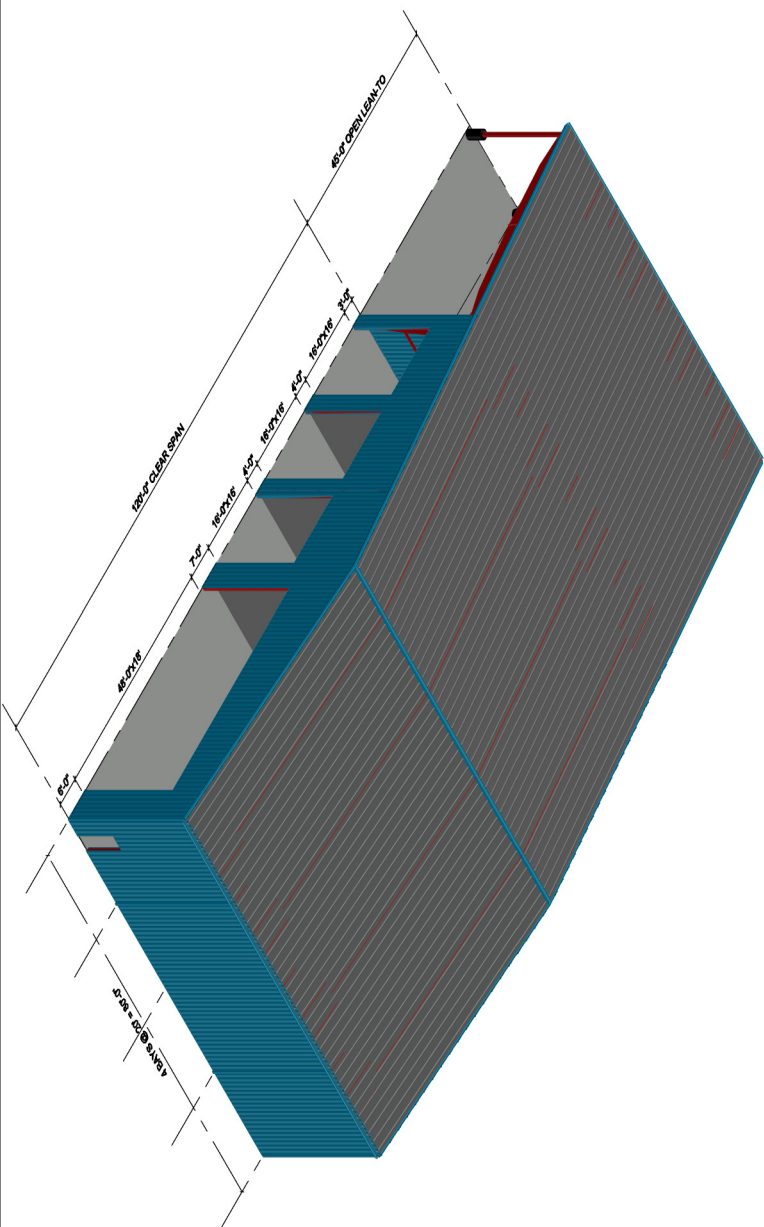
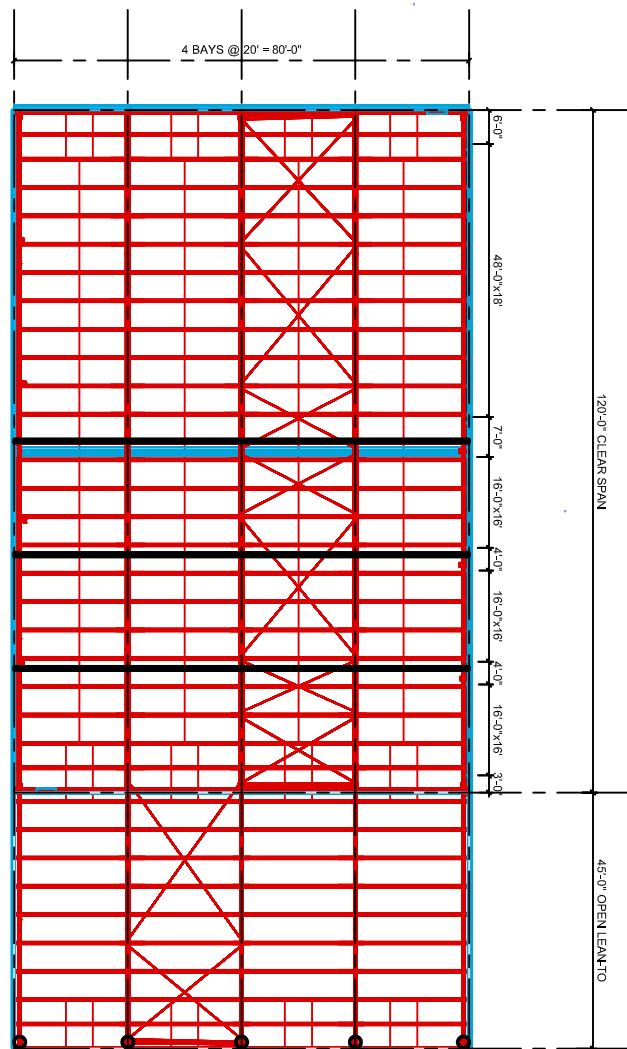
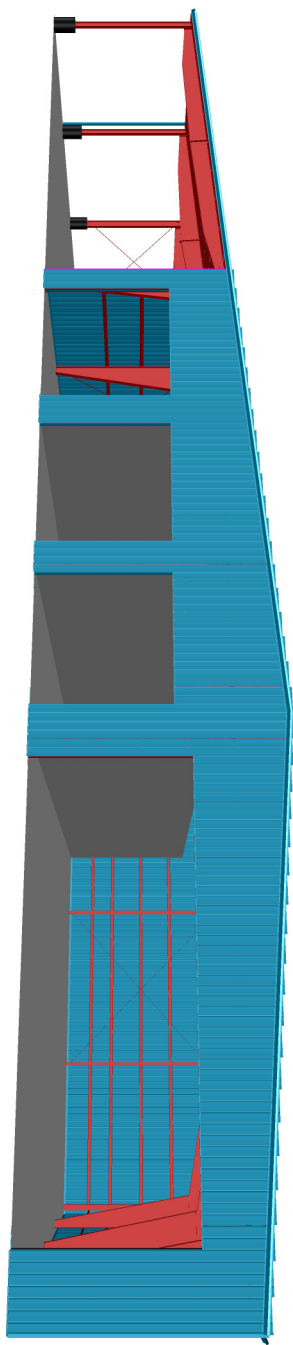


This project proposes a 9,600 enclosed garage with a 3,600 covered awning attached. The garage is proposed within the northwest corner of the existing gravel parking lot. The location of the garage was chosen to mitigate visual impacts to surrounding residential properties while also minimizing impacts to the existing wetlands. In 2023, a variance was approved by the Town of Hudson Zoning Board for an expansion of non-conforming use to allow this proposed garage. This garage would not only reduce the danger of snow or other types of weather on the loaded trailers, but also reduce the visual impact of trailer storage for the surrounding properties.



DRAWING # <b>A1-1</b>	REV	01/23/14	GW	REVISIONS FOR REVIEW & COMMENT	DRAWING FLOOR PLAN 1/16"=1'-0"
	ISSUE	01/23/14	GW		
ACTION	DATE	BY	APP'D	DESCRIPTION	PROJECT # 12-113





A1-3

DRAWING #

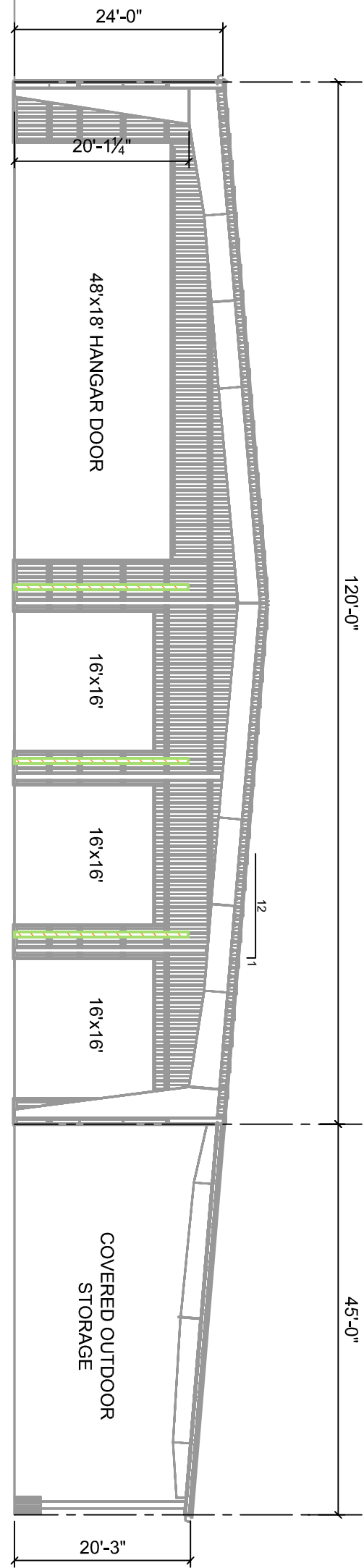
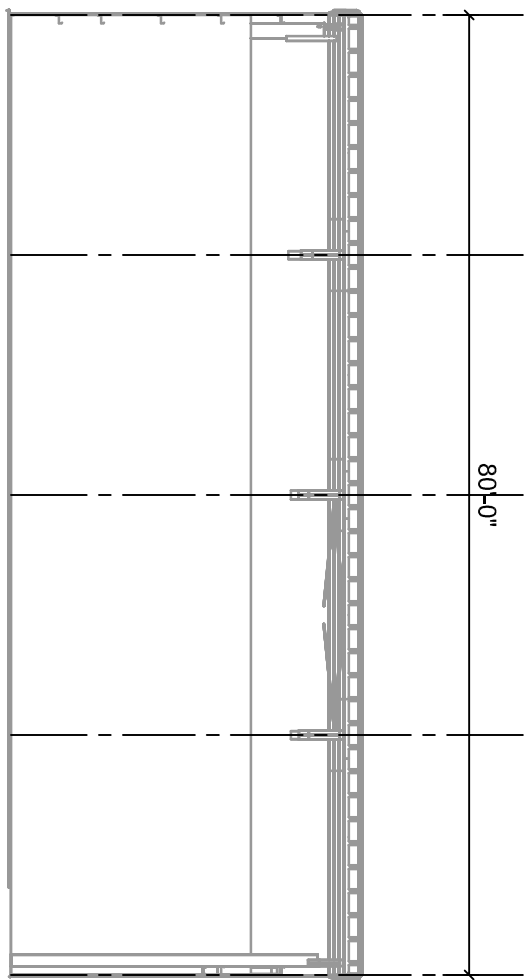
REV	DATE	BY	APPD	DESCRIPTION
01	02/21	GW		REVISE OPENINGS PROPOSAL
02	02/24	GW		

ACTION	DATE	BY	APPD	DESCRIPTION

DRAWING 4 VIEWS

PROJECT  
MIARA  
12 ROCKES ROAD  
HUDSON, NH 03051  
PROJECT # 12-113





A4-1

REV	DATE	BY	APP'D	DESCRIPTION
01	02/24	GW		REVISE OPENINGS PROPOSAL
02	02/24	GW		

<b>DRAWING SECTIONS</b>	1/16"=1'-0"
<b>PROJECT</b>	
MIARA	
12 ROCKES ROAD	
HUDSON, NH 03051	
<b>PROJECT #</b> 12-113	



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# **Wetland Conservation District Conditional Use Permit Application**

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## **MIARA TRANSPORTATION**

**Tax Map 136; Lot 1  
12 Bockes Road  
Hudson, New Hampshire  
KNA Project No. 16-0223-1**

**May 13, 2024  
Updated: August 12, 2024**

Prepared For: Joseph A. Miara Jr., Trustee  
Granite Reality Trust  
12 Bockes Road  
Hudson, NH 03051

Prepared By: Keach-Nordstrom Associates, Inc.  
10 Commerce Park North, Suite 3  
Bedford, New Hampshire 03110  
(603) 627-2881  
(603) 627-2915 (fax)

***KNA*** KEACH-NORDSTROM ASSOCIATES, INC.



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(11"x17")**

**1. WETLAND CONDITIONAL USE PERMIT APPLICATION**

**CONDITIONAL USE PERMIT APPLICATION**

Date of Application: 5/13/2024 Tax Map #: 136 Lot #: 1

Site Address: 12 Bockes Road

Name of Project: Miara Transportation

Zoning District: R-2 General CUP#: \_\_\_\_\_  
(For Town Use Only)

Z.B.A. Action: 4/27/2023, Case # 136-001 Variance for expansion of non-conforming use.

PROPERTY OWNER: DEVELOPER:

Name: Granite Realty Trust, c/o Joseph Miara Jr.

Address: 12 Bockes Road

Address: Hudson, NH 03051

Telephone # 1-978-658-3616

Email: joe@jamiara.com

PROJECT ENGINEER or SURVEYOR: CERTIFIED WETLANDS SCIENTIST:

Name: Keach Nordstrom Assoc., Allison Lewis Keach Nordstrom Assoc., Chris Hickey

Address: 10 Commerce Park North, Suite 3 10 Commerce Park North, Suite 3

Address: Bedford, NH 03110 Bedford, NH 03110

Telephone # 603-627-2881 603-627-2881

Email: alewis@keachnordstrom.com chickey@keachnordstrom.com

**PURPOSE OF PLAN:**

This project proposes to construct a 9,600 sf garage with attached 3,600 sf awning in the rear of the property. The proposed structure will be used for trailer storage to keep snow and weather away from trailers and equipment.

(For Town Use Only)		
Routing Date: _____	Deadline Date: _____	Meeting Date: _____
_____ I have no comments _____ I have comments (attach to form)		
_____ Title: _____	Date: _____	
(Initials)		
Department: _____		
Zoning: ___ Engineering: ___ Assessor: ___ Police: ___ Fire: ___ DPW: ___ Consultant: ___		

**SITE DATA SHEET**

PLAN NAME: Miara Transportation

PLAN TYPE: (Site Plan, Subdivision, or other) Site Plan

LEGAL DESCRIPTION: MAP 136 LOT 1

DATE: 5/13/2024

Location by Street: 12 Bockes Road

Zoning: R-2

Proposed Land Use: Transportation Company

Existing Use: Transportation Company

Total Site Area: S.F.: 401,449 Acres: 9.21

Total Wetland Area (SF): 61,666.3 sf

Permanent Wetland Impact Area (SF): 0 sf

Permanent Wetland Buffer Impact Area (SF): New: 915 sf

Temporary Wetland Impact Area (SF): 0 sf

Temporary Wetland Buffer Impact Area (SF): New: 3,220 sf

Flood Zone Reference: 300920536D

Proposed Mitigation:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**(For Town Use Only)**

Data Sheets Checked By: \_\_\_\_\_ Date: \_\_\_\_\_

**SCHEDULE OF FEES**

(Fee covers both Conservation Commission & Planning Board)

**A. REVIEW FEES:**

1. Conditional Use Permit  
\$100 Flat Fee \$ 100.00

**LEGAL FEE:**

The applicant shall be charged attorney costs billed to the Town for the Town's attorney review of any application plan set documents.

**B. POSTAGE:**

<u>        </u>	Direct Abutters Applicant, Professionals, etc. as required by RSA 676:4.1.d @\$5.08 (or Current Certified Mail Rate)	\$ <u>Included in Site Plan Application Fee</u>
<u>        </u>	Indirect Abutters (property owners within 200 feet) @\$0.68 (or Current First Class Rate)	\$ <u>                    </u>

**TOTAL**      \$ 100

<b>(For Town Use)</b>	
AMOUNT RECEIVED: \$ <u>                    </u>	DATE RECEIVED: <u>                    </u>
RECEIPT NO.: <u>                    </u>	RECEIVED BY: <u>                    </u>

**2. WETLAND CONDITIONAL USE PERMIT CHECKLIST**

**WETLAND CONDITIONAL USE PERMIT CHECKLIST**

Yes	No	NA	QUESTIONS/INFORMATION NEEDED	HCC Comments
<b>NARRATIVE REPORT</b>				
Existing Conditions				
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Has a DES Dredge and Fill Permit been issued for any part of this site? If yes, provide number, date, and description.	Wetlands Permit from NHDES
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Is there evidence of altered wetlands or surface waters on site?	Associated w/ previous permit
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	All prime and other wetlands in the vicinity, plus any wetlands/watersheds past the immediate vicinity affected by this project	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• Description of each wetland and associated values	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Wetland mapping results – Including the flagging date and technique plus the name, company and qualifications of the wetland scientist	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Was property surveyed? If yes, the date of survey. (Please attach the survey plan)	
<b>National Wetland Inventory</b>				
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• Vegetative cover types	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	• Existence of vernal pools and associated habitat	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	• Unique geological and cultural features	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• NH Natural Heritage inventory – For list of rare and endangered species, contact the NH Division of Forests and Lands (603)271-3623	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	• Wildlife and fauna species, including estimated number and locations (large projects)	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• Public or private wells located within the vicinity	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• Monitoring well(s) located on site	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• Current land use and zoning district	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Photos of existing area (please use color photos)	
<b>Proposed Project Description</b>				
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Entire project and associated activities	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Time table of project and anticipated phasing	Three phases, timing unknown
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Land use	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Grading plan	
<b>Impact to Wetlands and/or Buffers</b>				
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	• Depending on size and proposed impacts, a report from a biologist may be appropriate	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Removing, filling, dredging, or altering (Area square ft. and locations)	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Intercepting or diverging of ground or surface water (Locations and size)	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	• Change in run-off characteristics	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Delineation of drainage area contributing to each discharge point	

Yes	No	NA	Questions/Information Needed	HCC COMMENTS
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	Estimated water quality characteristics of runoff at each point of discharge for both pre- and post-development	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Erosion control practices	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<ul style="list-style-type: none"> <li>If using rip-rap, attach documentation explaining why other erosion control methods are not feasible</li> </ul>	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<ul style="list-style-type: none"> <li>How storm water runoff will be handled</li> </ul>	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	If backyards or lots include a buffer area, buffer restriction wording shall be included in each deed (A physical marker may be requested to designate buffer boundaries at site)	

**Mitigation**

<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Square footage of mitigation – wetland and upland areas	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Wetland or upland plants identified to replace any losses	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<ul style="list-style-type: none"> <li>Restoration plan for planting and vegetation</li> </ul>	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Conservation easements, including location and aesthetic, wildlife and vegetative values	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<ul style="list-style-type: none"> <li>If easement is on or added to the site(s), a copy of the legal document shall be given to the HCC (HCC conservation easement markers may also be required along the easement)</li> </ul>	

**CONCEPTUAL SITE PLAN/DRAWING**

<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Locus map depicting project site and vicinity within approximately ½ mile and also on a larger scale	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	All prime and other wetlands in the vicinity	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Wetland(s) impacted (identified as prime or other) and the wetland boundaries with 50' buffer areas highlighted in color	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Assessor's sheet(s), lot(s), and property account number(s)	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Existing and proposed structures	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Square footage listed for temporary and permanent impact	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Erosion control plan (Suggested: Biodegradable silt fences so area won't be disturbed again and no hay to avoid invasive species)	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Topographical map with contours	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Storm water treatment swales and basins highlighted in color if in buffer area	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Conservation and utility easements	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Grading plan	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Culvert, arch, bridge - sizes, material, etc.	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Vegetative cover types	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Vernal pools	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Existing and proposed stone walls, tree lines, and unusually large, rare or beautiful trees, and other notable site features	



**3. CONDITIONAL USE PERMIT APPLICATION AUTHORIZATION**

CONDITIONAL USE PERMIT APPLICATION AUTHORIZATION

I hereby apply for *Conditional Use Permit* Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the *Conditional Use Permit* specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Planner, the Town Engineer, and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: *Joseph A. Mirra Jr* Date: 5/15/24  
Print Name of Owner: Joseph A Mirra jr

❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: \_\_\_\_\_ Date: \_\_\_\_\_  
Print Name of Developer: \_\_\_\_\_

❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The individual in charge of the project must notify the Code Enforcement Officer/Building Inspector within two (2) working days of any change.

**4. OWNER AFFIDAVIT**

**Owner Affidavit**

---

I, Joseph A. Miara Jr., authorized representative of Granite Realty Trust, and owner of the property referenced on Tax Map 136 as Lot 1, located at 12 Bockes Road, Hudson, New Hampshire, hereby verify that I have authorized Keach-Nordstrom Associates, Inc. to submit on my behalf, any and all applicable State and local permit applications as they pertain to improvements on said property.

Additionally, I authorize Keach-Nordstrom Associates, Inc. to aid in the representation of these applications throughout the approval process.

Signature of Owner:

Joseph A. Miara Jr.

Printed Name of Owner:

Joseph A. Miara Jr.

Address of Owner:

12 Bockes Road

Hudson, NH 03051

Date:

5/15/24

**5. ABUTTERS LIST**

**Abutters List**  
**Miara Transportation**  
**Hudson, NH**  
**KNA#16-0223-1**  
Updated 5/12/24

<b>Tax Map</b>	<b>Lot</b>	<b>Owner/Applicant</b>
136	001	Joseph A. Miara, Jr., Trustee Granite Realty Trust 12 Bockes Road Hudson, NH 03051
<b>Tax Map</b> 136	<b>Lot</b> 2	<b>Abutter</b> Morris, Rev. Trust Peter J. & Tammy L. Morris, Trustees 16 Bockes Road Hudson, NH 03051
136	036	VFW-Hudson Memorial Post 5791 15 Bockes Road Hudson, NH 03051
145 145	003 002	Joseph M. Donahue, Trustee Joseph Ireland 2016 Family Trust 70 Ferry Street Hudson, NH 03051
145	001	1 Bockes Road, LLC 25 Pelham Road, Suite 103 Salem, NH 03079
144&135	021 & 032	Rolling Woods HOA c/o James Weaver 27 Rollings Woods Dr. Hudson, NH 03051
144	21-08	Garret D. Santos & Melissa F. Pierce 21 Rolling Woods Dr. Hudson, NH 03051
135	37	James R. & Varinia G. Weaver 27 Rolling Woods Dr. Hudson, NH 03051

## Attachment "B"

135	36	Stefan and Diane R. Mikolajczuk, Trustees Mikolajczuk Rev. Trust 29 Rolling Woods Dr. Hudson, NH 03051
<b>Tax Map</b> 135	<b>Lot</b> 35	<b>Abutter Within 200-ft</b> Brian T. & Jill C. Leonard 37 Rolling Woods Drive Hudson, NH 03051
136	3	Donald J. & Georgia F. Brussard 18 Bockes Road Hudson, NH 03051
136	4	Zachary Jason Tancrell-Stueve & Danielle Mary MacDonald 20 Bockes Road Hudson, NH 03051
136	5	Shane Howard 4A York Road Hudson, NH 03051

Professional to be notified:

Engineer & Survey  
Keach-Nordstrom Associates, Inc.  
10 Commerce Park North, Suite 3  
Bedford, NH 03110

**6. PROJECT NARRATIVE**





**Miara Transportation**  
12 Bockes Road  
Tax Map 136; Lot1  
KNA Project No. 16-0223-1

May 13, 2024  
Updated: August 12, 2024

Project Location

The subject property is located at 12 Bockes Road and referenced as Hudson Tax Map 136 as Lot 1.

Project Intent

The project proposes a garage of approximately 13,600-sf (165-ft by 80-ft), northwest of the existing development, in the rear of the property. The proposed garage will sit within an existing gravel yard that was approved in 2017 for wetland impacts. A paved access lane will connect the garage with the other paved portions of the site. This project will enhance stormwater run-off by the addition of the garage. Landscaping and other site appurtenances are also proposed to enhance not only the appearance but also the wetland complexes on the site.

Existing Conditions

The subject property is 9.216-acres in total area and partially developed with the existing Miara Transportation site. The developed portion is situated in the northern side of the parcel, with undeveloped areas to the south of the development. Two separate wetland complexes exist onsite and are located mainly within the undeveloped portion of the property to the south and a small wetland complex is located to the west. There are a total of three buildings currently onsite and the largest of which has a footprint of approximately 23,188-sf. Parking is located along the frontage of Bockes Road, east of the main building, while the rear of the parcel is currently utilized for vehicle storage and loading. Undeveloped portions of the site are covered by woodlands, with topography sloping from west to east.

In 2016, this parcel came before the Conservation Commission seeking to expand the gravel yard in the rear of the site and included the stormwater management pond and a building addition. This resulted in a buffer impact of 31,700 square-feet and a wetland impact of 5,500 square-feet. The Commission at that time recommended approval of this impact. Since that recommendation and later Planning Board and state approval, the gravel yard has been constructed and associated stormwater pond was constructed and is now being finalized. This wetland and wetland buffer impact resulted in a smaller wetland area of 2,092 square-feet remaining on the western property line. This project proposes the 13,600-sf garage within the previously approved and impacted area.

Soil data and information was taken from the NRCS Web Soil Survey. The predominant on-site soil types are identified as Deerfield loamy fine sand, 3-8% slopes, Hinckley loamy sand, 8-15%

slopes, Windsor loamy sand, 3-8% slopes, and Scituate stony fine sandy loam, 3-8% slopes. Windsor, Hinckley, and Deerfield are Hydrologic Group 'A' soils and Scituate is a Type 'C' soil.

## Site Research

The New Hampshire Natural Heritage Bureau (NHB) was contacted and asked to check their database for records of threatened or endangered species, and species of special concern within or around the project area. In 2016 NHB identified four species of concern in the proximity of the site. KNA is in the process of obtaining up to date information from the NHB and will forward a copy of their correspondence upon receipt.

## Storm Water Management

In 2017 the proposed project designed a pocket pond upholding the Town of Hudson and the State of New Hampshire design guidelines as well as common engineering practice. The treatment practices were provided following the recommended design practices outlined in the publication entitled New Hampshire Department of Environmental Services Best Management Practices for Stormwater Management and Erosion and Sediment Control. Due to the proposed layout of the garage, no additional impervious cover is proposed with this application, and therefore the current stormwater management system can be utilized. Proper erosion control will ensure no adverse downstream impacts to sensitive wetland areas and abutting lands.

## Erosion and Sediment Control

As an integral part of the engineering design of this site, an erosion and sedimentation control plan is developed with the intent of limiting the potential for soil loss and associated receiving water quality degradation, both during and after the construction period. Traditional temporary erosion and sedimentation control devices and practices, such as siltation fencing, check dam, and seeding will be specified. Reference is made to the Stormwater Management and Erosion and Sediment Control Handbook for Urban and Developing Areas in New Hampshire manual to appropriately provide and design for erosion control practices. Also, in an effort to account for abnormal adverse building conditions, common engineering practices attempt to further protect all affected areas through caution to the future contractor that any indicated erosion control practices are a minimum standard and serve as a guide only. Notes to this effect are typically added to the design plans and further state more extensive erosion control measures are, by mention, incorporated as field conditions warrant or as directed by the appropriate Local or State authority.

## Wetland Impacts

Christopher K. Danforth (C.W.S. #077) mapped two onsite jurisdictional wetlands in January, 2022, which were field located by this office during on ground survey efforts. The site has a bordering vegetated wetland located along the southwest and southernly property line that runs through the property and continues offsite. This wetland is a palustrine system, non tidal. The dominant wetland species include trees, shrubs, and persistent emergent. The predominant

wetland species include red maple (*Acer rubrum*), highbush blueberry (*Vaccinium corymbosom*) and cinnamon fern (*Osmunda cinnamomea*).

An offsite wetland system crosses the western property line and was part of the 2017 approved wetland impacts. The current size of the wetland projecting onto the site is about 2,092 square-feet. This wetland is also a palustrine (non tidal) and dominated by red maple (*Acer rubrum*). Please reference the attached plan set for all current wetland locations.

Additionally, in submitting the enclosed application for conditional use permit, the applicant recognizes the need to successfully demonstrate to the satisfaction of the Town of Hudson Conservation Commission, that each of following criteria have been or will be fulfilled. Specifically:

**A. Support fish and wildlife;**

The wetlands are characterized as a palustrine system, and the large existing wetland to the south supports a variety of wildlife and plant life. There will be no adverse impacts to fish or wildlife due to the work for this project being within a previous permanently impacted wetland buffer to the north of the large wetland.

**B. Attenuate flooding;**

There is an existing swale that connects the small wetland complex on the western side of the property with the larger wetland to the south. Therefore, existing wetland flooding will occur in same manner as it does today and not be impacted by this proposal.

**C. Supply and protect surface and groundwater resources;**

The proposed project seeks to remove 13,600 sf of gravel trailer storage area and replace that area with a roofed garage. This roof run-off will be cleaner and will enhance the overall surface run-off coming from the site.

**D. Remove sediments;**

Wetlands and wetland buffer areas will be protected by erosion and sediment control features during construction, in accordance with all local, state and federal standards. Run-off from the site is directed to the constructed pocket pond, which is equipped with a sediment forebay. The sediment forebay and pocket pond work in conjunction to treat and remove sediment from the site run-off. In post construction there will be no impact to groundwater, runoff characteristics or quality of the wetland sediments.

**E. Remove pollutants;**

No additional pollutant loading is anticipated. The current ground covers will be restored in areas affected by the proposed work and will be improved by the addition of the garage.

**F. Support wetland vegetation;**

Vegetation within the wetland will be left untouched and all work is within proximity of a wetland buffer that has previously been impacted.

**G. Promote public health and safety.**

The proposed garage will result in cleaner run-off from the site and will allow for storage of trailers and trucks. This storage area will benefit the public health and safety by helping to remove run-off from the vehicles previously being stored in the open gravel yard and captured by the stormwater management system.

**H. Moderate fluctuations in surface water levels.**

After construction, the area will remain the same as existing with no change in runoff or surface water levels. This proposed design will not be adding any more run-off than is already contributing to this wetland.

**I. No increase to potential for erosion, siltation, and turbidity of surface waters.**

During construction, erosion control measures will be implemented in accordance with local, state and federal regulations to minimize impacts. There will be no additional impervious surfaces added to the site and thus no additional potential to increase erosion, siltation or turbidity.

**J. No loss of fish and wildlife habitat.**

Wetlands will remain unaltered during the construction of the proposed garage and therefore there will be no adverse impacts to fish habitat. Wildlife habitat will remain unaffected as the proposed land disturbance is within the previously constructed gravel yard.

**K. No loss of unique habitat having demonstrable natural, scientific, or educational value.**

There will be no loss of unique habitat because there will be no work within the wetlands. All work is contained within the previously constructed gravel yard.

**L. No loss or decrease of beneficial aquatic organisms and wetland plants and their habitat.**

Wetlands will remain unaltered during construction. There will be no adverse impacts aquatic organisms, wetland plants or their habitat.

**M. No increased danger of flooding and/or transport of pollutants**

The work will be done within the existing gravel yard. During construction proper erosion control measures will be implemented. As such, there is no increased danger of flooding or transportation of pollutants.

**N. No destruction of the economic, aesthetic, recreational, and other public and private uses and values of the wetland to the community**

No destruction of the economic, aesthetic, recreational, and other public and private uses and values of the wetland to the community is anticipated during or after construction of the garage.

**7. SURFACE WATER IMPAIRMENTS**

# Surface Water Impairments



**8. NHDES WELL INVENTORY MAP**



Map by NH GRANIT

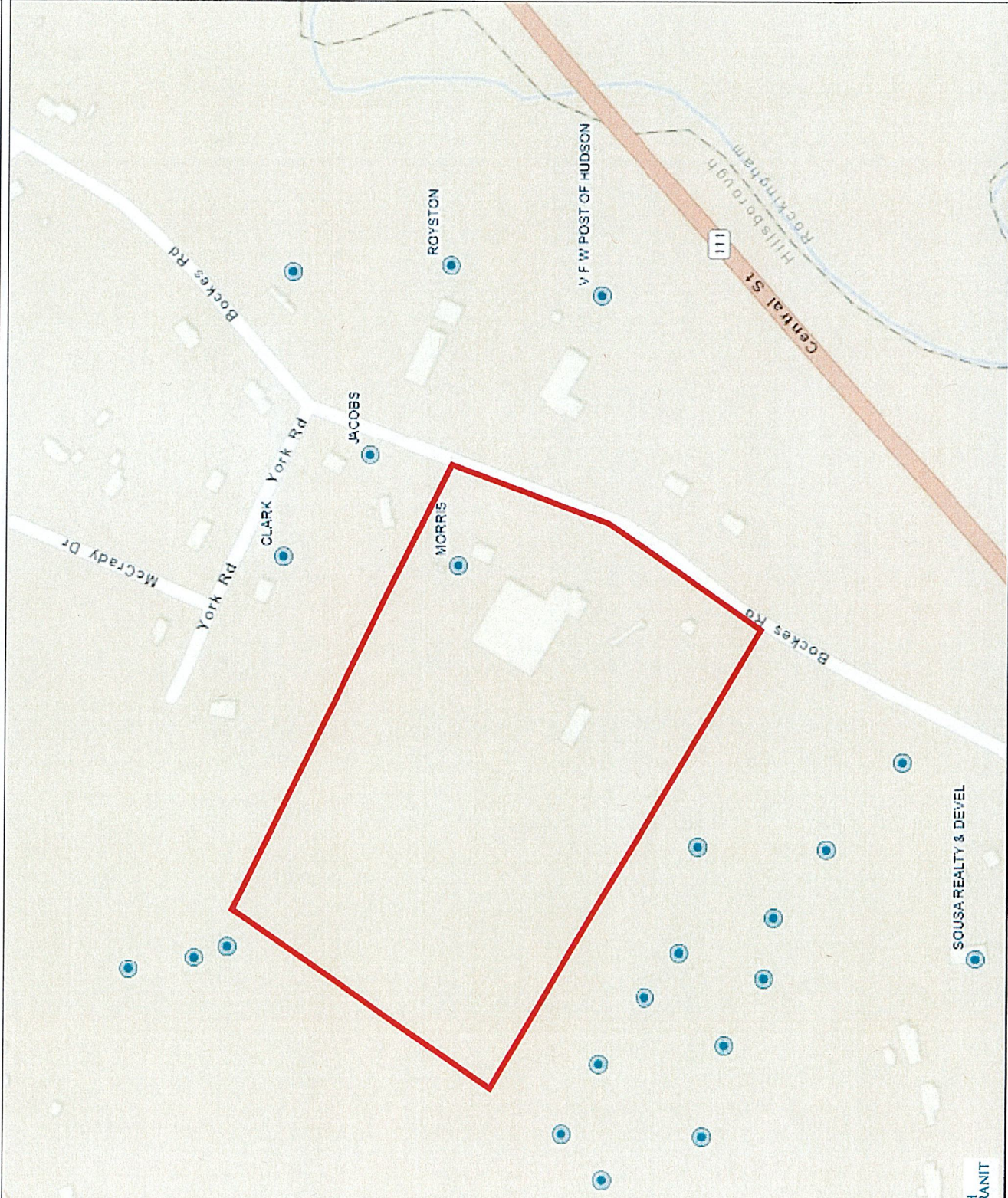
Legend

- Public\_Water\_Supply\_En
- Water Well Inventory

Map Scale  
1: 3,247

© NH GRANIT, www.granit.unh.edu  
Map Generated: 5/16/2024

Notes



**9. NEW HAMPSHIRE NATURAL HERITAGE INVENTORY LETTER**

# Memo



NH NATURAL HERITAGE BUREAU  
NHB DATACHECK RESULTS LETTER

**To:** Kate Basso  
10 Commerce Park No.  
Suite 3  
Bedford, NH 03110

**From:** Amy Lamb, NH Natural Heritage Bureau

**Date:** 6/6/2016 (valid for one year from this date)

**Re:** Review by NH Natural Heritage Bureau

NHB File ID: NHB16-1737      Town: Hudson      Location: Tax Maps: Map 136; Lot 1

**Description:** The project proposes a gravel parking/vehicle storage area for the existing site.

**cc:** Kim Tuttle

As requested, I have searched our database for records of rare species and exemplary natural communities, with the following results.

**Comments: Please contact NH Fish & Game to address wildlife concerns.**

Vertebrate species	State <sup>1</sup>	Federal	Notes
American Eel ( <i>Anguilla rostrata</i> )	SC	--	Contact the NH Fish & Game Dept (see below).
Blanding's Turtle ( <i>Emydoidea blandingii</i> )	E	--	Contact the NH Fish & Game Dept (see below).
Spotted Turtle ( <i>Clemmys guttata</i> )	T	--	Contact the NH Fish & Game Dept (see below).
Wood Turtle ( <i>Glyptemys insculpta</i> )	SC	--	Contact the NH Fish & Game Dept (see below).

<sup>1</sup>Codes: "E" = Endangered, "T" = Threatened, "SC" = Special Concern, "--" = an exemplary natural community, or a rare species tracked by NH Natural Heritage that has not yet been added to the official state list. An asterisk (\*) indicates that the most recent report for that occurrence was more than 20 years ago.

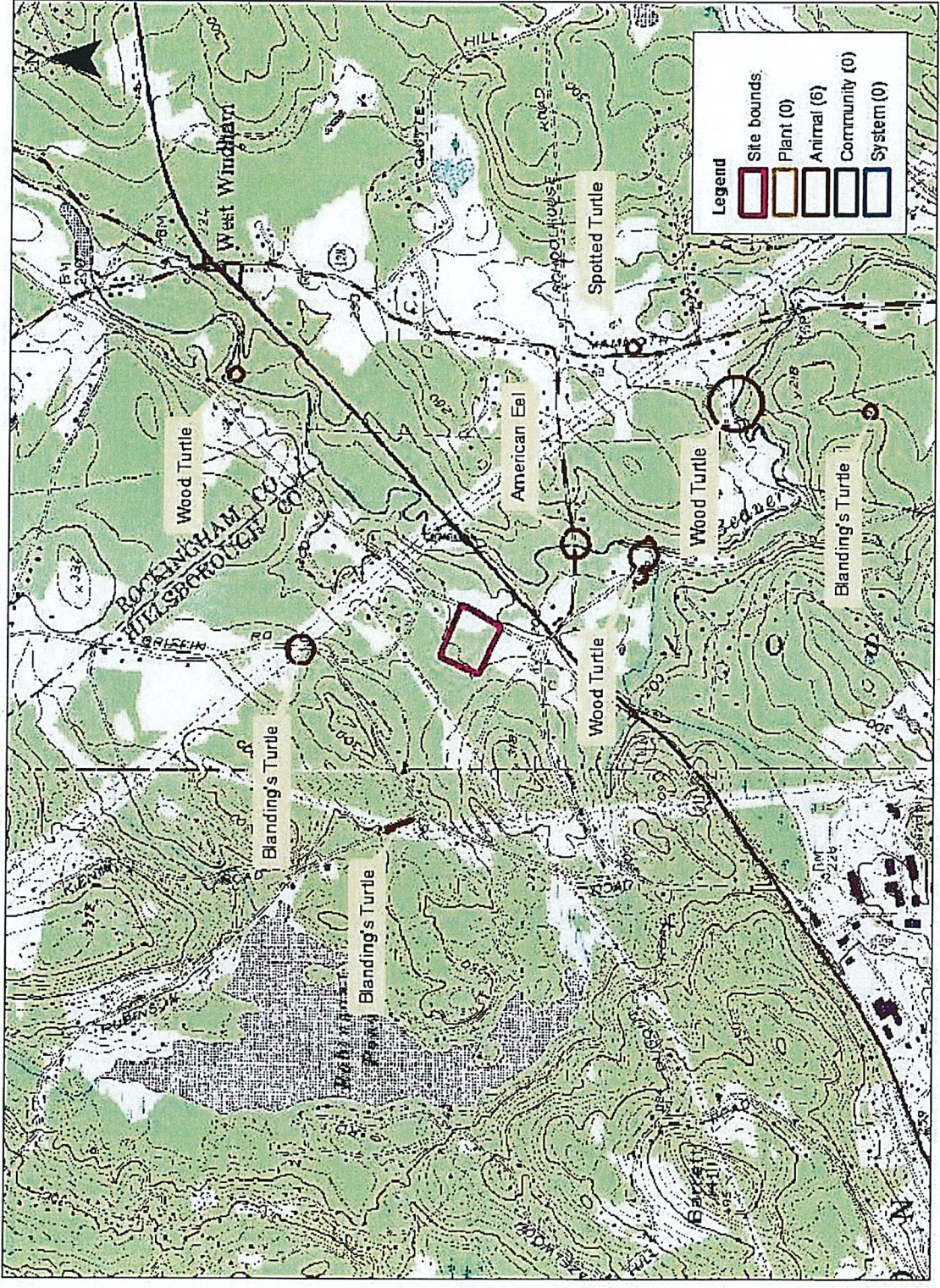
Contact for all animal reviews: Kim Tuttle, NH F & G, (603) 271-6544.

A negative result (no record in our database) does not mean that a sensitive species is not present. Our data can only tell you of known occurrences, based on information gathered by qualified biologists and reported to our office. However, many areas have never been surveyed, or have only been surveyed for certain species. An on-site survey would provide better information on what species and communities are indeed present.

Department of Resources and Economic Development  
Division of Forests and Lands  
(603) 271-2214 fax: 271-6488

DRED/NHB  
172 Pembroke Rd.  
Concord, NH 03301

NHB16-1737



0 0.1 0.2 0.3 0.4 0.5 Miles

## New Hampshire Natural Heritage Bureau - Animal Record

American Eel (*Anguilla rostrata*)**Legal Status**

Federal: Not listed  
 State: Special Concern

**Conservation Status**

Global: Apparently secure but with cause for concern  
 State: Rare or uncommon

**Description at this Location**

Conservation Rank: Not ranked  
 Comments on Rank:

Detailed Description: 1999: Area 13394: Not enumerated.

General Area:

General Comments:

Management

Comments:

**Location**

Survey Site Name: Upper Beaver Brook  
 Managed By:

County: Rockingham

Town(s): Windham

Size: 1.9 acres

Elevation:

Precision: Within (but not necessarily restricted to) the area indicated on the map.

Directions: 1999: Beaver Brook

**Dates documented**

First reported: 1999

Last reported: 1999

The New Hampshire Fish & Game Department has jurisdiction over rare wildlife in New Hampshire. Please contact them at 11 Hazen Drive, Concord, NH 03301 or at (603) 271-2461.











## New Hampshire Natural Heritage Bureau - Animal Record

Wood Turtle (*Glyptemys insculpta*)**Legal Status**

Federal: Not listed  
 State: Special Concern

**Conservation Status**

Global: Apparently secure but with cause for concern  
 State: Rare or uncommon

**Description at this Location**

Conservation Rank: Good quality, condition and landscape context ('B' on a scale of A-D).  
 Comments on Rank:

Detailed Description: 2015: Area 14108M: 1 adult male and 1 adult female observed on 4/18. 1 adult observed, sex unknown, on 5/6. 2014: Area 13637: 2 adults observed, mating. Area 13650: 2 adult males and 1 adult, sex unknown, observed. 2013: Area 13463: 1 adult male observed. 2007: Area 11774: 1 observed. 2001: Area 11774a: 1 turtle observed.

General Area: 2015: Area 14108M: Slow moving stream surrounded by woods and some houses. 2014: Area 13637: Slow moving stream surrounded by woods and some houses. Area 13650: In backyard at edge of Beaver Brook. 2013: Area 13463: Residential yard, coniferous forest. 2007: Area 11774: Basking on a log in Beaver Brook. 2001: Area 11774a: Wooded level area immediately adjacent to and within floodplain of Beaver Brook.

General Comments: 2007: Area 11774a: "Turtle had blood suckers in its wheel wells." 2001: Area 11774a: SPNHF is coordinating a protection effort which, if successful, will result in purchase of this 31.7 acre parcel, as an addition to the adjacent 16.4 acre Andrew Town Forest.

Management  
 Comments:

**Location**

Survey Site Name: West Windham  
 Managed By: Ingersoll Family Trust

County: Rockingham  
 Town(s): Windham  
 Size: 10.7 acres

Elevation:

Precision: Within (but not necessarily restricted to) the area indicated on the map.

Directions: 2015: Area 14108M: Beaver Brook, on Windham/Hudson town line. 2014: Area 13650: Beaver Brook, Windham. Area 13637: 18 Sullivan Road, Hudson. 2013: Area 13463: 18 Sullivan Road, Hudson. 2007: Area 11774: Hudson/Pelham town line near townhouses and Rte. 128. 2001: Area 11774a: From West Windham go west on Indian Rock Rd. 0.25 miles. Observed near the eastern bank of Beaver Brook at a sharp bend north of the road.

**Dates documented**

First reported: 2001-08-22 Last reported: 2015-05-06

The New Hampshire Fish & Game Department has jurisdiction over rare wildlife in New Hampshire. Please contact them at 11 Hazen Drive, Concord, NH 03301 or at (603) 271-2461.

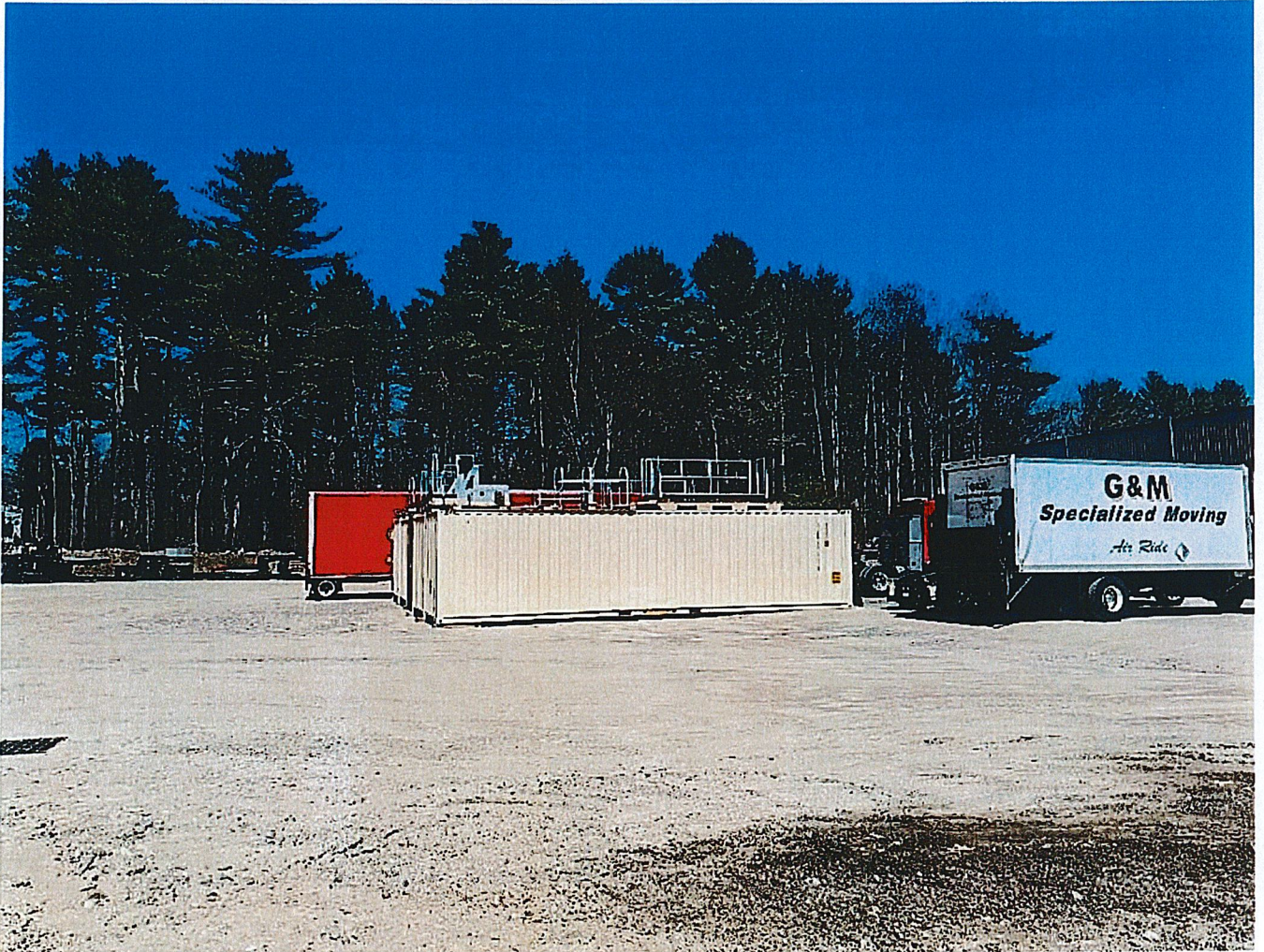
**10. PHOTO LOCATION PLAN AND ASSOCIATED PHOTOS**



**Photo No. 1:** Looking northeast at Map 136 Lot 2



**Photo No. 2:** Looking northeast at Map 136 Lot 2



**Photo No. 3:** Looking North at the corner of Lot 32 and Lot 2



**Photo No. 4:** Looking west towards lot 32





**Photo No. 5:** Looking southwest towards Rolling Woods Development



**11. JULY 11, 2016 MOTION TO RECOMMEND A WETLANDS SPECIAL  
EXCEPTION**



# TOWN OF HUDSON

## Conservation Commission



Ken Dickinson, Chairman      Pat Nichols, Selectmen Liaison

12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-816-1291

### Motion to Recommend a Wetlands Special Exception

**Date:** July 11, 2016

**Case:** Miara Transportation  
12 Bockes Road  
Hudson, New Hampshire  
Map 136, Lot 1 Zone R2

**Description of work to be performed:** The project proposes a vehicle and storage expansion area of approximately 56,000-sf in the rear of the property. The project also entails expanding an existing maintenance building by 2,430-sf along with improvements to the existing storm-water management, lighting and landscaping.

**Members Present:** Ken Dickinson, James Battis, Michael Tranfaglia, Raimundo Matos, William Collins, Jeff Beland and Randy Brownrigg

**Conservation Members Stepping Down:** None

**Alternates Seated:** None

**Motion is to recommend approval of the Wetlands Special Exception Application filed by Joseph A. Miara Jr., Trustee Granite Realty Trust. This approval is for the permanent wetlands buffer impact of approximately 31,700 square feet and permanent wetland impact of approximately 5,500 square feet as shown on the Wetland & Wetland Buffer Impact Plan, Miara Transportation Map 136 lot 1, 12 Bockes Road, Hudson, New Hampshire Hillsborough County. Project No: 16-0233-1 sheet 3 of 6 dated June 2, 2016 and revised June 23, 2016 with the following stipulations.**

1. Construction and restoration shall comply with: BEST MANAGEMENT PRACTICES TO CONTROL NON-POINT SOURCE POLLUTION: A GUIDE FOR CITIZENS AND TOWN OFFICIALS (NH Department of Environmental Services-Current Issue.)
2. During construction and restoration erosion control barriers shall be installed and maintained to the satisfaction of the Town Engineer.
3. Install approved "Do not cut/Do not disturb" Town conservation markers along the conservation district boundaries.

**("Miara Transportation Wetlands Special Exception" motion stipulations continued from page 1)**

4. All notes found on the Construction Detail sheets 4 through 6 that pertain to alteration of terrain and storm-water runoff and management will be strictly adhered to during all phases of construction.

**Motion By:** J. Battis

**Second By:** R. Brownrigg

**Vote:** Favorable: 7 Unfavorable: 0 Abstaining: 0

**Dissent Reason(s):** None

**Approved,**

A handwritten signature in black ink that reads "Ken Dickinson". The signature is written in a cursive style with a large, looped initial "K".

Ken Dickinson, Chairman

**12. WETLAND & WETLAND BUFFER IMPACT PLAN, DATED JUNE 2, 2016**



**13. NHDES WETLANDS BUREAU FILE 2016-02751 PERMIT**



The State of New Hampshire  
**DEPARTMENT OF ENVIRONMENTAL SERVICES**



Thomas S. Burack, Commissioner

December 6, 2016

Joseph A. Miara Trustee  
Granite Realty Trust  
12 Bockes Rd  
Hudson, NH 03051

RE: NH DES Wetlands Bureau File 2016-02751, 12 Bockes Rd, Hudson Tax Map 136 Lot 1

Dear Mr. Miara:

Attached please find Wetlands Permit 2016-02751 to impact 5,550 square feet of forested wetland for the expansion of the existing gravel surface for additional trailer and specialty trailer storage and construction of a 2,430 square foot commercial building.

The decision to approve this application was based on the following findings:

1. This is a minor impact project per Administrative Rule Env-Wt 303.03(h) Projects involving less than 20,000 square feet of alteration in the aggregate in nontidal wetlands, nontidal surface waters, or banks adjacent to nontidal surface waters which exceed the criteria of Env-Wt 303.04(f).
2. The impacts are necessary to provide access to two buildable uplands; therefore, the need for the proposed impacts has been demonstrated by the applicant per Env-Wt 302.01.
3. The applicant has provided evidence which demonstrates that this proposal is the alternative with the least adverse impact to areas and environments under the department's jurisdiction per Env-Wt 302.03.
4. The applicant has demonstrated by plan and example that each factor listed in Env-Wt 302.04(a) Requirements for Application Evaluation, has been considered in the design of the project.
5. The application included NH Natural Heritage Bureau (NHB) Memo NHB16-1737 identifying five (5) vertebrate species in the vicinity of the project.
6. In response to these species, NH Fish and Game Nongame and Endangered Wildlife Program finds, "We do not expect impacts to the American Eel as there will be no impacts to Beaver Brook. We do not expect impacts to the Blanding's, spotted, or wood turtle as long as impacts to wetlands are minimized, no sumps will be placed in catch basins or other stormwater structures to entrap turtles, and the use of welded plastic or 'biodegradable plastic' erosion control netting is avoided."
7. NH DHR found "No Historic Properties Affected."

Any person aggrieved by this decision may appeal to the N.H. Wetlands Council ("Council") by filing an appeal that meets the requirements specified in RSA 482-A:10, RSA 21-O:14, and the rules adopted by the Council, Env-WtC 100-200. The appeal must be filed **directly with the Council within 30 days** of the date of this decision and must set forth fully **every ground** upon which it is claimed that the decision complained of is unlawful or unreasonable. Only those grounds set forth in the notice of appeal can be considered by the Council. Information about the Council, including a link to the Council's rules, is available at <http://nhec.nh.gov/> (or more directly at <http://nhec.nh.gov/wetlands/index.htm>.) Copies of the rules also are available from the DES Public Information Center at (603) 271-2975. Your permit must be signed, and a copy must be posted in a prominent location on site during construction. If you have any questions, please contact me at (603) 559-1515 or via email at [eben.lewis@des.nh.gov](mailto:eben.lewis@des.nh.gov).

Sincerely,

Eben M. Lewis  
Wetlands Inspector, Southeast Region Supervisor  
DES Wetlands Bureau

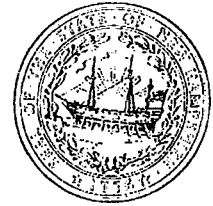
enclosures

cc: Paul D. Chisholm, Keach-Nordstrom Assoc. Inc.  
Hudson Conservation Commission





The State of New Hampshire  
**DEPARTMENT OF ENVIRONMENTAL SERVICES**



Thomas S. Burack, Commissioner

**WETLANDS AND NON-SITE SPECIFIC PERMIT 2016-02751 PAGE 1 OF 2**

**Permittee:** Granite Realty Trust, Joseph A. Miara Trustee  
 12 Bockes Rd  
 Hudson, NH 03051

**Project Location:** 12 Bockes Road, Hudson  
 Hudson Tax Map 136 Lot 1

**Waterbody:** Unnamed Wetland

**NOTE -  
 CONDITIONS**

**APPROVAL DATE:** 12/06/2016

**EXPIRATION DATE:** 12/06/2021

Based upon review of the above referenced application, in accordance with RSA 482-A and RSA 485-A:17, a Wetlands Permit and Non-Site Specific Permit was issued. This permit shall not be considered valid unless signed as specified below.

**PERMIT DESCRIPTION:** Impact 5,550 square feet of forested wetland for the expansion of the existing gravel surface for additional trailer and specialty trailer storage and construction of a 2,430 square foot commercial building.

**THIS APPROVAL IS SUBJECT TO THE FOLLOWING PROJECT SPECIFIC CONDITIONS:**

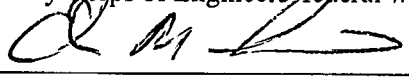
1. All work shall be in accordance with the 'Wetland & Buffer Impact Plan' (Sheet 3 of 6) by Keach-Nordstrom, Inc. dated June 2, 2016 and revised through 06/23/16 as received by the NH Department of Environmental Services (DES) on September 23, 2016.
2. Appropriate siltation and erosion controls shall be in place prior to construction, shall be maintained during construction, and shall remain until the area is stabilized. Temporary controls shall be removed once the area has been stabilized.
3. All dredged and excavated material and construction-related debris shall be placed outside of the areas subject to RSA 482-A.
4. The contractor responsible for completion of the work shall use techniques described in the New Hampshire Stormwater Manual, Volume 3, Erosion and Sediment Controls During Construction (December 2008).
5. Construction equipment shall be inspected daily for leaking fuel, oil, and hydraulic fluid prior to entering surface waters or wetlands or operating in an area where such fluids could reach groundwater, surface waters, or wetlands.
6. The permittee's contractor shall maintain appropriate oil/diesel fuel spill kits on site that are readily accessible at all times during construction, and shall train each operator in the use of the kits.
7. All refueling of equipment shall occur outside of surface waters or wetlands during construction. Machinery shall be staged and refueled in upland areas only.
8. Faulty equipment shall be repaired immediately prior to entering areas that are subject to RSA 482-A jurisdiction.
9. Any fill used shall be clean sand, gravel, rock, or other suitable material.
10. No sumps shall be placed in catch basins or other stormwater structures to entrap turtles.
11. The use of welded plastic or 'biodegradable plastic' erosion control netting shall be avoided.
12. Within three days of final grading or temporary suspension of work in an area that is in or adjacent to wetlands or surface waters, all exposed soil areas shall be stabilized by seeding and mulching during the growing season, or if not within the growing season, by mulching with tackifiers on slopes less than 3:1 or netting and pinning on slopes steeper than 3:1.
13. Where construction activities occur between November 30 and May 1, all exposed soil areas shall be stabilized within 1 day of establishing the grade that is final or that otherwise will exist for more than 5 days. Stabilization shall include placing 3-inches of base course gravels, or loaming and mulching with tack or netting and pinning on slopes steeper than 3:1.

WETLANDS AND NON-SITE SPECIFIC PERMIT 2016-02751 PAGE 2 OF 2

**GENERAL CONDITIONS THAT APPLY TO ALL DES WETLANDS PERMITS:**

1. A copy of this permit shall be posted on site during construction in a prominent location visible to inspecting personnel;
2. This permit does not convey a property right, nor authorize any injury to property of others, nor invasion of rights of others;
3. The Wetlands Bureau shall be notified upon completion of work;
4. This permit does not relieve the applicant from the obligation to obtain other local, state or federal permits, and/or consult with other agencies as may be required (including US EPA, US Army Corps of Engineers, NH Department of Transportation, NH Division of Historical Resources (NH Department of Cultural Resources), NHDES-Alteration of Terrain, etc.);
5. Transfer of this permit to a new owner shall require notification to and approval by DES;
6. This project has been screened for potential impacts to **known** occurrences of rare species and exemplary natural communities in the immediate area. Since many areas have never been surveyed, or have received only cursory inventories, unidentified sensitive species or communities may be present. This permit does not absolve the permittee from due diligence in regard to state, local or federal laws regarding such communities or species.
7. Review enclosed sheet for status of the US Army Corps of Engineers' federal wetlands permit.

APPROVED: \_\_\_\_\_



Eben M. Lewis  
DES Wetlands Bureau

---

**BY SIGNING BELOW I HEREBY CERTIFY THAT I HAVE FULLY READ THIS PERMIT AND AGREE TO ABIDE BY ALL PERMIT CONDITIONS.**

\_\_\_\_\_  
OWNER'S SIGNATURE (required)

\_\_\_\_\_  
CONTRACTOR'S SIGNATURE (required)

**14. PLAN SET (11 X 17)**

**Dubowik, Brooke**

---

**From:** Dhima, Elvis  
**Sent:** Thursday, May 23, 2024 12:59 PM  
**To:** Dubowik, Brooke  
**Subject:** RE: Department Sign-off SP# 05-24 - Miara Transportation Garage Addition

Brooke

1. Applicant shall provide additional protective erosion control measures along the wetland area.
2. Applicant shall provide additional information about the well that is shown on the proposed parking area.
3. Applicant shall provide information about the septic system and back up regarding the proposed additional discharge.

E

*Elvis Dhima, P.E.*  
*Town Engineer*

12 School Street  
Hudson, NH 03051  
Phone: (603) 886-6008



**Dubowik, Brooke**

---

**From:** Dhima, Elvis  
**Sent:** Thursday, August 15, 2024 10:41 AM  
**To:** Allison Lewis; Dubowik, Brooke  
**Subject:** RE: Miara Transportation Revised Submittal

Got it and thank you

No further comments

E

*Elvis Dhima, P.E.*  
*Town Engineer*

12 School Street  
Hudson, NH 03051  
Phone: (603) 886-6008



**SITE PLAN APPLICATION**

Date of Application: 5/13/2024 Tax Map #: 136 Lot #: 1

Site Address: 12 Bockes Road

Name of Project: Miara Transportation

Zoning District: R-2 General SP#: 05-24  
(For Town Use Only)

Z.B.A. Action: \_\_\_\_\_

**PROPERTY OWNER:**

**DEVELOPER:**

Name: Granite Realty Trust, c/o Joseph Miara Jr.

Address: 12 Bockes Road

Address: Hudson, NH 03051

Telephone # 1-978-658-3616

Email: joe@jamiara.com

**PROJECT ENGINEER:**

**SURVEYOR:**

Name: Keach Nordstrom Assoc., Allison Lewis

Keach Nordstrom Assoc., Chris Hickey

Address: 10 Commerce Park North, Suite 3

10 Commerce Park North, Suite 3

Address: Bedford, NH 03110

Bedford, NH 03110

Telephone # 603-627-2881

603-627-2881

Email: alewis@keachnordstrom.com

chickey@keachnordstrom.com

**PURPOSE OF PLAN:**

This project proposes to construct a 9,600 sf garage with attached 3,600 sf awning in the rear of the property. The proposed structure will be used for trailer storage to keep snow and weather away from trailers and equipment.

(For Town Use Only)

Routing Date: 05/23/24 Deadline Date: 05/30/24 Meeting Date: TBD

I have no comments  I have comments (attach to form)

CSS Title: Zoning Administrator Date: 5-23-24  
(Initials)

Department:

Zoning:  Engineering:  Assessor:  Police:  Fire:  DPW:  Consultant:

**SITE PLAN APPLICATION**

Date of Application: 5/13/2024 Tax Map #: 136 Lot #: 1

Site Address: 12 Bockes Road

Name of Project: Miara Transportation

Zoning District: R-2 General SP#: 05-24  
(For Town Use Only)

Z.B.A. Action: \_\_\_\_\_

**PROPERTY OWNER:**

**DEVELOPER:**

Name: Granite Realty Trust, c/o Joseph Miara Jr.

Address: 12 Bockes Road

Address: Hudson, NH 03051

Telephone # 1-978-658-3616

Email: joe@jamiara.com

**PROJECT ENGINEER:**

**SURVEYOR:**

Name: Keach Nordstrom Assoc., Allison Lewis

Keach Nordstrom Assoc., Chris Hickey

Address: 10 Commerce Park North, Suite 3

10 Commerce Park North, Suite 3

Address: Bedford, NH 03110

Bedford, NH 03110

Telephone # 603-627-2881

603-627-2881

Email: alewis@keachnordstrom.com

chickey@keachnordstrom.com

**PURPOSE OF PLAN:**

This project proposes to construct a 9,600 sf garage with attached 3,600 sf awning in the rear of the property. The proposed structure will be used for trailer storage to keep snow and weather away from trailers and equipment.

**(For Town Use Only)**

Routing Date: 05/23/24 Deadline Date: 05/30/24 Meeting Date: TBD

X I have no comments \_\_\_\_\_ I have comments (attach to form)

SCM Title: Captain Steve McElhinney Date: 05/23/24

(Initials)

Department: \_\_\_\_\_

Zoning: \_\_\_ Engineering: \_\_\_ Assessor: \_\_\_ Police: X Fire: \_\_\_ DPW: \_\_\_ Consultant: \_\_\_

**SITE PLAN APPLICATION**

Date of Application: 5/13/2024 Tax Map #: 136 Lot #: 1

Site Address: 12 Bockes Road

Name of Project: Miara Transportation

Zoning District: R-2 General SP#: 05-24  
(For Town Use Only)

Z.B.A. Action: \_\_\_\_\_

**PROPERTY OWNER:**

**DEVELOPER:**

Name: Granite Realty Trust, c/o Joseph Miara Jr.

Address: 12 Bockes Road

Address: Hudson, NH 03051

Telephone # 1-978-658-3616

Email: joe@jamiara.com

**PROJECT ENGINEER:**

**SURVEYOR:**

Name: Keach Nordstrom Assoc., Allison Lewis

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Address: 10 Commerce Park North, Suite 3

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Bedford, NH 03110

Telephone # 603-627-2881

603-627-2881

Email: alewis@keachnordstrom.com

chickey@keachnordstrom.com

**PURPOSE OF PLAN:**

This project proposes to construct a 9,600 sf garage with attached 3,600 sf awning in the rear of the property. The proposed structure will be used for trailer storage to keep snow and weather away from trailers and equipment.

(For Town Use Only)

Routing Date: 05/23/24 Deadline Date: 05/30/24 Meeting Date: TBD

\_\_\_\_\_ I have no comments  I have comments (attach to form)

DRH Title: Fire Marshal Date: 5/23/24  
(Initials)

Department: \_\_\_\_\_

Zoning:  Engineering:  Assessor:  Police:  Fire:  DPW:  Consultant:





# TOWN OF HUDSON

FIRE DEPARTMENT

INSPECTIONAL SERVICES DIVISION



---

12 SCHOOL STREET, HUDSON, NEW HAMPSHIRE 03051

Emergency 911  
Business 603-886-6005  
Fax 603-594-1142

Scott Tice  
Chief of Department

TO: Acting Town Planner

FR: David Hebert  
Fire Marshal  
DT: May 23, 2024  
RE: 12 Bockes Road

Water supply for firefighting needs to be added to the site according to the State Adopted Fire Code.

NFPA 1142 (Water supplies for suburban and rural firefighting) shall be the standard to calculate minimum water supply.

No details were provided for the actual proposed building such as ceiling height and type of construction.

This is an estimate until details are provided.

Total volume of structure-158,400cubic feet. (13,200sqft x 12' ceiling)=158,400cubic feet  
Occupancy Hazard Classification Number 4  
Construction Classification Number 1.Type III construction  
 $158,400/4=39,600 \times 1=39,600$  gallons  
This totals 39,600 gallons of water required.

The applicant needs to install a cistern. The site plan shows future building construction which will require additional water storage.

Provide a revised site plan showing the building details and the required cistern on the plan.

David Hebert  
Fire Marshal

**Dubowik, Brooke**

---

**From:** Twardosky, Jason  
**Sent:** Thursday, May 23, 2024 10:14 AM  
**To:** Dubowik, Brooke  
**Subject:** RE: Department Sign-off SP# 05-24 - Miara Transportation Garage Addition

No comment

---

**From:** Dubowik, Brooke <bdubowik@hudsonnh.gov>  
**Sent:** Thursday, May 23, 2024 10:03 AM  
**Subject:** Department Sign-off SP# 05-24 - Miara Transportation Garage Addition

Good morning,  
Attached is a sign-off for a site plan garage addition at 12 Bockes Road.  
Please return no later May 30<sup>th</sup>.  
Thank you,

*Brooke Dubowik*

Planning Administrative Aide II



12 School Street  
Hudson, NH 03051  
603-816-1267 (Direct)

**SITE PLAN APPLICATION**

Date of Application: 5/13/2024 Tax Map #: 136 Lot #: 1

Site Address: 12 Bockes Road

Name of Project: Miara Transportation

Zoning District: R-2 General SP#: 05-24  
(For Town Use Only)

Z.B.A. Action: \_\_\_\_\_

**PROPERTY OWNER:**

**DEVELOPER:**

Name: Granite Realty Trust, c/o Joseph Miara Jr.

Address: 12 Bockes Road

Address: Hudson, NH 03051

Telephone # 1-978-658-3616

Email: joe@jamiara.com

**PROJECT ENGINEER:**

**SURVEYOR:**

Name: Keach Nordstrom Assoc., Allison Lewis

Keach Nordstrom Assoc., Chris Hickey

Address: 10 Commerce Park North, Suite 3

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Address: Bedford, NH 03110

Bedford, NH 03110

Telephone # 603-627-2881

603-627-2881

Email: alewis@keachnordstrom.com

chickey@keachnordstrom.com

**PURPOSE OF PLAN:**

This project proposes to construct a 9,600 sf garage with attached 3,600 sf awning in the rear of the property. The proposed structure will be used for trailer storage to keep snow and weather away from trailers and equipment.

(For Town Use Only)

Routing Date: 05/23/24 Deadline Date: 05/30/24 Meeting Date: TBD

[Signature] I have no comments \_\_\_\_\_ I have comments (attach to form)

(Initials) Title: Chief Assessor Date: 5-23-24

Department: \_\_\_\_\_

Zoning: \_\_\_ Engineering: \_\_\_ Assessor: \_\_\_ Police: \_\_\_ Fire: \_\_\_ DPW: \_\_\_ Consultant: \_\_\_



August 15, 2024

Elvis Dhima  
Town Engineer  
Town of Hudson  
12 School Street  
Hudson, New Hampshire 03051

**Subject: Response to Town Engineer Review Comments  
Tax Map 136, Lot 1  
KNA Project No. 16-0223-1**

Dear Mr. Dhima:

Our office is in receipt of review comments dated May 23, 2024. Based on the comments, a response to each comment has been provided below.

- 1. Applicant Shall provide additional protective erosion control measures along the wetland area.

*A double row of silt fence is now shown along both wetlands.*

- 2. Applicant shall provide additional information about the well that is shown on the proposed parking area.

*Septic, gas, and water are now no longer proposed to connect to the garage. With the relocation of the garage, the well is no longer within or near proposed pavement.*

- 3. Applicant shall provide information about the septic system and back up regarding the proposed additional discharge.

*Septic, gas, and water are now no longer proposed to connect to the proposed garage. The original permit from 1984 is included in this response.*

Respectfully,

**Allison Lewis, EIT**  
Project Engineer  
Keach Nordstrom Associates, Inc.  
10 Commerce Park North, Suite 3  
Bedford, NH 03110

*Civil Engineering*

*Land Surveying*

*Landscape Architecture*

# APPROVAL FOR CONSTRUCTION

THE PLANS AND SPECIFICATIONS FOR SEWAGE OR WASTE DISPOSAL SYSTEM SUBMITTED FOR:

APPROVAL # 115814

N.H. WATER SUPPLY & POLLUTION CONTROL COMMISSION  
P.O. BOX 95 HAZEN DRIVE, CONCORD, NH 03301

Owner:

ABC Moving & Storage  
9 Hampshire Dr.  
Hudson, NH 03051

LOT NUMBERS: 29-2  
SUBD. APPVL.#:  
SUBD. NAME:

Copy of [redacted] Approval sent to:

Board of Selectmen  
Town Office  
Hudson, NH 03051

TYPE OF SYSTEM: 1100 GPD

TOWN/CITY LOCATION: Hudson, NH

STREET LOCATION: Rockes Rd.

By Applicant: PERMIT # 43

Maurice G. Paquette  
23 East Pearl St.  
Nashua, NH 03060

PLEASE POST IN A CONSPICUOUS PLACE DURING CONSTRUCTION.

THIS APPROVAL DOES NOT SUPERCEDE ANY EQUIVALENT OR MORE STRINGENT LOCAL ORDINANCES OR REGULATIONS. STATE STANDARDS ARE MINIMAL AND MUST BE MET STATEWIDE.

WHITE= Applicant's; YELLOW= Town's; BLUE= NHWS&PCC file; GOLD= Owner's - (No Action Required)

NOTE: ( XX ) Gravity system ( ) Gravity system to septic tank and effluent pump chamber with disposal system to be constructed on a properly prepared base.

Bed bottom to be set: ( ) no deeper than \_\_\_\_\_" below the original grade  
( XX ) no less than 6" above the original grade  
( ) no lower than the original grade

to maintain ( XX ) 4' minimum above (the reported) (~~any~~) seasonal high water table.  
( ) \_\_\_\_\_' minimum above (the reported) (any) ledge depth.  
( ) \_\_\_\_\_' minimum above (the reported) (any) impermeable soil.

( XX ) Fill to prepare disposal area should be a medium to coarse sand (0.5 to 1.0 mm).  
( ) This approval only valid for the above owner's domicile/exemption.

are approved this date: Oct. 11, 1984

By: *James Shepard*

James E. Shepard

vcg N.H. Water Supply & Pollution Control  
Commission Staff (OVER)

Revised 8/1/80



# TOWN OF HUDSON

## Conservation Commission



William Collins, Chairman      Dave Morin, Selectmen Liaison

12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-816-1291

**Date: August 12, 2024**

**Case:** Miara Transportation  
12 Bockes Road  
Hudson, New Hampshire  
Map 136, Lot 1 Zone R2

**Note: This CUP is an amendment to a previously approved Wetland Special Exception dated July 11, 2016.**

**Description of work to be performed:** The project proposes construction of a 13,600-sf Garage and Paved Access Lane with additional parking as shown on Non-Residential Site Layout Plan, Miara Transportation, Sheet 1 of 8, Revision Date 8-8-24. A small portion of construction activities is proposed within the westerly Wetland Buffer

Conservation Members Stepping Down: None  
Alternates Seated: Christopher Cameron for Carl Murphy  
Applicant Representative(s): Allison Lewis

**Motion to “Recommend”**

Mr. Walter moved to recommend a favorable acceptance by the Planning Board for the proposed Conditional Use Permit application for the purpose of constructing a 13,600-sf Garage and Paved Access Lane as presented by representatives of Miara Transportation. After review of the site plans and a site visit by the conservation commission members we find that the proposed project is in compliance with the Hudson Zoning Ordinance Article IX, §334-37 (2), (a)-(f) and minimally impacts as small portion of the westerly wetland buffer which will have no detrimental effect on nearby wetlands . Second: Mr. Pinsonneault, Motion Carried 4/0/1 with Mr. Cameron abstaining.

*William Collins*

William Collins  
HCC Chairman

**A copy of this recommendation should be stapled to the CUP application and forward it to the Town Planning Office for inclusion in the Planning Board Member Packets.**

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# Stormwater Management Report

---

## Miara Transportation

Tax Map 136; Lot 1  
12 Bockes Road  
Hudson, New Hampshire

November 15, 2016  
Amended: August 12, 2024

KNA Project No. 16-0223-1

Prepared For: Joseph A. Miara Jr., Trustee  
Granite Realty Trust  
12 Bockes Road  
Hudson, New Hampshire 03051

Prepared By: Keach-Nordstrom Associates, Inc.  
10 Commerce Park North, Suite 3  
Bedford, New Hampshire 03110  
(603) 627-2881  
(603) 627-2915 (fax)



**KNA**  
KEACH-NORDSTROM ASSOCIATES, INC.

---

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## **I. INTRODUCTION**

### **A. Project Description**

The subject property is located at 12 Bockes Road in Hudson, NH. The project proposes to expand the existing Miara Transportation facility in three phases, with the addition of a gravel trailer and specialty trailer storage area and a 2,430 square foot maintenance building. Phase I consists of reconstructing the existing paved access driveway (per the original site plan), expansion of the trailer and specialty trailer storage 'yard', fencing and landscape buffer, stormwater management provisions, relocating the existing onsite well, and other site appurtenances. Phase II consists of constructing the additional maintenance building, relocating the existing underground fuel tank and pump and constructing a new above ground storage tank, and paving a portion of the existing 'yard'. Phase III consists of constructing a 13,200-sf garage in the rear of the main building to allow for storage of fully loaded trailers during snow storms for safety. Phasing is proposed to allow the business to construct improvements as it grows.

The project received a Wetland Special Exception and Variance from the Zoning Board on September 29, 2016 to allow the wetland and wetland buffer impacts as shown on the plan and expand an existing non-conforming use.

### **B. Existing Site Conditions**

The subject property, referenced on Hudson's Tax Map 136 as Lot 1, is located entirely within the Residential 2 (R-2) Zoning District and abuts the General (G-1) Zoning District. The 9.216 acre parcel is partially developed with the existing Miara Transportation facility consisting of a 23,188 square foot office and warehouse building, 2,430 square foot maintenance building, parking landscaping, gravel 'yard' area, onsite fuel pump and underground storage tank, and onsite well and septic systems. The remaining land area consists mainly of woodlands and wetlands. A 100'x100' utility easement, with a 1,001 square foot building and paved access driveway, is located near the southeastern corner of the lot. There are a few existing catch basins onsite but no treatment, detention, or mitigation systems.

Two separate wetland complexes exist onsite in the undeveloped portions of the property to the west and south. In April of 2016, Michele F. Grenier (C.W.S. #102), visited the site and flagged the boundaries of the existing wetland complexes; a large wetland spanning the entire length of the property along the southern boundary and a smaller wetland finger that extends into the site from the westerly abutter. On July 1, 2016, Ms. Grenier returned to the site to perform a Wetland Function-Value assessment for the smaller of the two wetlands, which will be impacted by the proposed project. It was determined that the existing wetland complex is of low function and value with insignificant wildlife habitat. In January of 2022 Christopher K. Danforth (C.W.S. #077) visited the property to update existing wetland boundaries.

The parcel abuts the Rolling Woods open space subdivision, which directly abuts the property to the south and west, Bockes Road to the east, and existing residences to the north.

According to the National Resource Conservation Service (NRCS) Soil Survey, the predominant soil types onsite are Deerfield loamy fine sand with slopes ranging from 3-8%, Hinckley loamy sand with 8-15% slopes, Windsor loamy sand with 3-8% slopes, and Scituate stony fine sandy loam with slopes ranging from 3-8%. Deerfield, Hinckley, and

Windsor are classified as Hydrologic Soil Group (HSG) 'A' soils, and Scituate is classified as a HSG 'C' soil. A copy of the NRCS Soil Survey used for the watershed is attached.

## **II. STORM DRAINAGE ANALYSIS & DESIGN**

### **A. Methodology**

In accordance with the Town of Hudson Stormwater Regulations and generally accepted engineering practice, the 2-year, 10-year, and 25-year frequency storms have each been used in the various aspects of analysis and design of stormwater management considerations for the subject site.

KNA utilizes HydroCAD version 10.0 to analyze both pre and post-development watershed characteristics. This computer software system is based largely on hydrology techniques (TR-20) developed by the Soil Conservation Service (now the Natural Resources Conservation Service). In addition, the software derives Time of Concentration values using the methodology contained within USDA-S.C.S. publication Urban Hydrology for Small Watersheds Technical Release No. 55 (TR 55).

All design and analysis calculations performed using the referenced methodologies are attached to this report. The minimum time of concentrations used for the analysis is 6 minutes. These calculations document each catchment area, a breakdown of surface type, time of concentration, rainfall intensity, peak discharge volume, Manning's "n" value, peak velocity, and other descriptive design data for each watershed and pipe segment evaluated. In addition, the "Pre/Post Development Drainage Area Plans" graphically define and illustrate the extent of each watershed or catchment area investigated.

### **B. Pre-Development Drainage Conditions**

In the pre-development scenario, one (1) point of analysis (POA) has been identified as the appropriate point to compare pre vs. post development rates of stormwater discharge. This point of analysis reflects the main discharge point of the site, and was analyzed to show the impact from the proposed improvements.

The pre-development drainage model's POA is further described as follows:

- 1L Southerly Wetland Complex

In general, the site slopes from west to east toward a large wetland complex, spanning the length of the parcel, along the southern half of the property. Runoff from the developed and undeveloped portions of the property either flows overland or is collected in an existing closed system prior to entering the wetland complex. The existing site has a minimal stormwater system that currently provides no treatment or detention. The existing stormwater infrastructure is a simple conveyance system.

For a more visual description of the information presented in this section, please refer to the attached "Pre-Development Drainage Areas Plan" attached in the appendix of this report.

### **C. Post-Development Drainage Conditions:**

The same POA that was identified in the pre-development scenario has been analyzed in the post-development scenario.

The proposed stormwater management system utilizes both open and closed drainage systems that incorporate various best management practices for the collection, storage, and treatment of stormwater runoff. Runoff generated from the proposed 'yard' expansion and proposed garage and maintenance building will be collected and conveyed into a proposed pocket pond that is outfitted with a sediment forebay for pre-treatment and permanent pool for treatment. The pond will be lined with an impermeable liner to prevent any unintended infiltration and maintain a permanent pool. The pocket pond was designed to treat the ½-inch water quality volume and reduce peak rates of runoff discharging to the southerly wetland.

Additionally, a swale is proposed, around the expansion, to convey stormwater in a similar direction to the pre-development conditions and re-create the function of the westerly wetland finger as a conveyance channel. The existing catch basins will be outfitted with oil/water separators to trap hydrocarbons that might enter the stormwater system from the fuel pump. No infiltration practices are proposed because the site is considered a 'high-load' site due to the presence of an onsite fuel pump.

The peak stormwater runoff rate and total storm volume for the specific storm frequencies are presented and analyzed in the subsequent summary section of this report (Tables 1 and 2).

For a more visual description of the information presented in this section, please refer to the attached "Post-Development Drainage Areas Plan" attached in the appendix of this report.

**D. Summary:**

As reported below, there is a decrease in all storms in the peak rate. Additionally, the design provides treatment for the proposed expansion area and improves the stormwater quality of the existing site.

**Table 1: Peak Flow Discharge Rate**

Site Pre-Development vs. Post-Development (cfs)						
Description	2-Year		10-Year		25-Year	
24-hr Rainfall	2.96 in/hr		4.49 in/hr		5.69 in/hr	
	Pre	Post	Pre	Post	Pre	Post
1L	6.45	<b>5.93</b>	14.12	<b>12.75</b>	20.77	<b>19.53</b>

**III. EROSION & SEDIMENTATION CONTROL PROVISIONS**

**A. Temporary Erosion Control Measures**

As an integral part of the engineering design of this site, an erosion and sedimentation control plan has been developed with the intent of limiting the potential for soil loss and associated receiving water quality degradation, both during and after the construction period. As the project plans indicate, traditional temporary erosion and sedimentation control devices and practices, such as siltation fencing, block and gravel sediment filters, erosion control blankets, stone check dams, and seeding have been specified for use during the construction period. In preparation of these provisions, reference was made to the New Hampshire Stormwater Manual; Volume 3: Erosion and Sediment Temporary Controls During Construction. Construction details for each temporary erosion control

## Attachment "F"

measure and practice specified have been added to the project plans. These plans also contain a number of erosion control notes, which are offered to the selected contractor in order to supplement the specified measures and practices to the extent practical.

### **B. Construction Sequence**

A site specific construction sequence sensitive to limiting soil loss due to erosion and associated water quality degradation was prepared specifically for this project and is shown on the project plans. As pointed out in the erosion control notes, it is important for the contractor to recognize that proper judgment in the implementation of work will be essential if erosion is to be limited and protection of completed work is to be realized. Moreover, any specific changes in sequence and/or field conditions affecting the ability of specific erosion control measures to adequately serve their intended purpose should be reported to this office by the contractor. Further, the contractor is encouraged to supplement specified erosion control measures during the construction period where and when in his/ her best judgment additional protection is warranted.

### **C. Permanent Erosion Control Measures**

In the original design of this site, consideration was given to limiting the potential for long-term erosion of completed improvements. As a result, several permanent erosion control measures were incorporated into the site design. These provisions include:

- 1) Specification of a turf establishment schedule and seed mixture, utilizing materials and workmanship recognized as appropriate for the site conditions at hand;
- 2) Utilizing best-management practices for pre-treatment and treatment of stormwater, including permanent stone check dams, a sediment forebay, and a permanent pool.



# TOWN OF HUDSON

## Planning Department



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

### CAP FEE WORKSHEET - 2024

Date: 06-20-24 Zone # 1 Map/Lot: 136-001-000

12 Bockes Road

Project Name: Miara Transportation Garage Addition

Proposed ITE Use #1: Light Industrial

Proposed Building Area (square footage): 9,600 S.F.

#### CAP FEES: (DUE AT TIME OF CERTIFICATE OF OCCUPANCY)

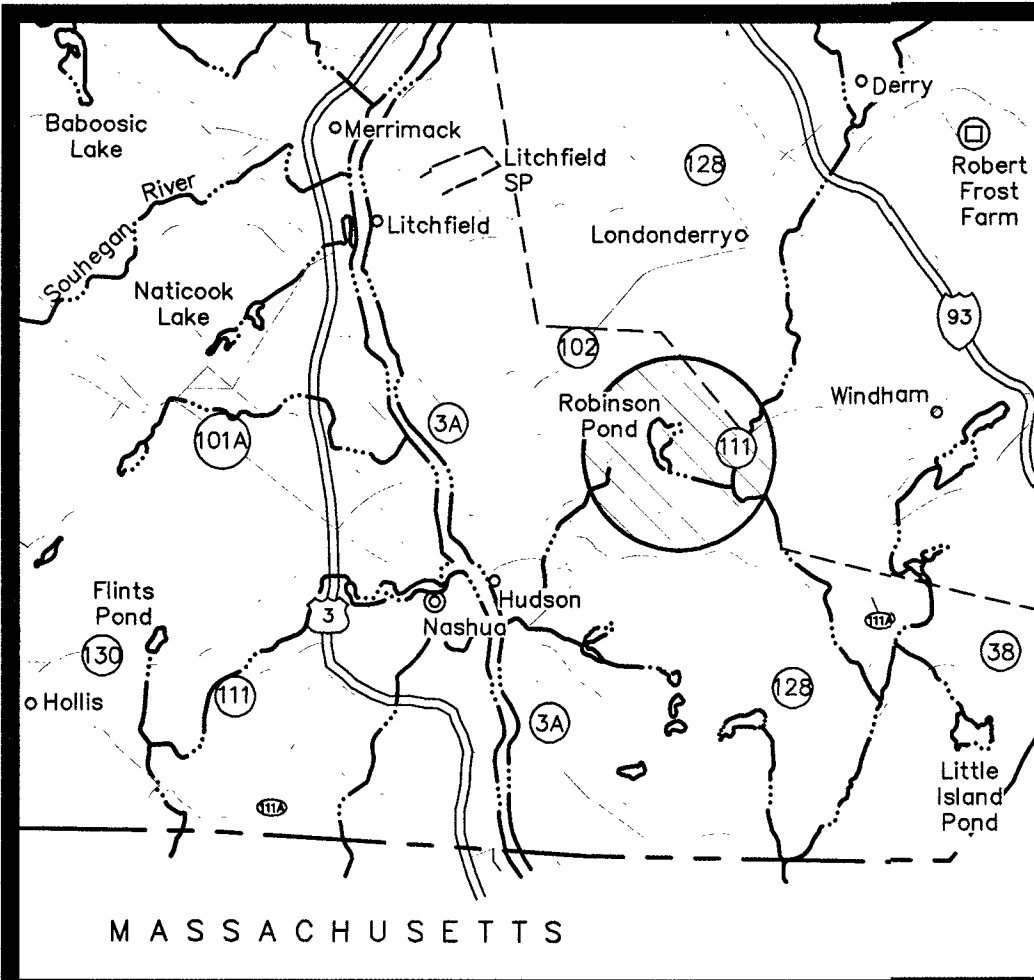
1.	(Bank 09) 2070-701	(\$1.61 x 9,600) Traffic Improve (Zone 1)	<u>\$ 15,456.00</u>
		<b>Total CAP Fee</b>	<u>\$ 15,456.00</u>

Check should be made payable to the Town of Hudson.

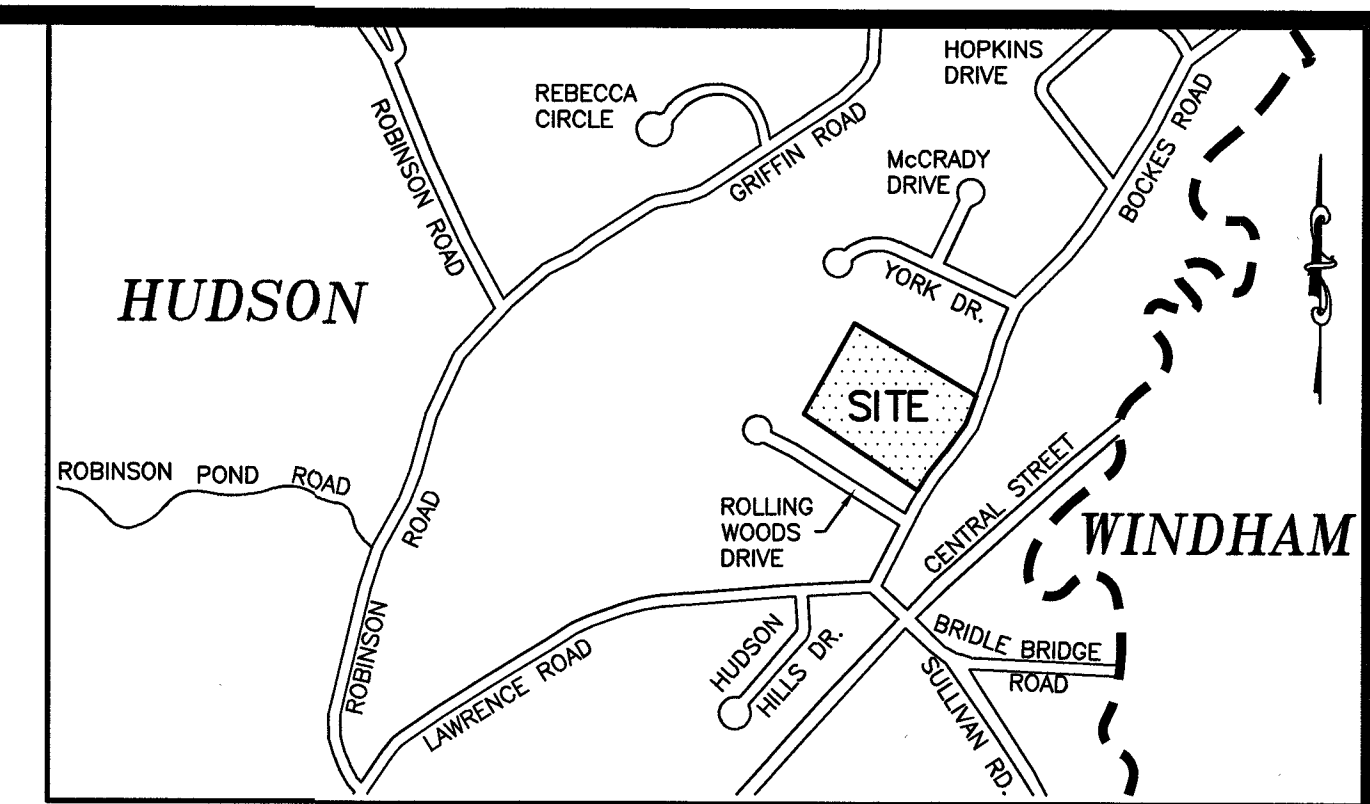
Thank you,

*Brooke Dubowik*

Planning Administrative Aide II



VICINITY PLAN  
NOT TO SCALE



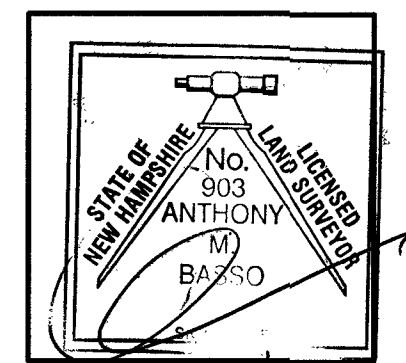
LOCUS PLAN  
SCALE: 1"=1,000'

# NON-RESIDENTIAL SITE PLAN MIARA TRANSPORTATION

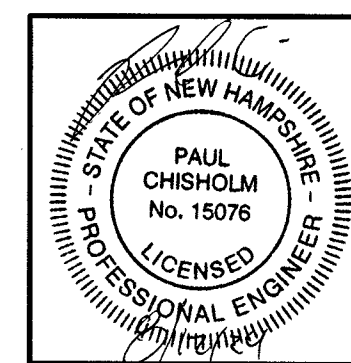
## MAP 136 LOT 1 12 BOCKES ROAD HUDSON, NEW HAMPSHIRE

**OWNER/APPLICANT:**  
**JOSEPH A. MIARA JR., TRUSTEE**  
**GRANITE REALTY TRUST**  
**12 BOCKES ROAD**  
**HUDSON, NEW HAMPSHIRE 03051**

**PREPARED BY:**  
**KEACH-NORDSTROM ASSOCIATES, INC.**  
**10 COMMERCE PARK NORTH, SUITE 3**  
**BEDFORD, NEW HAMPSHIRE 03110**  
**(603) 627-2881**



8/12/24



**KMA** KEACH-NORDSTROM ASSOCIATES, INC.  
 Civil Engineering Land Surveying Landscape Architecture  
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

MAY 20, 2024

LAST REVISED: AUGUST 8, 2024

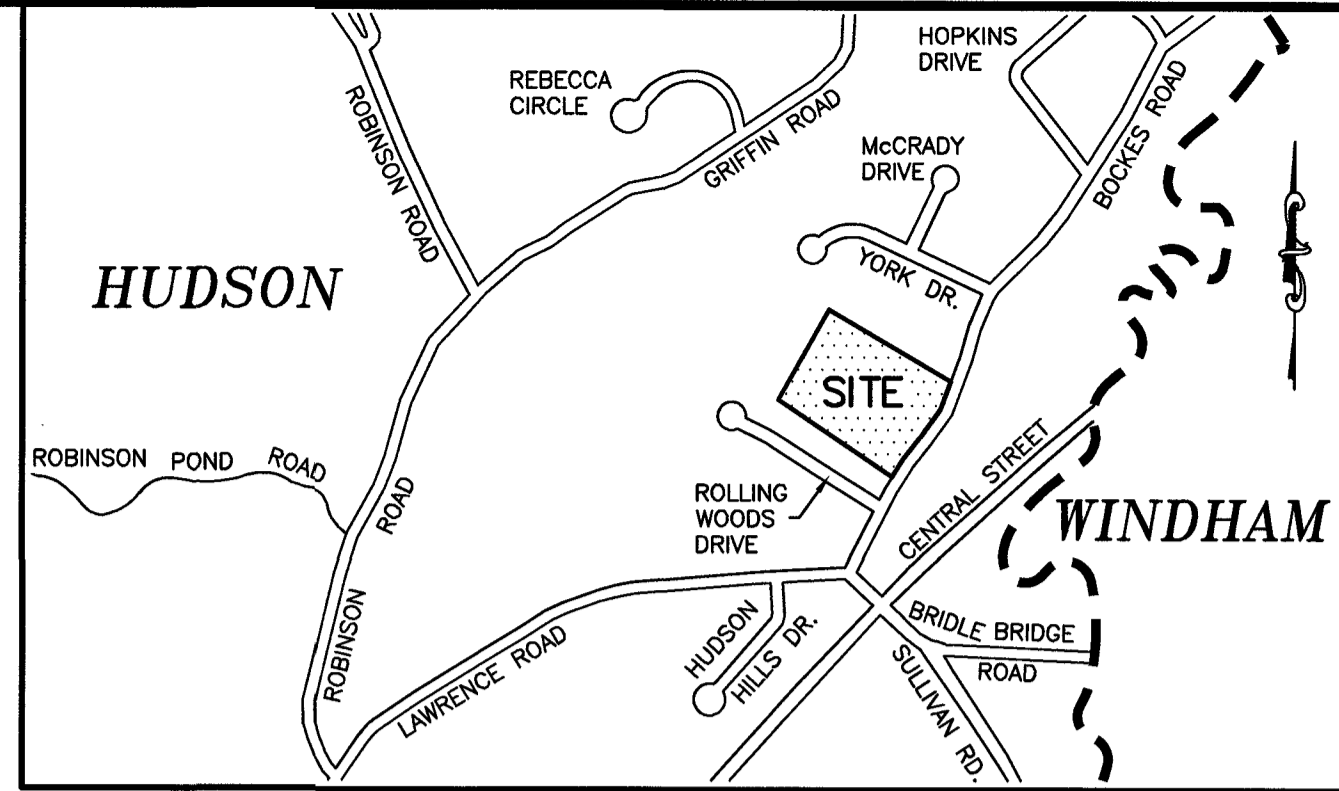
PROJECT NO. 16-0223-1

**SHEET TITLE**

- OVERVIEW PLAN
- EXISTING CONDITIONS PLAN
- REMOVALS/DEMOLITION PLAN
- NON-RESIDENTIAL SITE LAYOUT PLAN
- GRADING, DRAINAGE & UTILITY
- LANDSCAPE PLAN
- CONSTRUCTION DETAILS

**SHEET No.**

- 1
- 2
- 3
- 4
- 5
- 6
- 7-8



**LOCUS PLAN**  
SCALE: 1"=1,000'

- NOTES (CONTINUED):**
- NO NEW SITE LIGHTING IS PROPOSED.
  - EXTERIOR CONSTRUCTION ACTIVITIES ON THE SITE SHALL BE LIMITED TO BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH SATURDAY. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS.
  - HOURS FOR REFUSE REMOVAL AND DELIVERIES OF SUPPLIES SHALL BE NO EARLIER THAN 7:00 AM AND NO LATER THAN 7:00 PM, MONDAY THROUGH FRIDAY ONLY.
  - HOURS OF OPERATION: 7:00 AM TO 6:00 PM, MONDAY THROUGH SATURDAY.
  - WAIVERS GRANTED ON JANUARY 11, 2017:  
HTC 276.11(B)(12)(c) - 100' BUFFER
  - PERMITS REQUIRED:  
PERMIT NUMBER: 2016-02751  
NHDDES WETLANDS APPROVED
  - FLOWED SNOW FROM THE FACILITIES DRIVEWAY, PARKING LOTS AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
  - ONSITE DRAINAGE SYSTEM SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH NHDDES REQUIREMENTS FOR SUCH SYSTEMS.
  - ALL EXISTING AND PROPOSED BUILDING HEIGHTS ARE UNDER 38'.
  - ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON ZONING ADMINISTRATOR PRIOR TO THE INSTALLATION THEREOF.

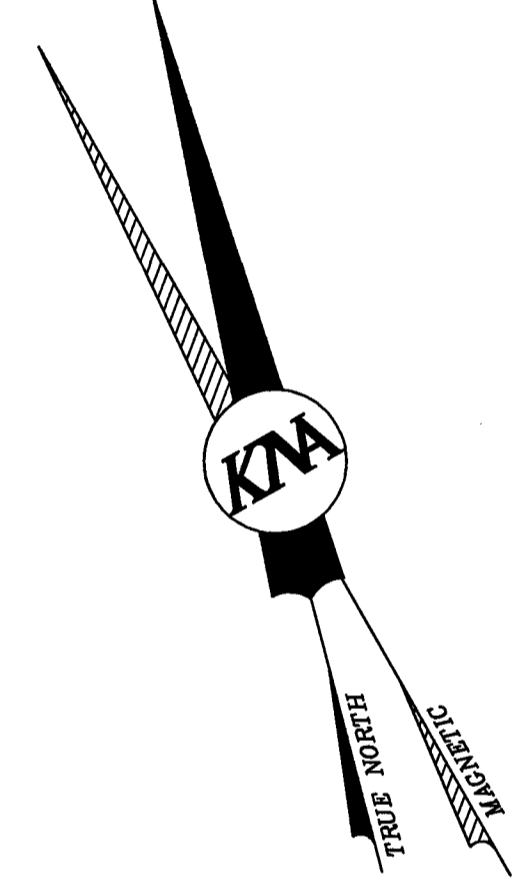
**REFERENCE PLANS:**

- "SUBDIVISION PLAN OF LAND, PREPARED FOR, BERTHA A. MOONEY, HUDSON, NH." SCALE: 1"=50'. DATED: MAY 29, 1984, PREPARED BY RONALD R. BURD, INC. H.C.R.D. PLAN NO. 19106.
- "BOUNDARY PLAN OF MAP 36 LOT 27 & 28, LOCATED ON: BOCKES ROAD, HUDSON, N.H.," SCALE: 1"=100', DATED: NOV. 16, 1987, PREPARED BY GEORGE F. KELLER INC. H.C.R.D. PLAN NO. 21586.
- "AS-BUILT SITE PLAN: TAX MAP 36 LOT 29-2, ABC MOVING AND STORAGE CO., c/o FRANK FISHER, BOCKES ROAD, HUDSON, N.H.," SCALE: 1"=50', DATED: JANUARY 15, 1990, WITH REVISIONS THROUGH 11/12/90, PREPARED BY GEORGE F. KELLER INC.
- "MASTER PLAN, MIARA TRANSPORTATION," SCALE: 1"=50', DATED: OCTOBER 3, 2016, LAST REVISED: JANUARY 18, 2017, PREPARED BY KEACH-NORDSTROM ASSOCIATES INC. H.C.R.D. PLAN NO. 39181

**NOTES:**

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED 9,600 SF GARAGE AND ATTACHED COVERED AREAS ON TAX MAP 136 LOT 1 PREVIOUSLY APPROVED FOR A TWO PHASE PROJECT AS DETAILED IN REFERENCE PLAN #1, AND THIS GARAGE WILL BE CONSTRUCTED DURING THAT CONSTRUCTION PROCESS.
- TOTAL LOT AREA = 401,449 SF, OR 9.216 ACRES.
- MAP 136 LOT 1 INDICATES TOWN OF HUDSON TAX ASSESSOR'S MAP AND LOT NUMBERS.
- OWNER OF RECORD:  
JOSEPH A. MIARA JR., TRUSTEE  
GRANITE REALTY TRUST  
12 BOCKES ROAD  
HUDSON, NH 03051  
H.C.R.D. BK. 8410 PG. 2473
- THE SUBJECT PARCEL IS LOCATED WITHIN THE RESIDENTIAL 2 DISTRICT (R-2). DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS FOR LOTS NOT SERVICED WITH MUNICIPAL SEWER AND WATER:  

MINIMUM LOT AREA	REQUIRED: 60,000 SF	EXISTING: 401,449 SF	PROPOSED: 401,449 SF
MINIMUM LOT FRONTAGE	REQUIRED: 120 FT	EXISTING: 569.85 FT	PROPOSED: 569.85 FT
MINIMUM BUILDING SETBACKS:			
-FRONT	50 FT	27.6 FT	27.6 FT
-SIDE	15 FT	20.8 FT	20.8 FT
-REAR	15 FT	427.7 FT	101.3 FT
- TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON REFERENCE PLAN #1 AND AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE DURING MARCH OF 2016 AND JUNE OF 2022.
- HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NGVD 29.
- WETLAND MAPPING WAS PERFORMED BY CHRISTOPHER K. DANFORTH, CERTIFIED WETLAND SCIENTIST #077, IN JANUARY OF 2022.
- SITE IS SERVICED BY PRIVATE ON-SITE WELL AND SEPTIC SYSTEM.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN. UTILITIES SHOWN HEREON ARE ONLY THOSE FOUND WITHIN THE AREA OF KNA FIELD SURVEY AND ARE SOLELY BASED UPON VISIBLE SURFACE EVIDENCE. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 811.
- EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON MAP NUMBER 3300920536D, PANEL 536 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2009 INDICATES THAT NO PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
- A WETLAND SPECIAL EXCEPTION FROM ARTICLE IX, SECTION 334-35, TO ALLOW THE PROPOSED STORAGE EXPANSION AREA OF APPROXIMATELY 55,000 SF TO IMPACT A WETLAND AND BUFFER AREA WAS APPROVED BY THE HUDSON ZONING BOARD ON SEPTEMBER 26, 2016.
- A VARIANCE TO ALLOW EXPANSION OF THE EXISTING NON-CONFORMING USE TO EXPAND THE PARKING AREA, LOADING AREA, AND CONSTRUCTION OF A 2,430 SF MAINTENANCE BUILDING WAS APPROVED BY THE HUDSON ZONING BOARD ON SEPTEMBER 29TH, 2016 (CASE #136-001).
- A VARIANCE TO ALLOW THE EXPANSION OF THE EXISTING NON-CONFORMING USE TO CONSTRUCT AN 80 FT. BY 79 FT 'HOOP' STRUCTURE WAS APPROVED BY THE HUDSON ZONING BOARD ON MARCH 24, 2022.
- A VARIANCE TO ALLOW THE EXPANSION OF THE EXISTING NON-CONFORMING USE TO CONSTRUCT A 9,600 SF GARAGE WITH ATTACHED 3,600 COVERED AREA WAS APPROVED BY THE HUDSON ZONING BOARD ON APRIL 27, 2023.
- OPEN SPACE REQUIRED = 35%  
OPEN SPACE PROPOSED = 58.1%
- PARKING CALCULATIONS:  
PARKING REQUIRED = 2 SPACES/AUTOMOTIVE BAY x 6 BAYS = 12 SPACES  
= 1 SPACE/200 SF OFFICE + 6,500 SF = 21.7 SPACES  
TOTAL PARKING PROVIDED = 33.7 = 34 SPACES  
TOTAL SPACES PROVIDED & EXISTING (INCLUDES 2 HANDICAP SPACES) = 36 SPACES
- LOADING:  
1 SPACE/FIRST 5,000 SF + (1 SPACE/10,000 SF x 23,049 SF) = 1 + 2.3 = 3.3 SPACES  
TOTAL SPACES PROVIDED: 4+ SPACES



**OVERVIEW PLAN**  
**MIARA TRANSPORTATION**  
MAP 136 LOT 1  
12 BOCKES ROAD  
HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

<b>OWNER OF RECORD:</b> JOSEPH A. MIARA JR., TRUSTEE GRANITE REALTY TRUST 12 BOCKES ROAD HUDSON, NH 03051 H.C.R.D. BK. 8410 PG. 2473	<b>APPLICANT:</b> JOSEPH A. MIARA JR., TRUSTEE GRANITE REALTY TRUST 12 BOCKES ROAD HUDSON, NH 03051
---	---

**OWNER OF MAP 136 LOT 1**

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**KNA KEACH-NORDSTROM ASSOCIATES, INC.**  
Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

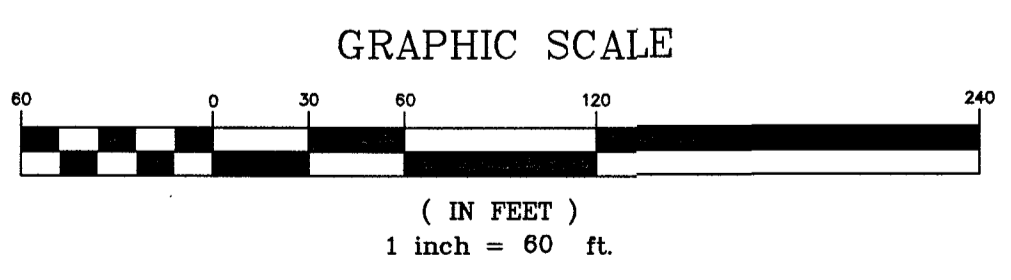
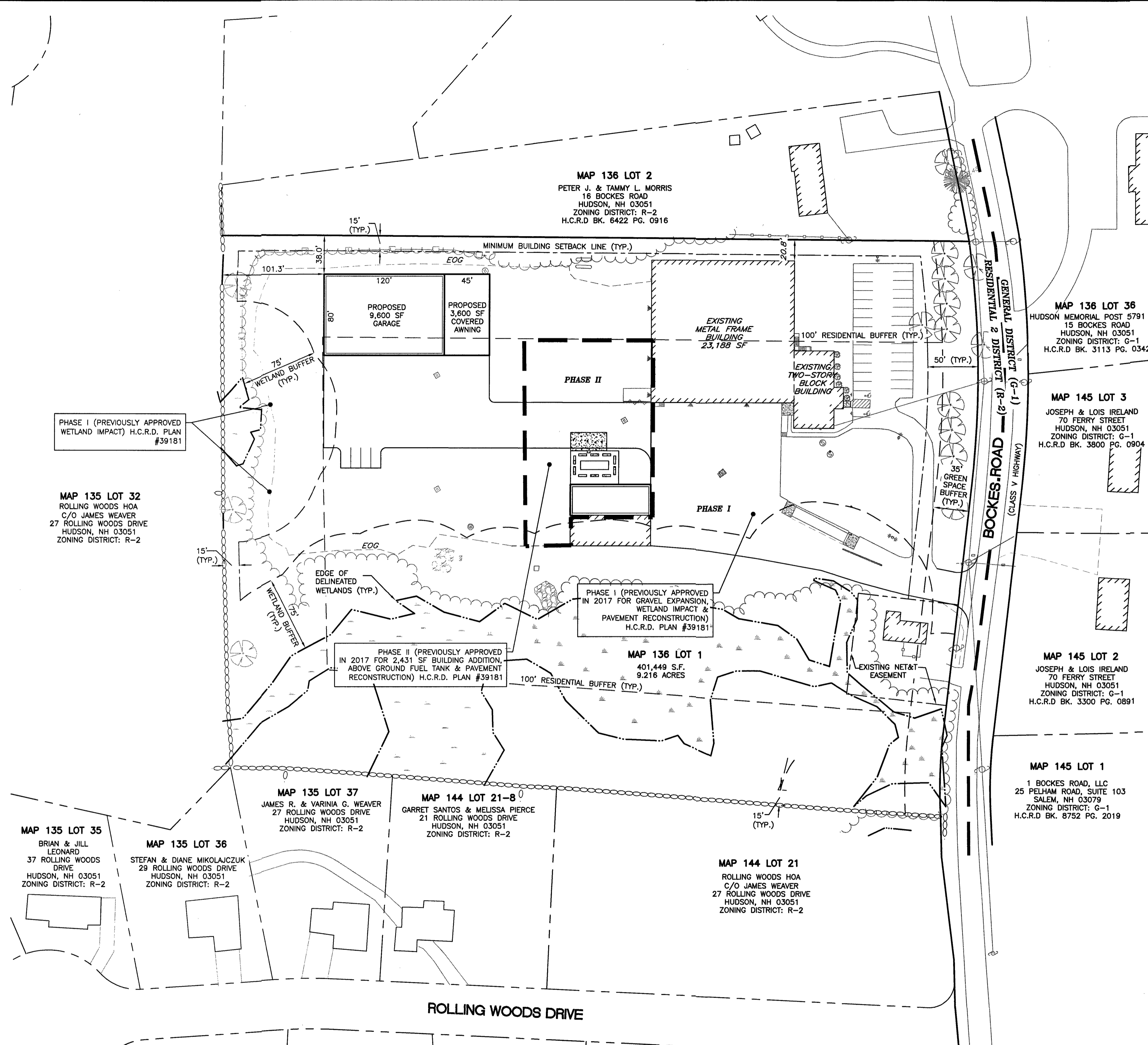
REVISIONS			
No.	DATE	DESCRIPTION	BY
1	6-17-24	REV. PER CON. COM. COMMENTS	ACL
2	7-08-24	REV. PER CON. COM. COMMENTS	ACL
3	8-08-24	BUILDING RELOCATION	ACL

DATE: MAY 20, 2024  
PROJECT NO: 16-0223-1  
SCALE: 1" = 60'  
SHEET 1 OF 8

**CERTIFICATION:**

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE DURING MARCH OF 2016 AND UPDATED IN 2024. SAID SURVEY HAS A RELATIVE ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) OR BETTER.

LICENSED LAND SURVEYOR



PURSUANT TO THE REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
DATE OF MEETING: \_\_\_\_\_

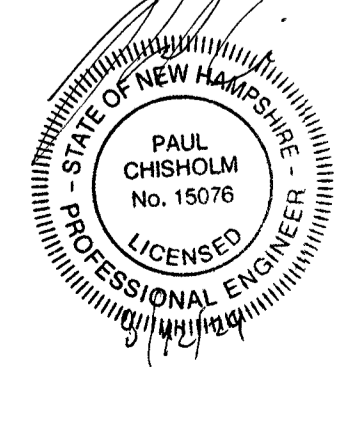
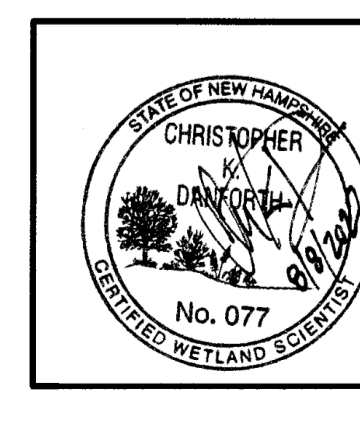
\_\_\_\_\_  
SIGNATURE DATE: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

**WETLAND CERTIFICATION**

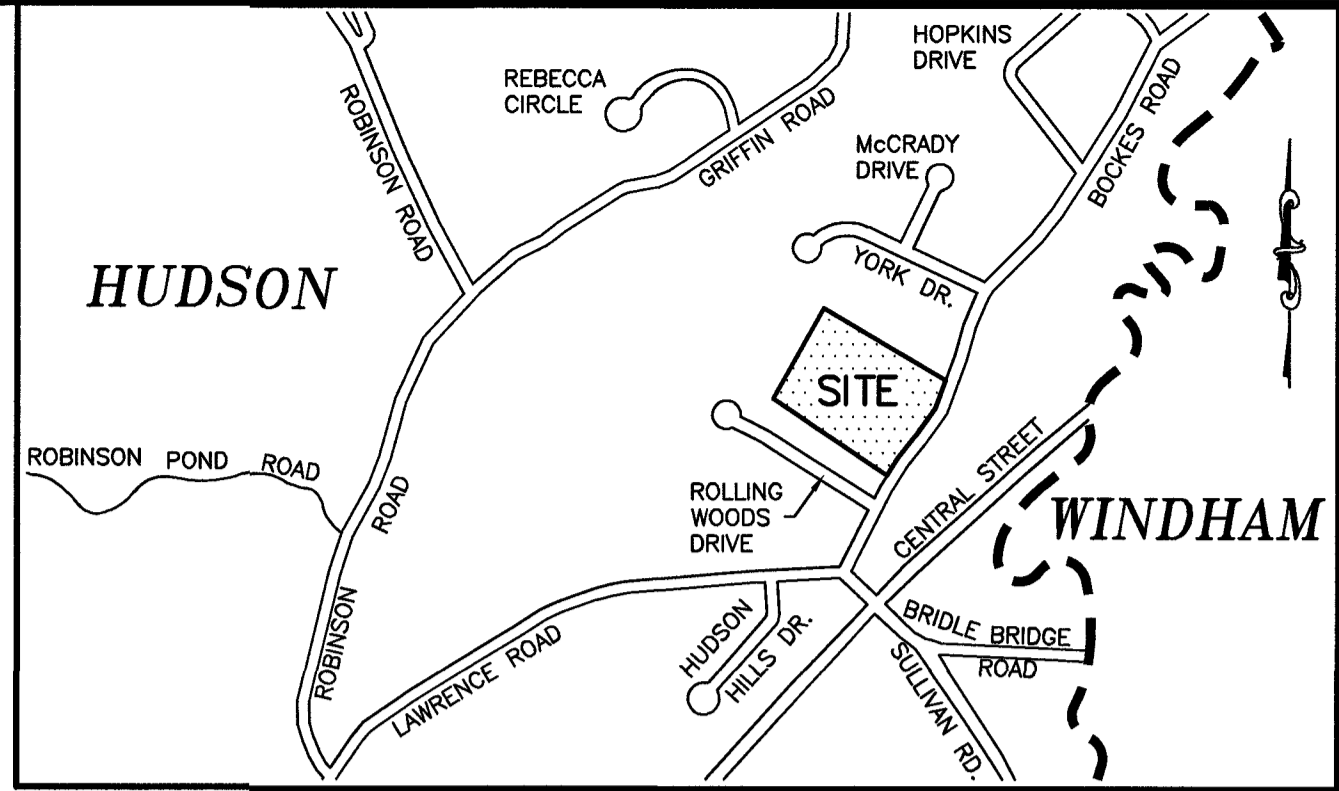
JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED IN JANUARY OF 2022 BY CHRISTOPHER K. DANFORTH CWS #077. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING "FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES" A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, NRCS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USACE 2020 NATIONAL WETLAND PLANT LIST, NWPL 2020 VERSION 3.5 HTTP://WETLAND-PLANTS.USACE.ARMY.MIL.



- LEGEND**
- IPIN-F IRON PIN FOUND
  - DH-F DRILL HOLE FOUND
  - UTILITY POLE
  - SIGN
  - LIGHT
  - WELL
  - SEWER MANHOLE
  - DRAINAGE MANHOLE
  - CATCH BASIN
  - OHU OVERHEAD UTILITIES
  - W WATER LINE
  - S SEPTIC LINE
  - G GAS LINE
  - D DRAINAGE LINE
  - T TREELINE
  - RETAINING WALL
  - ABUTTER LINE
  - PROPERTY LINE
  - WETLAND
  - STOCKADE FENCE
  - EDGE OF PAVEMENT
  - EDGE OF GRAVEL
  - 10' CONTOUR
  - 2' CONTOUR
  - STONEWALL
  - SCS SOIL LINE
  - BUILDING SETBACK
  - GREEN SPACE BUFFER
  - EASEMENT
  - ZONE LINE

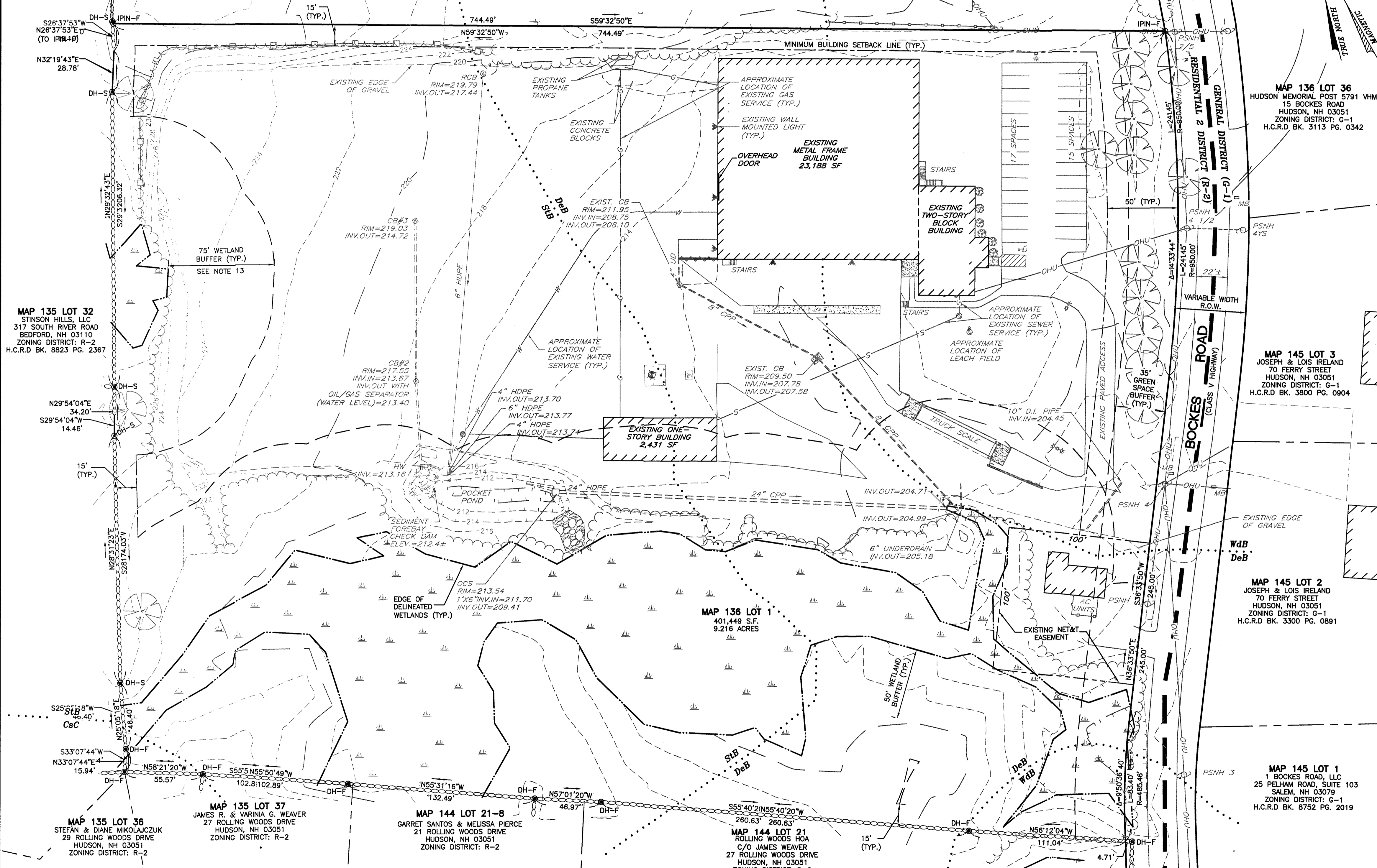


**MAP 136 LOT 2**  
 PETER J. & TAMMY L. MORRIS  
 16 BOCKES ROAD  
 HUDSON, NH 03051  
 ZONING DISTRICT: R-2  
 H.C.R.D. BK. 6422 PG. 0916

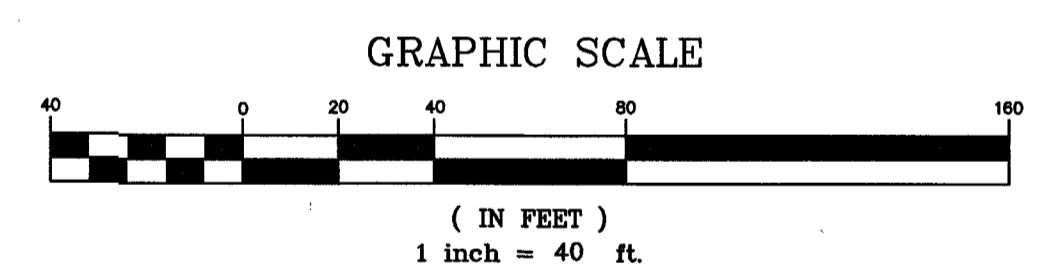


**LOCUS PLAN**  
 SCALE: 1"=1,000'

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS PRESENT ON TAX MAP 136 LOT 1 AS OF THE DATE OF FIELD SURVEY AND THE REMOVALS REQUIRED FOR PROPOSED SITE PLAN IMPROVEMENTS.
  - TOTAL LOT AREA = 401,449 SF, OR 9.216 ACRES.
  - MAP 136 LOT 1 INDICATES TOWN OF HUDSON TAX ASSESSOR'S MAP AND LOT NUMBERS.
  - OWNER OF RECORD:  
 JOSEPH A. MIARA JR., TRUSTEE  
 GRANITE REALTY TRUST  
 12 BOCKES ROAD  
 HUDSON, NH 03051  
 H.C.R.D. BK. 8410 PG. 2473
  - THE SUBJECT PARCEL IS LOCATED WITHIN THE RESIDENTIAL 2 DISTRICT (R-2). DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS FOR LOTS NOT SERVICED WITH MUNICIPAL SEWER AND WATER:  
 - MINIMUM LOT AREA 60,000 SF  
 - MINIMUM LOT FRONTAGE 120 FT  
 - MINIMUM BUILDING SETBACKS:  
   - FRONT 50  
   - SIDE 15  
   - REAR 15
  - TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON REFERENCE PLAN #1 AND AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE DURING MARCH OF 2016.
  - HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NGVD 29.
  - WETLAND MAPPING WAS PERFORMED BY MICHELE F. GRENIER, CERTIFIED WETLAND SCIENTIST #102, IN APRIL OF 2016.
  - SITE IS SERVICED BY PRIVATE ON-SITE WELL AND SEPTIC SYSTEM.
  - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN. UTILITIES SHOWN HEREON ARE ONLY THOSE FOUND WITHIN THE AREA OF KNA FIELD SURVEY AND ARE SOLELY BASED UPON VISIBLE SURFACE EVIDENCE. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 811.
  - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON MAP NUMBER 3300920536D, PANEL 536 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2009 INDICATES THAT NO PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
  - EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS, AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.
  - IN 2016 THE TOWN OF HUDSON ZONING BOARD OF ADJUSTMENT GRANTED A WETLAND SPECIAL EXCEPTION TO ALLOW 5,550 SF OF WETLAND IMPACT AND 31,700 SF OF WETLAND BUFFER IMPACT. THE WESTERLY WETLAND SHOWN ON THIS PLAN IS THE REMAINING WETLAND AFTER THE APPROVED 2016 IMPACTS.



- SCS SOILS LEGEND**
- CsC** CHATFIELD-HOLLIS COMPLEX, 8-15% SLOPES
  - DeB** DEERFIELD LOAMY FINE SAND, 3-8% SLOPES
  - HsC** HINKLEY LOAMY SAND, 8-15% SLOPES
  - StB** SITUATE STONY FINE SANDY LOAM, 3-8% SLOPES
  - WdB** WINDSOR LOAMY SAND, 3-8% SLOPES
- SOURCE: USDA-SCS WEB SOIL SURVEY



**MAP 135 LOT 32**  
 STINSON HILLS, LLC  
 317 SOUTH RIVER ROAD  
 BEDFORD, NH 03110  
 ZONING DISTRICT: R-2  
 H.C.R.D. BK. 8823 PG. 2367

**MAP 145 LOT 3**  
 JOSEPH & LOIS IRELAND  
 70 FERRY STREET  
 HUDSON, NH 03051  
 ZONING DISTRICT: G-1  
 H.C.R.D. BK. 3800 PG. 0904

**MAP 145 LOT 2**  
 JOSEPH & LOIS IRELAND  
 70 FERRY STREET  
 HUDSON, NH 03051  
 ZONING DISTRICT: G-1  
 H.C.R.D. BK. 3300 PG. 0891

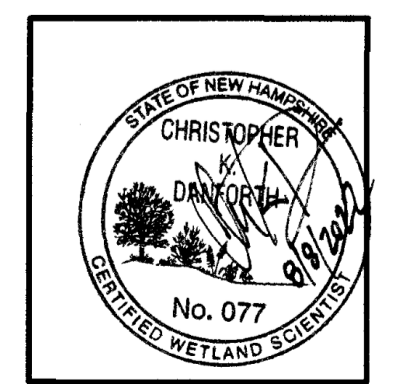
**MAP 135 LOT 36**  
 STEFAN & DIANE MIKOLAJCZUK  
 29 ROLLING WOODS DRIVE  
 HUDSON, NH 03051  
 ZONING DISTRICT: R-2

**MAP 135 LOT 37**  
 JAMES R. & VARINIA G. WEAVER  
 27 ROLLING WOODS DRIVE  
 HUDSON, NH 03051  
 ZONING DISTRICT: R-2

**MAP 144 LOT 21-8**  
 GARRET SANTOS & MELISSA PIERCE  
 21 ROLLING WOODS DRIVE  
 HUDSON, NH 03051  
 ZONING DISTRICT: R-2

**MAP 144 LOT 21**  
 ROLLING WOODS HOA  
 C/O JAMES WEAVER  
 27 ROLLING WOODS DRIVE  
 HUDSON, NH 03051  
 ZONING DISTRICT: R-2

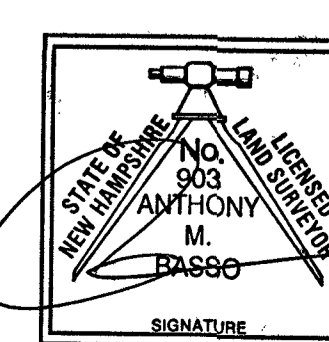
**WETLAND CERTIFICATION**  
 JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED IN JANUARY OF 2022 BY CHRISTOPHER K. DANFORTH CWS #077. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING "FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES" A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, NRCS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USACE 2020 NATIONAL WETLAND PLANT LIST, NWPL 2020 VERSION 3.5 HTTP://WETLAND-PLANTS.USACE.ARMY.MIL.



**CERTIFICATION:**  
 I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION, FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE DURING MARCH OF 2016. SAID SURVEY HAS A RELATIVE ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) OR BETTER.

ANTHONY M. PASCO  
 LICENSED LAND SURVEYOR

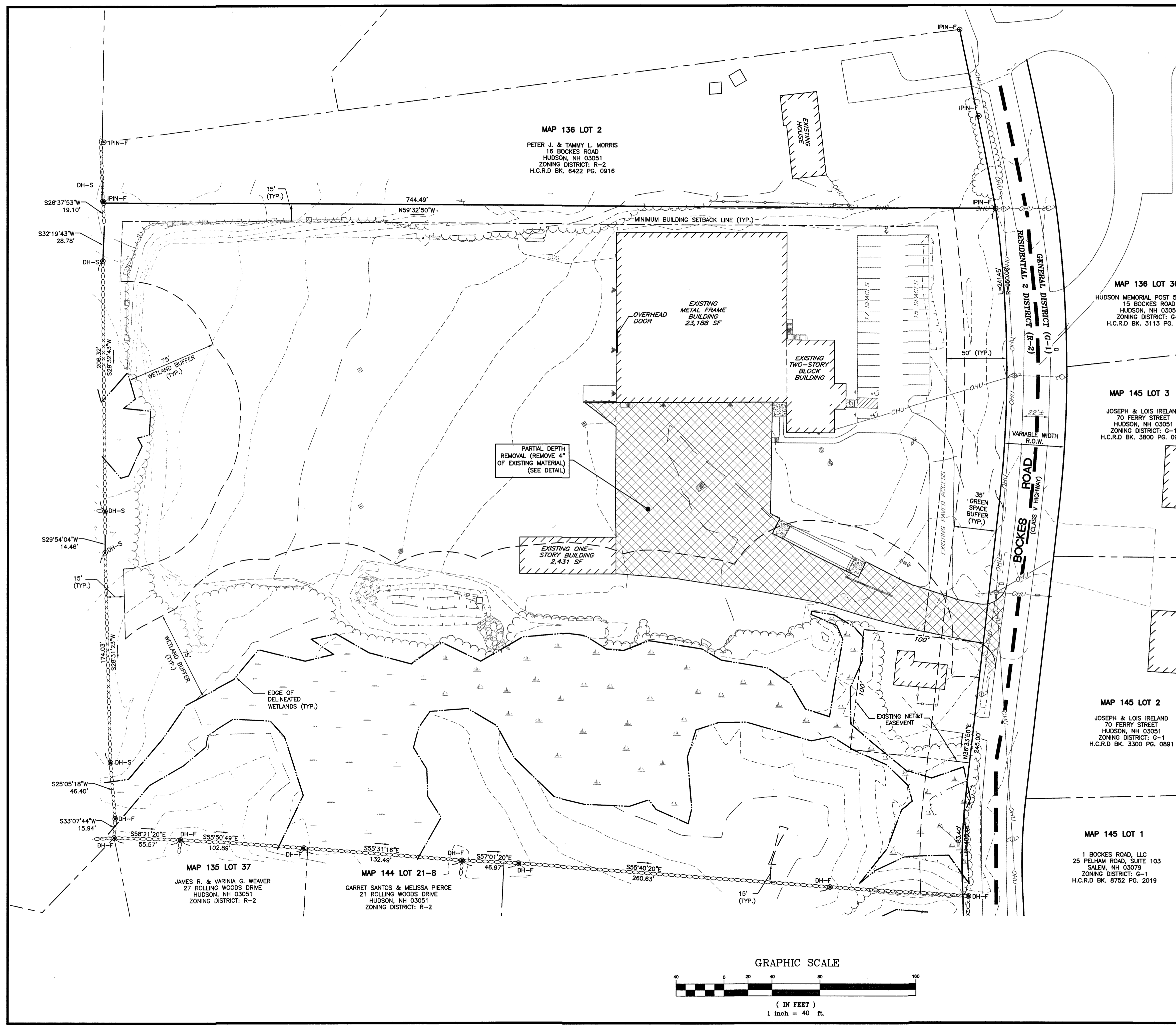
8/12/24  
 DATE



REVISIONS			
No.	DATE	DESCRIPTION	BY
1	6-17-24	REV. PER CON. COM. COMMENTS	ACL
2	7-08-24	REV. PER CON. COM. COMMENTS	ACL
3	8-08-24	BUILDING RELOCATION	ACL

DATE: MAY 20, 2024  
 PROJECT NO: 16-0223-1  
 SCALE: 1" = 40'  
 SHEET 2 OF 8





- REMOVALS/DEMOLITION NOTES:**
- ALL STUMPS, ROOTS, BRANCHES, BRUSH, WOODS AND OTHER PERISHABLE MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATIONS SHALL BE DISPOSED OF BY AN APPROVED METHOD.
  - ITEMS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE TOWN OF HUDSON REQUIREMENTS, UNLESS OTHERWISE SHOWN HEREON OR DIRECTED BY OWNER.
  - ALL EXISTING PAVEMENT AND GRAVEL WITHIN THE CROSS HATCHED AREA IS TO BE REMOVED DURING THE DEMOLITION PHASE OF THE PROJECT. EXCESS MATERIAL FROM THESE AREAS SHALL BE APPROPRIATELY DISPOSED OF OFFSITE BY AN APPROVED METHOD.
  - THE CONTRACTOR SHALL CONTROL ALL DUST GENERATED DURING THE REMOVAL PHASE AND CONSTRUCTION PHASE SO THAT NO DUST LEAVES THE SITE.
  - ANY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE RESET BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR AT THE SITE CONTRACTORS EXPENSE.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
  - DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
  - WELLS SHALL BE DECOMMISSIONED BY A LICENSED WATER WELL CONTRACTOR IN ACCORDANCE WITH W-604 OR ANY OTHER LOCAL, STATE OR FEDERAL REGULATIONS.
  - THE UNDERGROUND STORAGE TANK SHALL BE REMOVED IN ACCORDANCE WITH ENV-0400 OR ANY OTHER LOCAL, STATE OR FEDERAL REGULATIONS.



**LEGEND**

● IPIN-F	IRON PIN FOUND	---	ABUTTER LINE
⊙ DH-F	DRILL HOLE FOUND	---	PROPERTY LINE
⊙	UTILITY POLE	---	WETLAND
+	SIGN	---	STOCKADE FENCE
⊙	LIGHT	---	EDGE OF PAVEMENT
⊙	WELL	---	EDGE OF GRAVEL
⊙	SEWER MANHOLE	---	STONEMALL
⊙	DRAINAGE MANHOLE	---	BUILDING SETBACK
⊙	CATCH BASIN	---	GREEN SPACE BUFFER
OHU	OVERHEAD UTILITIES	---	EASEMENT
W	WATER LINE	---	
S	SEPTIC LINE	---	
G	GAS LINE	---	
---	DRAINAGE LINE	---	
---	TREELINE	---	
---	RETAINING WALL	---	

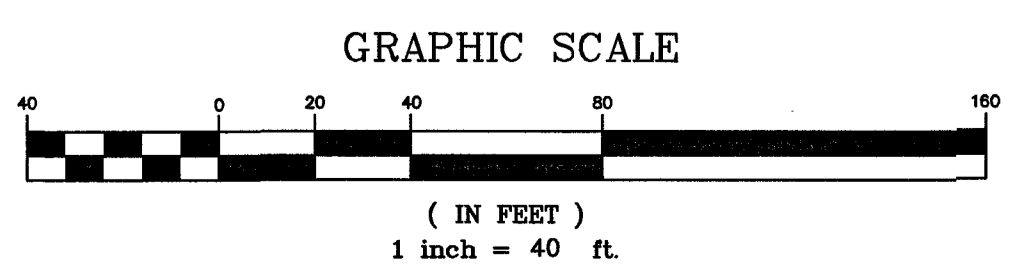
**REMOVALS/DEMOLITION PLAN**  
**MIARA TRANSPORTATION**  
 MAP 136 LOT 1  
 12 BOCKES ROAD  
 HUDSON, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

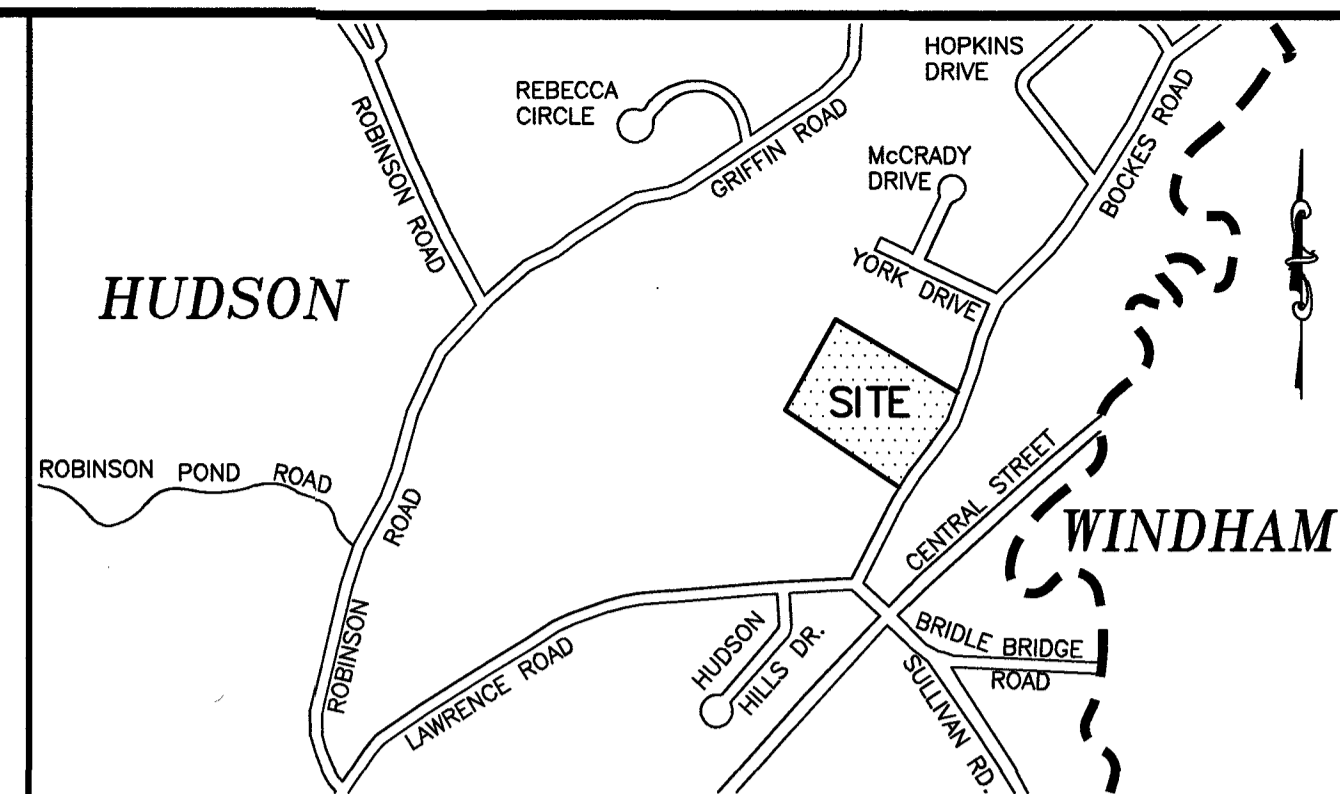
<b>OWNER OF RECORD:</b> JOSEPH A. MIARA JR., TRUSTEE GRANITE REALTY TRUST 12 BOCKES ROAD HUDSON, NH 03051 H.C.R.D. BK. 8410 PG. 2473	<b>APPLICANT:</b> JOSEPH A. MIARA JR., TRUSTEE GRANITE REALTY TRUST 12 BOCKES ROAD HUDSON, NH 03051
---	---

**KNA**  
**KEACH-NORDSTROM ASSOCIATES, INC.**  
 Civil Engineering Land Surveying Landscape Architecture  
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

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DATE: MAY 20, 2024      SCALE: 1" = 40'  
 PROJECT NO: 16-0223-1      SHEET 3 OF 8



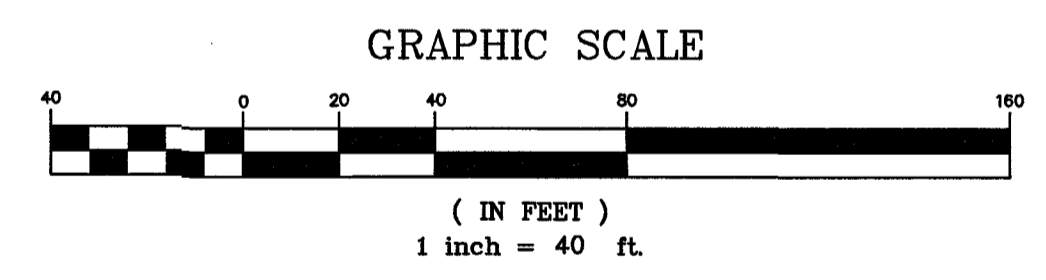


**LOCUS PLAN**  
SCALE: 1"=1,000'

SEE SHEET 1 FOR NOTES & REFERENCE PLANS

**LEGEND**

- IPIN-F IRON PIN FOUND
- ⊙ DH-F DRILL HOLE FOUND
- UTILITY POLE FOUND
- ⊕ SIGN
- ⊙ LIGHT
- ⊙ WELL
- ⊙ SEWER MANHOLE
- ⊙ DRAINAGE MANHOLE
- ⊙ CATCH BASIN
- OHU OVERHEAD UTILITIES
- TREELINE
- RETAINING WALL
- BUTTER LINE
- PROPERTY LINE
- WETLAND
- STOCKADE FENCE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- STONEWALL
- BUILDING SETBACK
- GREEN SPACE BUFFER
- EASEMENT
- PROPOSED EDGE OF GRAVEL
- PROPOSED STOCKADE FENCE

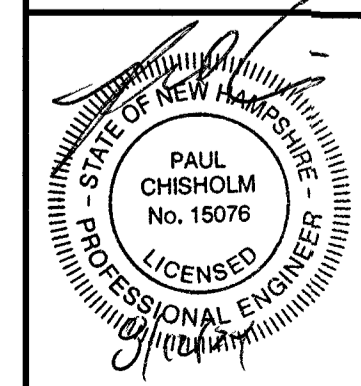


**NON-RESIDENTIAL SITE LAYOUT PLAN**  
**MIARA TRANSPORTATION**  
MAP 136 LOT 1  
12 BOCKES ROAD  
HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

**OWNER OF RECORD:**  
JOSEPH A. MIARA JR., TRUSTEE  
GRANITE REALTY TRUST  
12 BOCKES ROAD  
HUDSON, NH 03051  
H.C.R.D. BK. 8410 PG. 2473

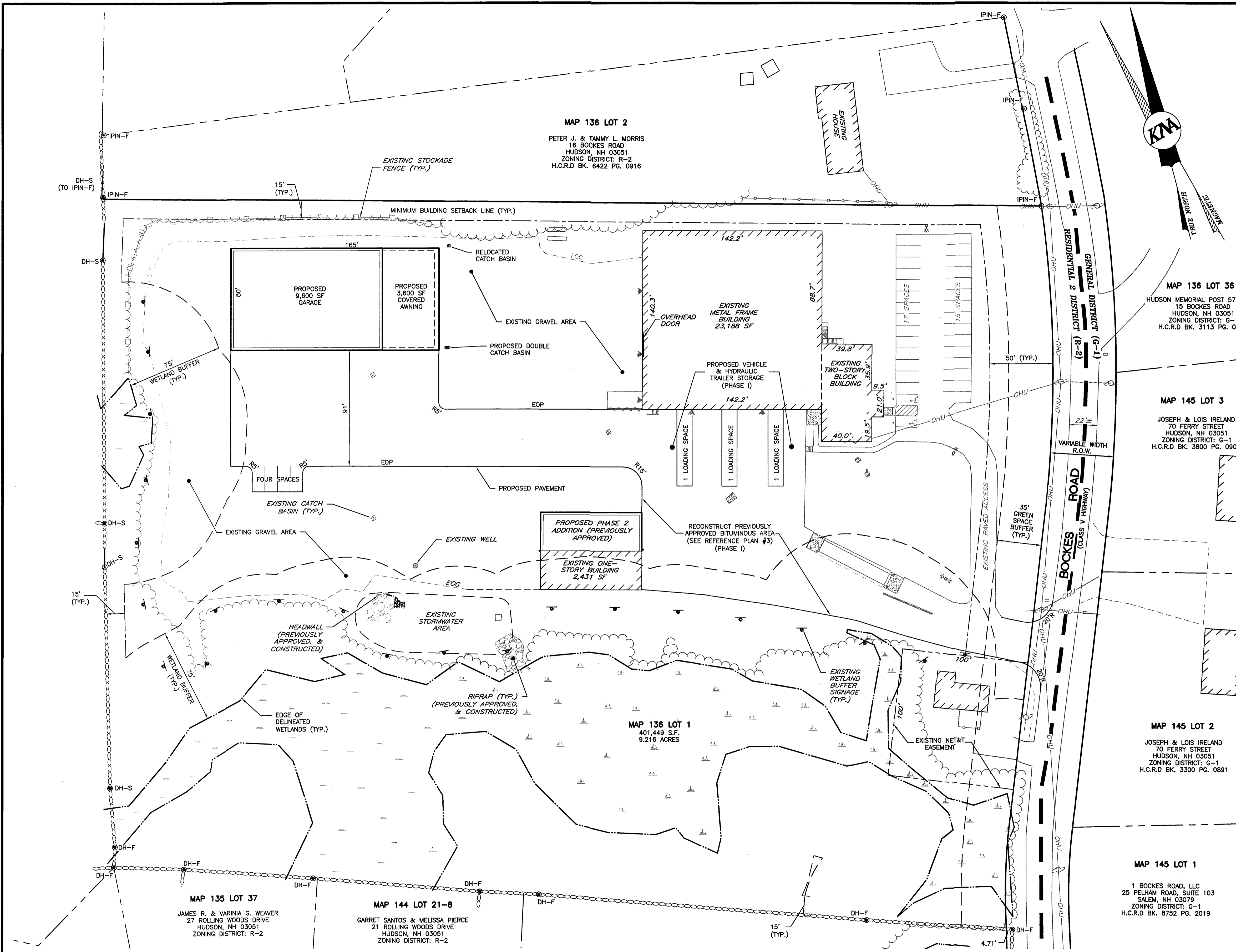
**APPLICANT:**  
JOSEPH A. MIARA JR., TRUSTEE  
GRANITE REALTY TRUST  
12 BOCKES ROAD  
HUDSON, NH 03051

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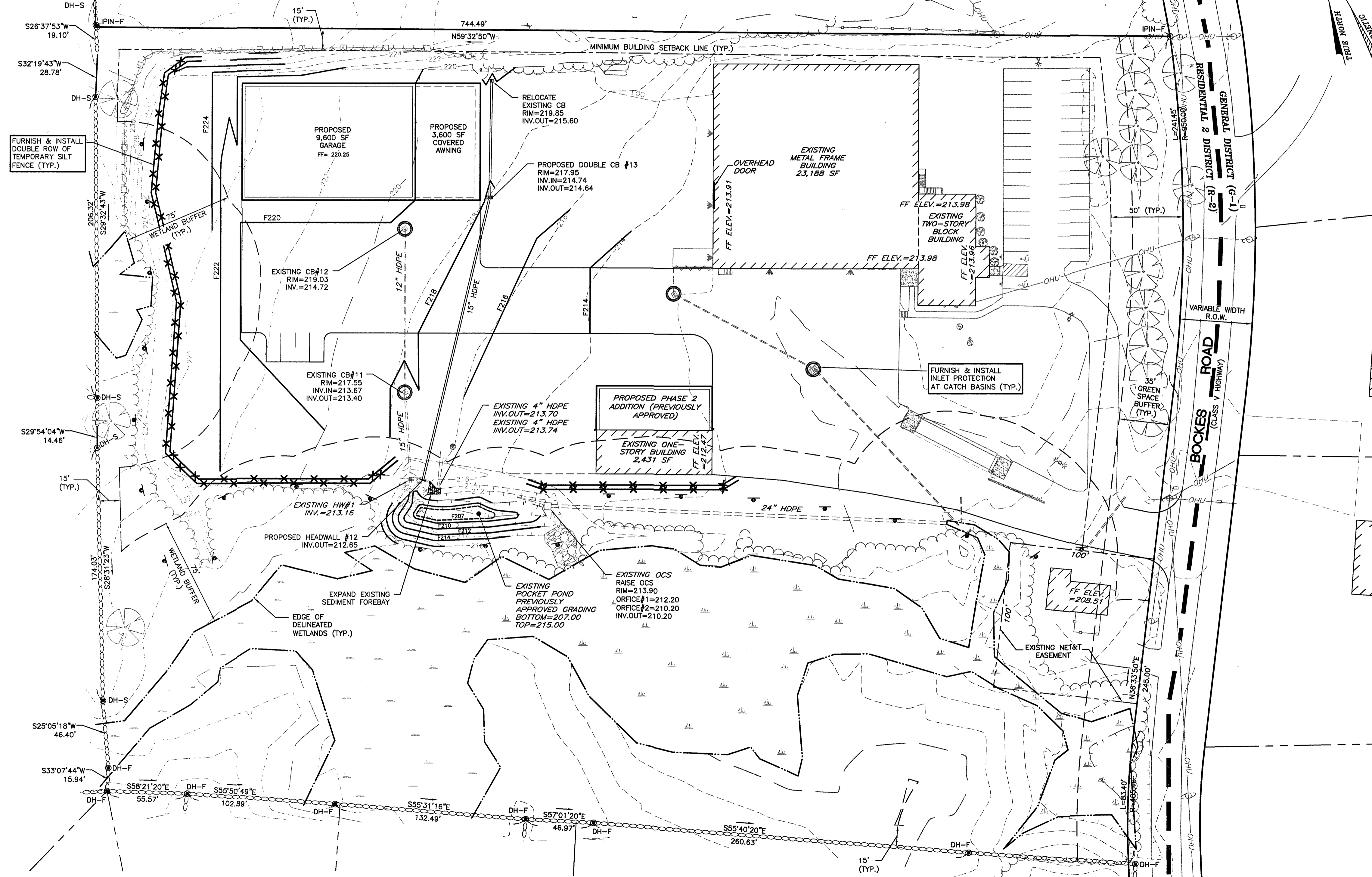
DATE: MAY 20, 2024  
PROJECT NO: 16-0223-1  
SCALE: 1" = 40'  
SHEET 4 OF 8



**LEGEND**

● IPIN-F	IRON PIN FOUND	---	ABUTTER LINE
○ DH-F	DRILL HOLE FOUND	---	PROPERTY LINE
⊕	UTILITY POLE	---	WETLAND
⊕	SIGN	---	EDGE OF PAVEMENT
⊕	LIGHT	---	EDGE OF GRAVEL
⊕	WELL	---	10' CONTOUR
⊕	SEWER MANHOLE	---	2' CONTOUR
⊕	DRAINAGE MANHOLE	---	STONEWALL
⊕	CATCH BASIN	---	SCS SOIL LINE
---	OVERHEAD UTILITIES	---	BUILDING SETBACK
---	WATER LINE	---	GREEN SPACE BUFFER
---	SEPTIC LINE	---	EASEMENT
---	GAS LINE	---	ZONE LINE
---	DRAINAGE LINE	---	PROPOSED EDGE OF GRAVEL
---	TREELINE	---	PROPOSED STOCKADE FENCE
---	RETAINING WALL	---	PROPOSED WATER LINE
---	STOCKADE FENCE	---	

**LOAM & SEED ALL  
DISTURBED AREAS (TYP.)**



- CONSTRUCTION NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
  2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHOWN SHALL BE HDPE. CATCH BASINS SHALL BE TYPE B, AND HAVE 3' SUMPS UNLESS OTHERWISE NOTED.
  3. CATCH BASINS TO BE REPLACED IF FOUND NOT TO HAVE 3' SUMPS OR PROPOSED OIL/GAS SEPARATORS DO NOT FIT IN STRUCTURE.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
  5. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
  6. SEE DRAINAGE PROFILES AND CONSTRUCTION DETAILS FOR SPECIFIC CONSTRUCTION INFORMATION.
  7. THE INSTALLATION OF THE PROPOSED ABOVE GROUND STORAGE TANK, FUEL DISPENSARY SYSTEM, CONCRETE PAD AND APPURTENANCES SHALL CONFORM TO ENV-0300 AND ALL OTHER LOCAL, STATE AND FEDERAL REGULATIONS PRIOR TO CONSTRUCTION. ANY APPROVALS SHALL BE SENT TO THE TOWN OF HUDSON.

- EROSION CONTROL NOTES:**
1. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME.
  2. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
  3. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
  4. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
  5. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
  6. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA.
  7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
  8. UNTIL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
  9. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
  10. SNOW ACCUMULATED DURING THE WINTER CONSTRUCTION CONDITIONS SHOULD BE STORED IN THE STAGING & STOCKPILE AREA, SURROUNDED BY SILT FENCE.



**EROSION & SEDIMENT CONTROL LEGEND**

○	TEMPORARY BLOCK AND GRAVEL SEDIMENT BARRIERS AT ALL CATCH BASINS
---	TEMPORARY SILT FENCE
---	TEMPORARY STONE CHECK DAM
---	LIMITS OF CLEARING
---	EROSION CONTROL BLANKETS
---	STAGING AND STOCKPILE AREA

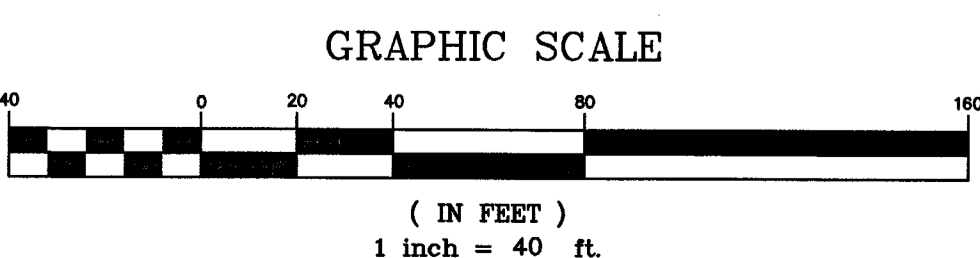
**NPDES NOTE**

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND, THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

**SCS SOILS LEGEND**

CsC	CHATFIELD-HOLLIS COMPLEX, 8-15% SLOPES
DeB	DEERFIELD LOAMY FINE SAND, 3-8% SLOPES
HsC	HINCKLEY LOAMY SAND, 8-15% SLOPES
StB	SITUATE STONY FINE SANDY LOAM, 3-8% SLOPES
WdB	WINDSOR LOAMY SAND, 3-8% SLOPES

SOURCE: USDA-SCS WEB SOIL SURVEY



**GRADING, DRAINAGE, UTILITY & EROSION CONTROL PLAN**  
**MIARA TRANSPORTATION**  
 MAP 136 LOT 1  
 12 BOCKES ROAD  
 HUDSON, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

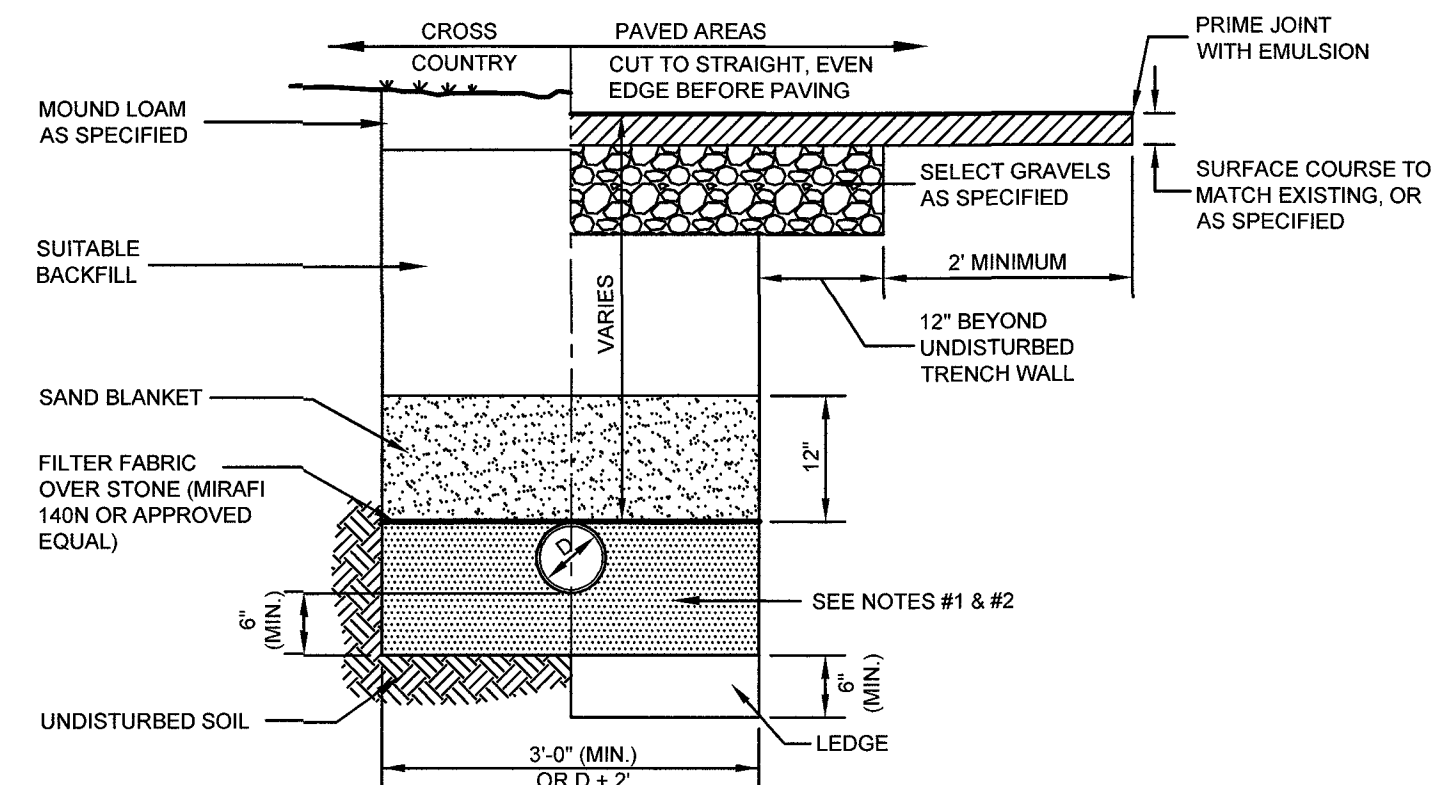
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**KMA** KEACH-NORDSTROM ASSOCIATES, INC.  
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DATE: MAY 20, 2024 SCALE: 1" = 40'  
 PROJECT NO: 16-0223-1 SHEET 5 OF 8

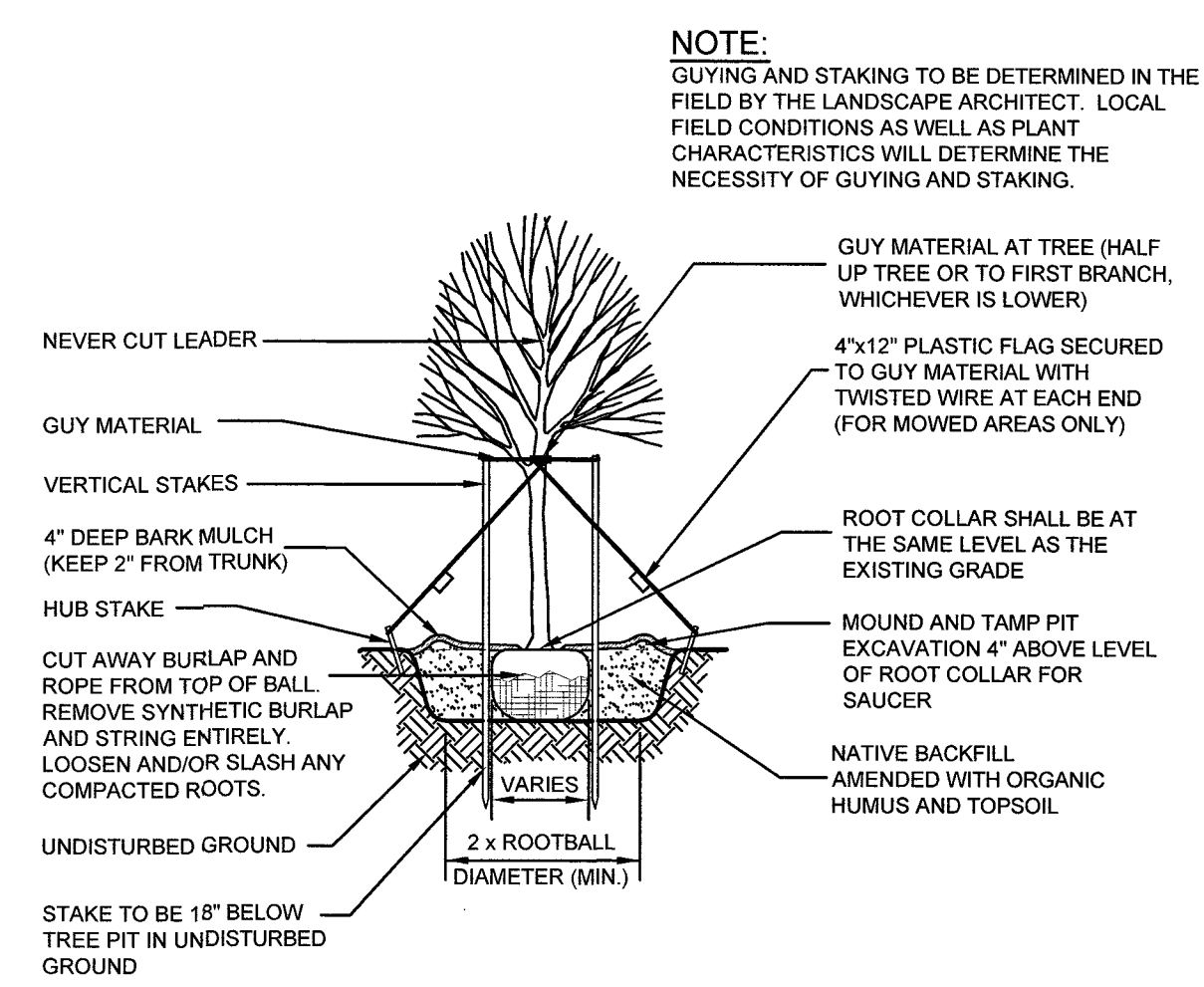




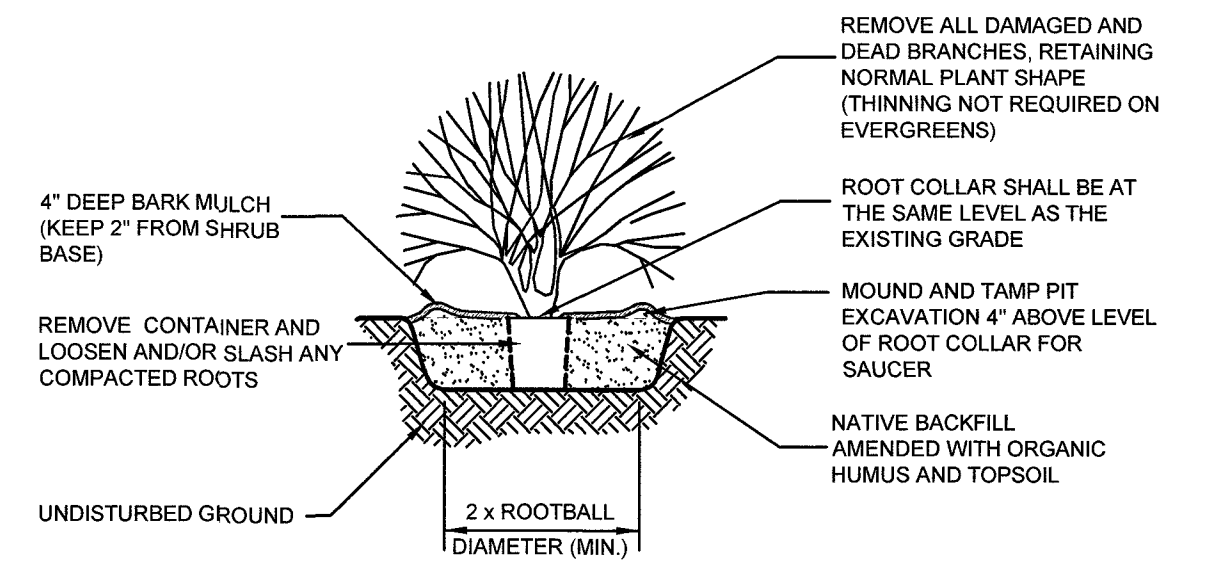
**NOTES**

1. THOROUGHLY COMPACTED SCREENED GRAVEL FOR RCP PIPE. SCREENED GRAVEL TO EXTEND TO SELECT FILL LINE.
2. FOR HDPE OR PVC PIPE, BEDDING SHALL BE 3/4" STONE TO THE TOP OF THE PIPE.

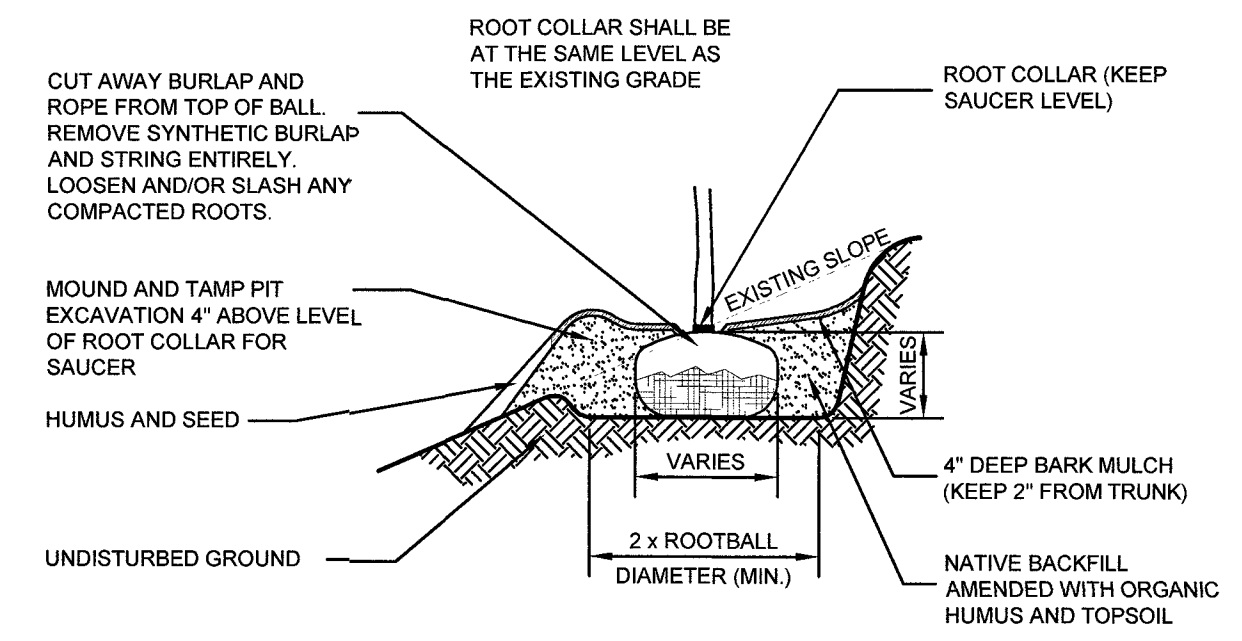
**STORM DRAINAGE TRENCH DETAIL**  
NOT TO SCALE  
(MARCH 2008)



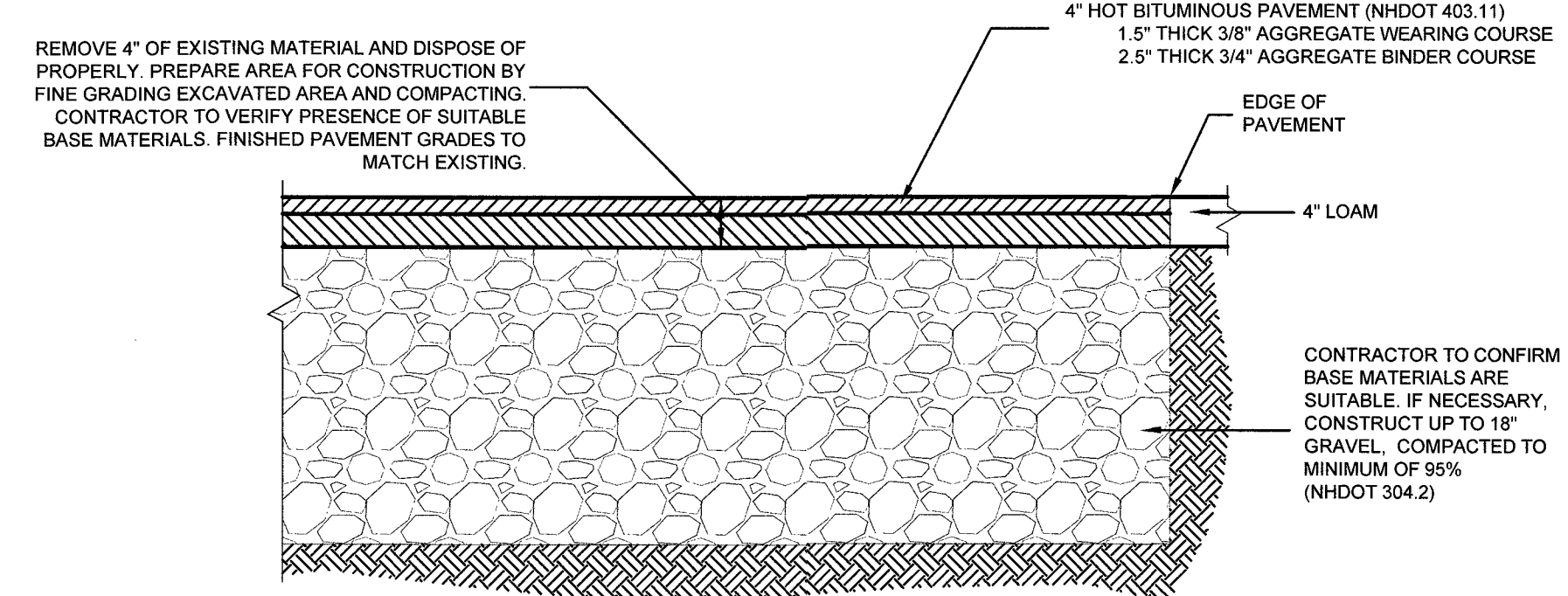
**DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE  
(JANUARY 2012)



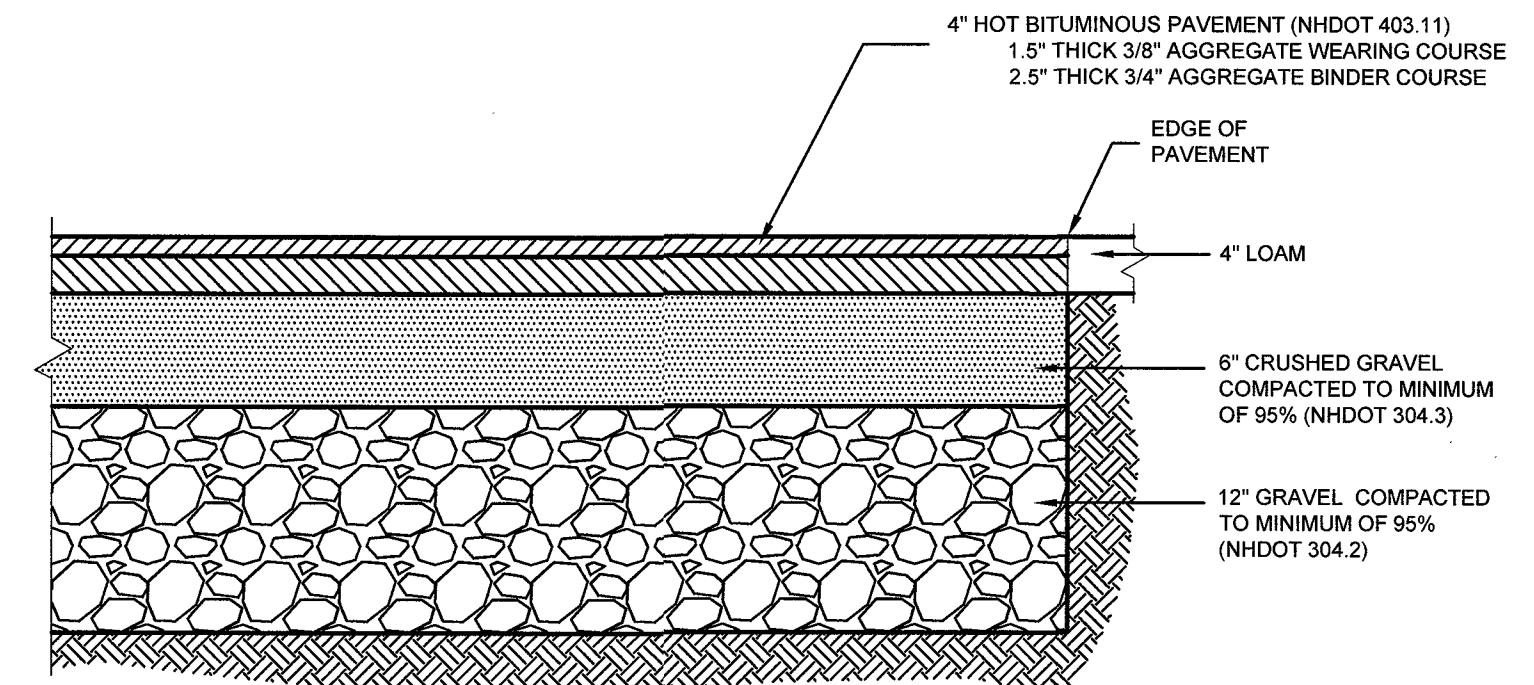
**CONTAINER SHRUB PLANTING DETAIL**  
NOT TO SCALE  
(JANUARY 2012)



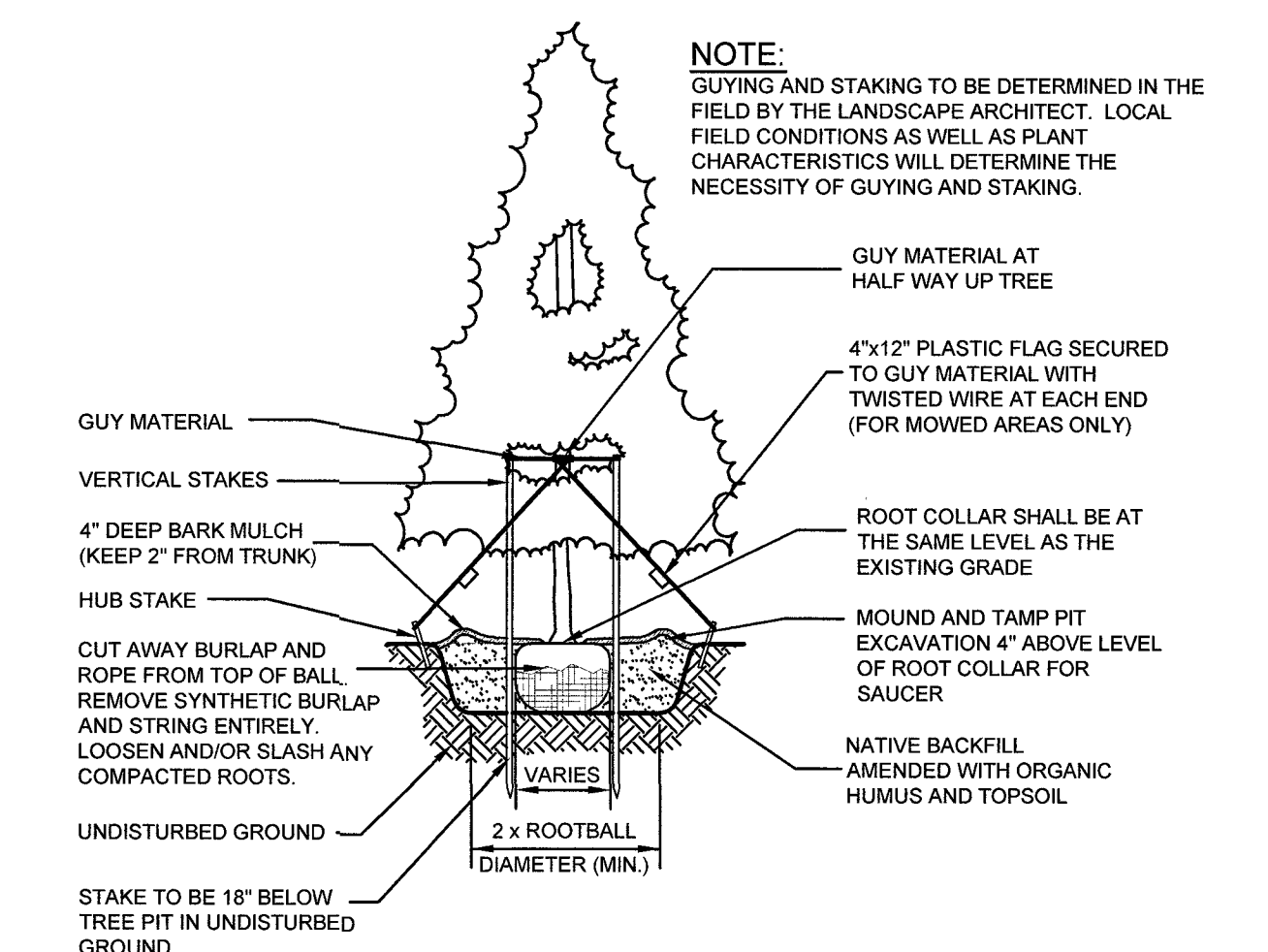
**TYPICAL PLANTING PIT ON SLOPE 4:1 OR GREATER**  
NOT TO SCALE  
(JANUARY 2012)



**PHASE I & II PAVEMENT RECONSTRUCTION SECTION**  
NOT TO SCALE



**FULL DEPTH PAVEMENT SECTION**  
NOT TO SCALE



**EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE  
(JANUARY 2012)

**CONSTRUCTION DETAILS**

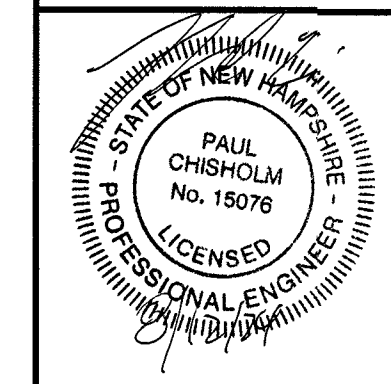
**MIARA TRANSPORTATION**  
MAP 136 LOT 1  
12 BOCKES ROAD  
HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

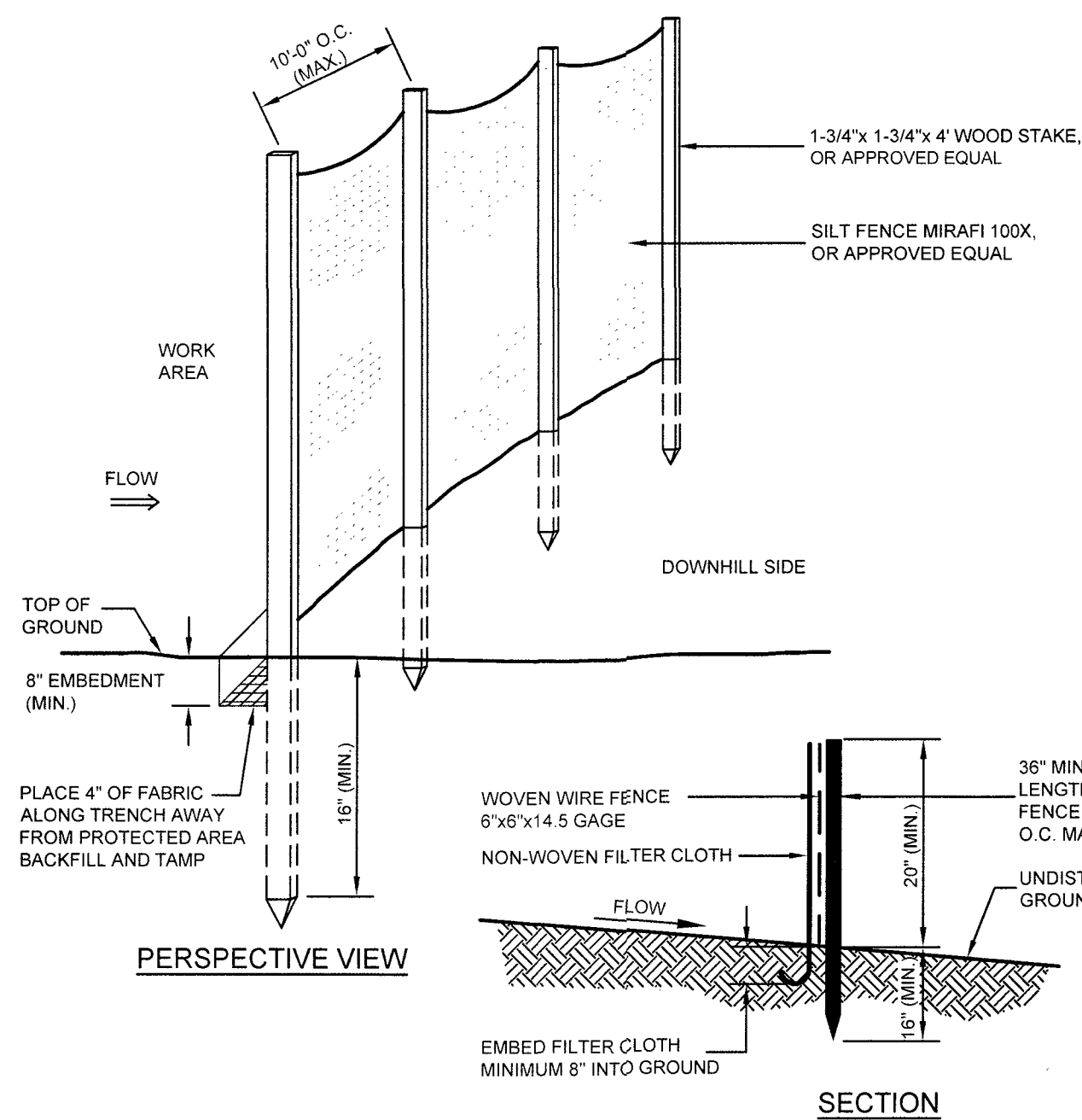
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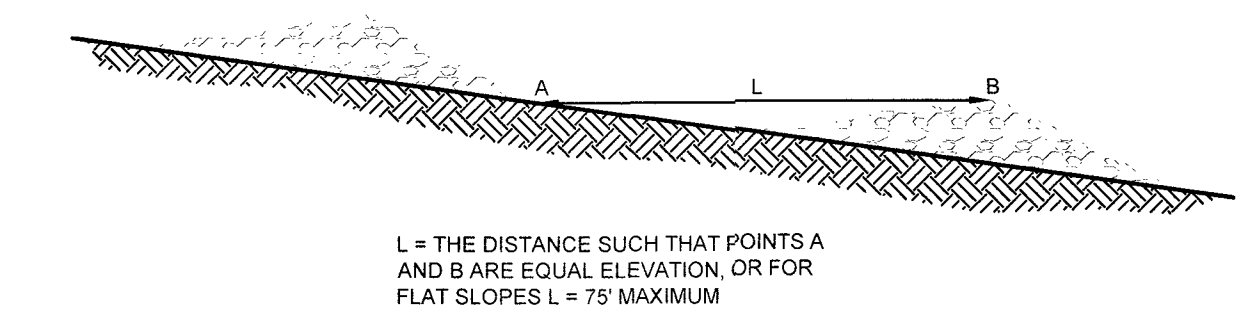
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DATE: MAY 20, 2024      SCALE: AS SHOWN  
PROJECT NO: 16-0223-1      SHEET 7 OF 8

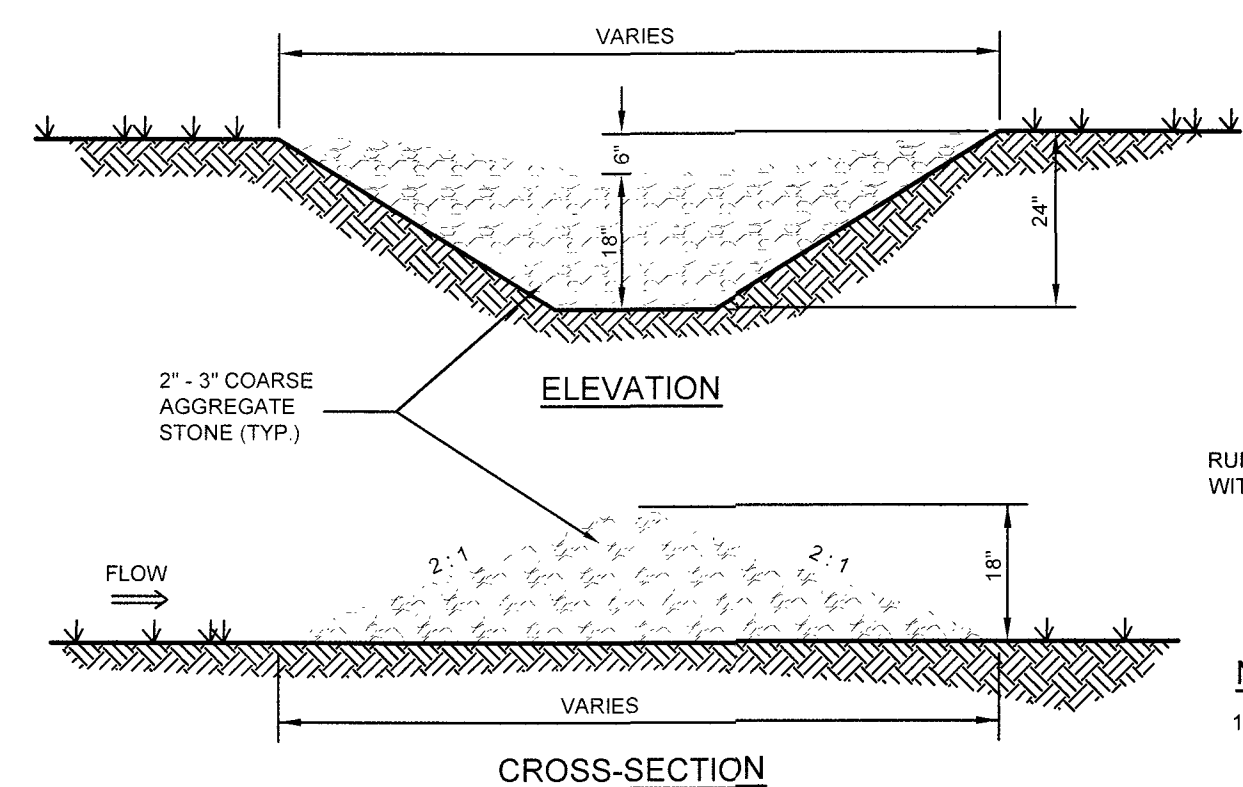




**SILT FENCE DETAIL**  
NOT TO SCALE  
(MARCH 2008)



**STONE CHECK DAM SPACING DETAIL**  
NOT TO SCALE  
(MARCH 2008)



**STONE CHECK DAM DETAIL**  
NOT TO SCALE  
(MARCH 2008)

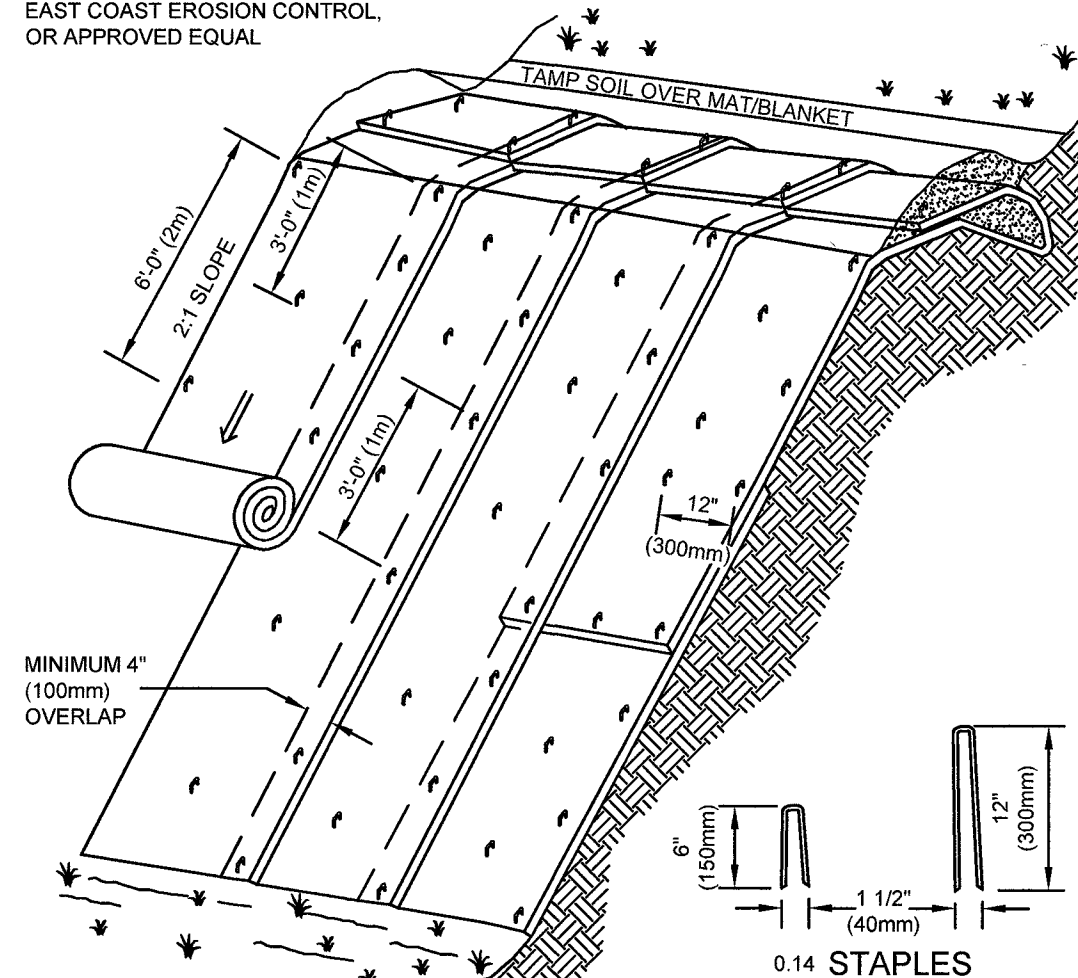
**CONSTRUCTION SPECIFICATIONS:**

1. THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
2. THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
3. WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIE OR STAPLES WHERE NOTED OR AS DIRECTED BY DESIGN ENGINEER.
4. FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MIDSECTION AND BOTTOM.
5. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
6. FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
7. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**MAINTENANCE:**

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY DOWNSLOPE AND SHALL BE DOUBLE NET COCONUT BIODEGRADABLE ROLLED EROSION CONTROL BLANKET BY EAST COAST EROSION CONTROL, OR APPROVED EQUAL



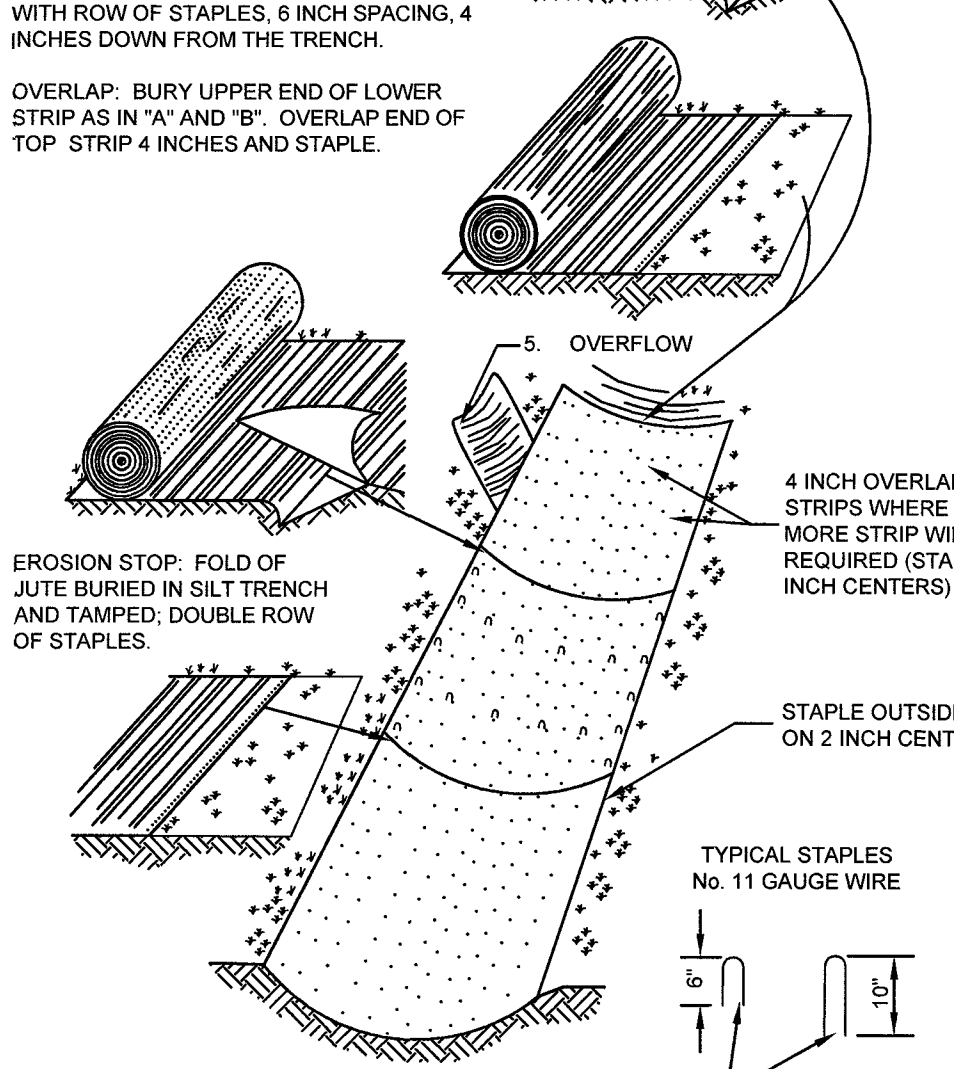
**ISOMETRIC VIEW**

**NOTES:**

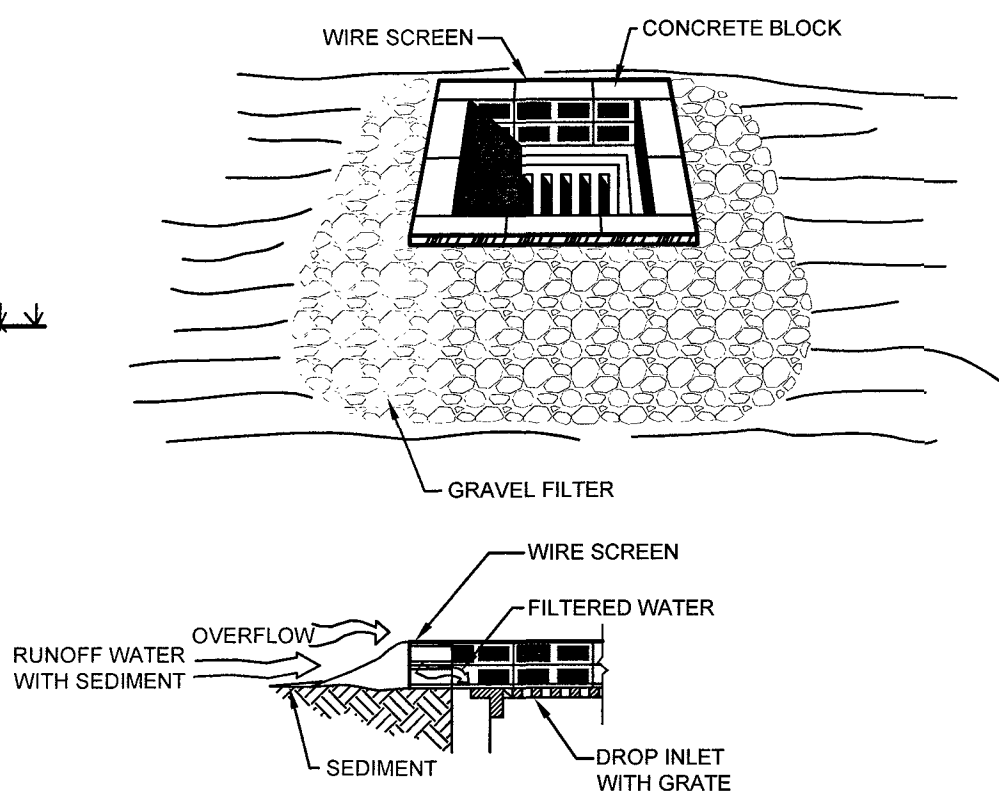
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

**EROSION CONTROL BLANKETS - SLOPE INSTALLATION**  
NOT TO SCALE  
(AUGUST 2011)

1. BURY THE TOP END OF THE JUTE STRIPS IN A TRENCH 6 INCHES OR MORE IN DEPTH.
2. TAMP THE TRENCH FULL OF SOIL. SECURE WITH ROW OF STAPLES, 6 INCH SPACING, 4 INCHES DOWN FROM THE TRENCH.
3. OVERLAP: BURY UPPER END OF LOWER STRIP AS IN "A" AND "B". OVERLAP END OF TOP STRIP 4 INCHES AND STAPLE.



**EROSION CONTROL BLANKETS - SWALE INSTALLATION**  
NOT TO SCALE  
(MARCH 2008)



**NOTES:**

1. CONCRETE BLOCKS SHOULD BE PLACED LENGTHWISE ON THEIR SIDES IN A SINGLE ROW AROUND THE PERIMETER OF THE INLET. THE ENDS OF EACH BLOCK SHOULD BE ABUTTING. THE HEIGHT OF THE BARRIER CAN BE VARIED DEPENDING ON THE DESIGN BY STACKING VARIOUS COMBINATIONS OF DIFFERENT SIZED BLOCKS. THE BARRIER SHOULD BE A MINIMUM OF 12 INCHES HIGH AND A MAXIMUM OF 24 INCHES HIGH.
2. HARDWARE CLOTH OR WIRE MESH SHOULD BE PLACED OVER OPENINGS OF THE CONCRETE BLOCKS AND EXTENDED AT LEAST 12 INCHES AROUND THE OPENING TO PREVENT AGGREGATE FROM BEING TRANSPORTED THROUGH THE OPENINGS IN THE BLOCK.
3. SEWER STONE OR OTHER CLEAN COARSE AGGREGATE SHOULD BE PLACED AGAINST THE BLOCK TO THE TOP OF THE BARRIER.

**BLOCK & GRAVEL DROP INLET SEDIMENT FILTER**  
NOT TO SCALE  
(MARCH 2008)

**TURF ESTABLISHMENT SCHEDULE**

**PURPOSE:**

TO ESTABLISH AND MAINTAIN PERMANENT AND TEMPORARY TURF AREAS, RESTORE GROWTH TO EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION AND CONTROL SOIL EROSION.

**PREPARATION AND EXECUTION:**

1. RAKE THE SUBGRADE OF ALL AREAS TO BE LOAMED AND SEEDED TO REMOVE RUBBISH, STICKS, ROOTS AND STONES LARGER THAN 1 INCH.
2. PLACE LOAM OVER AREAS TO BE SEEDED AND SPREAD.
3. FINE GRADE SURFACE AND SUPPLEMENT WITH SUITABLE LOAM WHERE NEEDED TO CREATE A UNIFORM SURFACE ACCORDING TO THE FINISH GRADES INDICATED. TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED. NO LOAM SHALL BE SPREAD IF THE SUBGRADE IS EXCESSIVELY WET OR FROZEN.
4. APPLY LIME EVENLY OVER LOAM SURFACE AND THOROUGHLY INCORPORATE LIME INTO THE LOAM BY HEAVY RAKING TO AT LEAST ONE-HALF THE DEPTH OF THE LOAM.
5. APPLY FERTILIZER AND MIX WITH THE UPPER 2 INCHES OF LOAM.
6. DETERMINE APPROPRIATE MIXTURE FOR AREA TO BE SEEDED BASED ON EXAMINATION OF PROJECT PLANS. UNIFORMLY SPREAD THE SEED BY BROADCASTING OR HYDROSEEDING. IF BROADCASTING, LIGHTLY RAKE INTO THE PREPARED SURFACE AND ROLL. IF HYDROSEEDING, USE 4 TIMES THE RECOMMENDED RATE OF INOCULANT. AFTER SEED IS SPREAD, WATER THOROUGHLY WITH A FINE SPRAY.
7. SEEDING FOR PERMANENT COVER SHALL OCCUR BETWEEN SEPTEMBER 15 AND OCTOBER 15 AND BETWEEN APRIL 15 AND JUNE 15. SEEDING SHALL NOT BE DONE DURING WINDY WEATHER. WHEN THE GROUND IS FROZEN OR EXCESSIVELY WET OR OTHERWISE UNTILABLE.
8. WITHIN 24 HOURS AFTER SEEDING OPERATION, UNIFORMLY MULCH THE AREA WITH HAY, ANCHOR MULCH ON ALL SLOPES EXCEEDING 3 : 1 USING MULCH NETTING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER.
9. PROTECT AND PREVENT AGAINST WASHOUTS, ANY WASHOUTS WHICH OCCUR SHALL BE PROMPTLY REGRADED AND RESEEDED.
10. WHEN IT IS IMPRACTICAL TO ESTABLISH PERMANENT GROWTH ON DISTURBED EARTH BY SEEDING, A TEMPORARY SEED MIXTURE SHALL BE USED. WHEN TEMPORARY SEEDING CANNOT ESTABLISH VISIBLE GROWTH, THE DISTURBED AREA SHALL BE COVERED WITH SIX INCHES OF MULCH FOR THE WINTER.

**MAINTENANCE:**

ALL SEEDED AREAS SHALL BE KEPT WATERED AND IN GOOD CONDITION. RESEED AS NECESSARY TO ESTABLISH HEALTHY UNIFORM GROWTH OVER THE ENTIRE SEEDED AREA. MAINTAIN SEEDED AREAS IN AN APPROVED CONDITION UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE REPAIRS FOR DAMAGE CAUSED BY EROSION.

**APPLICATION RATES:**

1. LOAM SHALL BE APPLIED AT A MINIMUM COMPACTED THICKNESS OF 4 INCHES.
2. LIME SHALL BE APPLIED AT A RATE OF 75 TO 100 POUNDS PER 1,000 S.F.
3. FERTILIZER SHALL BE APPLIED AT A RATE OF 30 POUNDS PER 1,000 S.F.
4. SEED MIXTURE FOR LAWN AREAS SHALL BE APPLIED AT A RATE OF AT LEAST 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
5. TEMPORARY SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1,000 S.F.
6. SEED MIXTURE FOR SLOPE AREAS SHALL BE APPLIED AT A RATE OF 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
7. SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS SHALL BE APPLIED AT A RATE OF 10 POUNDS PER ACRE OR 1 POUND PER 1,000 S.F.
8. MULCH SHALL BE APPLIED AT A RATE OF 90 POUNDS PER 1,000 S.F.

**MATERIALS:**

1. LOAM USED FOR TOPSOIL SHALL BE FRIABLE, FERTILE, NATURAL FREE-DRAINING LOAM, FREE OF ROOTS, GRASS, STICKS, WEEDS, CLAY, SOD LUMPS, DEBRIS AND STONES LARGER THAN 1 INCH IN ANY DIMENSION. SOIL SHALL NOT BE EXCESSIVELY ACID OR ALKALINE AND CONTAIN NO TOXIC MATERIALS.
2. LIME SHALL BE GROUND LIMESTONE CONTAINING NO LESS THAN 95% CALCIUM AND MAGNESIUM CARBONATES.
3. FERTILIZER SHALL BE 10-20-20 COMMERCIAL GRADE.
4. SEED MIXTURE FOR LAWN AREAS SHALL BE 99% PURE LIVE SEED AND CONSIST OF THE FOLLOWING:
  - 25% CREEPING RED FESCUE
  - 25% KENTUCKY BLUEGRASS
  - 25% REDTOP
  - 25% MANHATTAN PERENNIAL RYEGRASS
5. TEMPORARY SEEDING MIXTURE SHALL BE AN APPROVED CONSERVATION MIX OR CONSIST OF THE FOLLOWING:
  - 15% BLACKWELL OR SHELTER SWITCHGRASS
  - 30% NIAGRA OR KAW BIG BLUESTEM
  - 30% CAMPER OR BLAZE LITTLESTEM
  - 15% NE-27 OR BLAZE SAND LOVEGRASS
  - 10% VIKING BIRDSFOOT TREFOIL
 INOCULUM SPECIFIC TO BIRDSFOOT TREFOIL MUST BE USED WITH THIS MIXTURE. IF SEEDING BY HAND, A STICKING AGENT SHALL BE USED. IF SEEDING WITH A HYDROSEEDER, USE FOUR TIMES THE RECOMMENDED AMOUNT OF INOCULUM.
6. SEED MIXTURE FOR SLOPE AREAS SHALL BE 99% PURE LIVE SEED AND SHALL CONSIST OF THE FOLLOWING:
  - 30% CREEPING RED FESCUE
  - 40% PERENNIAL RYE GRASS
  - 15% REDTOP
  - 15% BIRDSFOOT TREFOIL
 IN ADDITION TO THE MIX SPECIFIED ABOVE, CROWN VETCH SHALL BE USED ON ALL SLOPES STEEPER THAN 3 : 1. CROWN VETCH SHALL BE APPLIED AT A RATE OF 10 POUNDS PER ACRE AND INOCULUM SPECIFIC TO CROWN VETCH MUST BE USED.
7. SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS, INCLUDING DETENTION BASINS AND VEGETATED TREATMENT SWALES SHALL CONSIST OF THE FOLLOWING:
  - 25% CREEPING RED FESCUE
  - 15% SWITCH GRASS
  - 15% FOX SEDGE
  - 15% CREEPING BENTGRASS
  - 10% FLATPEA
  - 20% WILDFLOWER VARIETY
8. HAY USED FOR MULCH SHALL CONSIST OF MOWED AND PROPERLY CURED GRASS OR LEGUME MOWINGS, FREE FROM WEEDS, TWIGS, DEBRIS OR OTHER DELETERIOUS MATERIAL AND ROT OR MOLD.

**CONSTRUCTION SEQUENCE**

1. FIRST CUT AND CLEAR TREES AND BRUSH ONLY WITHIN DESIGNATED LIMITS OF CLEARING AS NECESSARY TO FACILITATE PROPOSED CONSTRUCTION. ALL TREES, BRANCHES AND OTHER VEGETATIVE MATERIALS SHALL BE PROPERLY DISPOSED OFF SITE BY THE CONTRACTOR. THIS PROJECT IS MANAGED TO MEET THE REQUIREMENTS AND INTENTIVE TO INVASIVE SPECIES.
2. PRIOR TO COMMENCEMENT OF ANY EARTHMOVING OPERATIONS, ALL APPLICABLE TEMPORARY EROSION CONTROL MEASURES, INCLUDING SPECIFIED PERIMETER SILTATION FENCING AND STABILIZED CONSTRUCTION EXIT SHALL BE IN PLACE AS SHOWN ON THE PROJECT PLANS.
3. COMPLETE GRUBBING OPERATIONS AND SIMILAR ORGANIC DEBRIS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR. NATIVE ORGANIC SOIL MATERIALS SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED WITHIN AREAS OUT OF THE WAY OF OTHER CONSTRUCTIONS ACTIVITIES AND DRAINAGE FLOW. STOCKPILES SHALL BE TEMPORARILY SEEDED WITH WINTER RYE AND BE SURROUNDED WITH HAY BALES AND/OR FABRIC SILTATION FENCING IN ORDER TO PREVENT LOSS DUE TO EROSION.
4. BEGIN EARTHMOVING OPERATIONS, COMMENCING WITH WORK NEEDED TO BALANCE SITE AND FACILITATE BUILDING FOUNDATION AND RETAINING WALL CONSTRUCTION. PERMANENT DOWNSLOPE WORK SHALL BE PROTECTED FROM UPGRADIENT STORMWATER FLOW BY THE CONSTRUCTION OF TEMPORARY EARTHEN DIKES OR EXCAVATED SWALES.
5. ONCE BUILDING FOUNDATION WORK IS UNDERWAY, CONTINUE EARTHMOVING OPERATIONS UNTIL DESIGN SUBGRADE IS ACHIEVED.
6. INSTALL DRAINAGE SWALE SYSTEMS AND OTHER UTILITIES WORKING FROM LOW TO HIGH. INCOMPLETE WORK SHALL BE PROTECTED FROM SILTATION BY THE USE OF SILTATION BARRIERS AROUND SWALES UNTIL THE SITE HAS BECOME FULLY STABILIZED.
7. PLACE GRAVEL AND CRUSHED GRAVEL OVER PROPOSED DRIVEWAY, WALKS AND PARKING AREAS AND COMPACT IN SPECIFIED LIFT THICKNESS.
8. COMPLETE EXCAVATION/STABILIZATION GRADING ACTIVITIES. WHEN COMPLETE, IMMEDIATELY BEGIN TOPSOILING PROPOSED AREAS USING STOCKPILED LOAM SUPPLEMENTED WITH BORROW LOAM, IF NECESSARY, TO LEAVE A THICKNESS OF 4 INCHES OF FRIABLE LOAM.
9. FINE GRADE ALL FUTURE TURF AREAS AND HYDROSEED WITH THE SPECIFIED SEED MIXTURE IMMEDIATELY AFTER FINE GRADING IS COMPLETED. ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
10. INSTALL THE BINDER COURSE OF PAVEMENT OVER ALL DESIGNATED AREAS.
11. IN THE EVENT THAT DURING CONSTRUCTION OF ANY PORTION OF THIS PROJECT A WINTER SHUTDOWN IS NECESSARY, THE CONTRACTOR SHALL STABILIZE ALL INCOMPLETE WORK AND PROVIDE FOR SUITABLE METHODS OF DIVERTING RUNOFF IN ORDER TO ELIMINATE SHEET FLOW ACROSS FROZEN SURFACES.
12. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED.
  - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
  - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED, OR
  - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

**EROSION CONTROL NOTES**

1. EXPOSED EARTHWORK SHALL BE CONFINED TO AS LIMITED AN AREA AS IS PRACTICAL AT ANY GIVEN TIME THROUGHOUT THE CONSTRUCTION SEQUENCE. AT NO TIME SHALL MORE THAN FIVE (5) ACRES OF SITE AREA BE IN AN UNSTABLE CONDITION. NO GIVEN AREA OF THE SITE SHALL BE LEFT IN AN UNSTABILIZED CONDITION FOR A PERIOD OF TIME EXCEEDING THIRTY (30) CALENDAR DAYS.
2. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SIMILAR MEASURES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONDITION, OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR, MAY WARRANT. ALL TEMPORARY EROSION CONTROL MEASURES USED SHALL BE MAINTAINED AND REPAIRED WITHIN 24 HOURS AFTER 2" OF RAINFALL OR MORE. THEY SHALL BE CLEANED AND MAINTAINED AND OTHERWISE KEPT IN AN EFFECTIVE OPERATING MANNER THROUGHOUT THE CONSTRUCTION PERIOD.
3. ALL DISTURBED AREAS DESIGNATED TO BE TURF, SHALL RECEIVE A MINIMUM APPLICATION OF 4 INCHES OF LOAM COMPACTED TO FINISH GRADE. PRIOR TO FINAL SEEDING AND MULCHING AN AND HYDROSEEDING TO FINISH GRADE.
4. ALL SWALES AND DITCHLINES SHALL BE PERIODICALLY CLEANED OF DEPOSITED SEDIMENT SO AS TO MAINTAIN AN EFFECTIVE GRADE AND CROSS SECTION. ALL SWALES AND DITCHLINES SHALL BE FULLY STABILIZED PRIOR TO HAVING STORMWATER DIRECTED TOWARDS THEM.
5. IN THE EVENT THAT DURING CONSTRUCTION OF ANY PORTION OF THIS PROJECT A WINTER SHUTDOWN IS NECESSARY, THE CONTRACTOR SHALL STABILIZE ALL INCOMPLETE WORK AND PROVIDE FOR SUITABLE METHODS OF DIVERTING RUNOFF IN ORDER TO ELIMINATE SHEET FLOW ACROSS FROZEN SURFACES.
6. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED.
  - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
  - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED, OR
  - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
7. DUST SHALL BE CONTROLLED BY THE USE OF WATER AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD, IN ACCORDANCE WITH ENVA 1008.
8. IN NO WAY ARE THOSE TEMPORARY EROSION CONTROL MEASURES INDICATED ON THESE PLANS TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT IN INSTALLING SUPPLEMENTARY EROSION CONTROL MEASURES WHERE AND WHEN SPECIFIC SITE CONDITIONS AND/OR CONSTRUCTION METHODOLOGIES MAY WARRANT.
9. AREAS HAVING FINISH GRADE SLOPES OF 3 : 1 OR STEEPER, SHALL BE STABILIZED WITH JUTE MATTING WHEN AND IF FIELD CONDITIONS WARRANT, OR IF SO ORDERED. JUTE MATTING INSTALLED TO CONFORM WITH THE RECOMMENDED BEST MANAGEMENT PRACTICE OUTLINED IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL. "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION."
10. ALL DETENTION PONDS AND TREATMENT SWALES SHALL BE CONSTRUCTED PRIOR TO ANY EARTH MOVING ACTIVITIES THAT WILL INFLUENCE STORMWATER RUNOFF.
11. ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
12. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

**WINTER CONSTRUCTION NOTES:**

1. ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 OR, IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON, BE CLEAR OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.
4. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED.
  - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
  - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED, OR
  - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

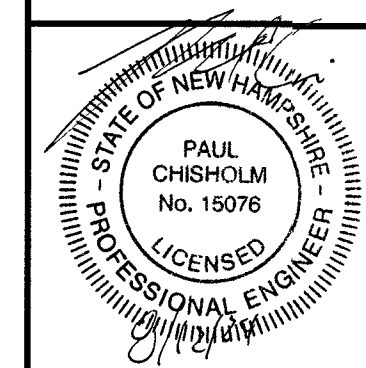
**CONSTRUCTION DETAILS**

**MIARA TRANSPORTATION**  
MAP 136 LOT 1  
12 BOCKES ROAD  
HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

**OWNER OF RECORD:**  
JOSEPH A. MIARA JR., TRUSTEE  
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**APPLICANT:**  
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REVISIONS			
No.	DATE	DESCRIPTION	BY
1	6-17-24	REV. PER CON. COM. COMMENTS	ACL
2	7-08-24	REV. PER CON. COM. COMMENTS	ACL
3	8-08-24	REV. PER CON. COM. COMMENTS	ACL

DATE: MAY 20, 2024 SCALE: AS SHOWN  
PROJECT NO: 16-0223-1 SHEET 8 OF 8