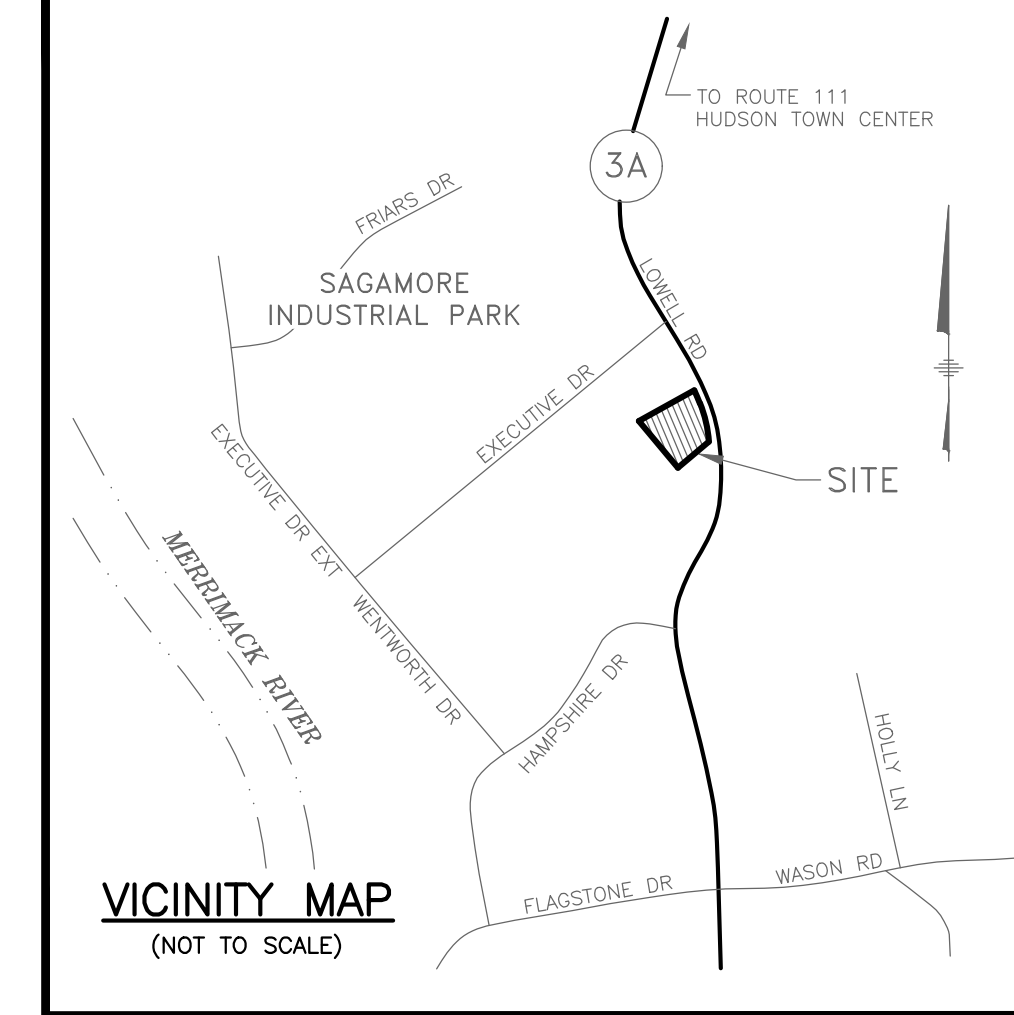


GRANITE SUBARU EXPANSION

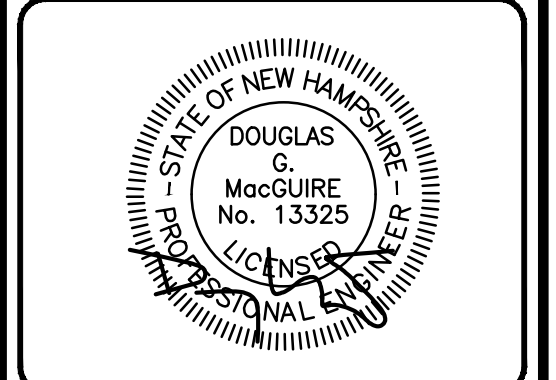
HUDSON, NEW HAMPSHIRE



The Dubai Group, Inc.
136 Harvey Road Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers
Planners
Surveyors

TheDubayGroup.com



SHEET INDEX

- 1 TITLE SHEET
- 2 EXISTING CONDITIONS PLAN
- 3 SITE PLAN
- 4 GRADING, DRAINAGE, & UTILITY PLAN
- 5-6 LANDSCAPE PLAN
- 7 LIGHTING PLAN
- 8 EROSION CONTROL PLAN
- 9-11 SITE CONSTRUCTION DETAILS

REVISIONS:			
REV.	DATE	COMMENT	BY
1	9/1/22	NHDES COMMENTS	SJK
2	7/13/23	NHDES COMMENTS	SJK
3	4/24/24	TOWN COMMENTS	SJK
4	8/12/24	TOWN COMMENTS	SJK

DRAWN BY: SJK
 CHECKED BY: DGM
 DATE: DEC. 17, 2021
 SCALE: NONE
 FILE: 469-COVER
 DEED REF:
 H.C.R.D.: BK. 9403 PG. 2706

PROJECT:

GRANITE SUBARU EXPANSION
 MAP 210 LOT 1
 6 EXECUTIVE DRIVE
 HUDSON, NH 03051

FOR

RAYMOND JAMES GRANITE PROP LLC
 193 LOWELL RD
 HUDSON, NH 03051

SHEET TITLE:

TITLE SHEET

PROJECT #469 SHEET 1 of 11

N:\PROJECTS\469-Angotti-Subaru - Hudson\DWG\CURRENT\469-COVER.dwg

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____

SECRETARY _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

OWNER: RAYMOND JAMES GRANITE PROP LLC
 193 LOWELL ROAD
 HUDSON, NH 03051

8/16/24
 DATE

REQUIRED PERMITS:

PERMIT #	DATE
1) NHDES WETLAND PERMIT	2022-01911 9/25/23

PLAN REFERENCES:

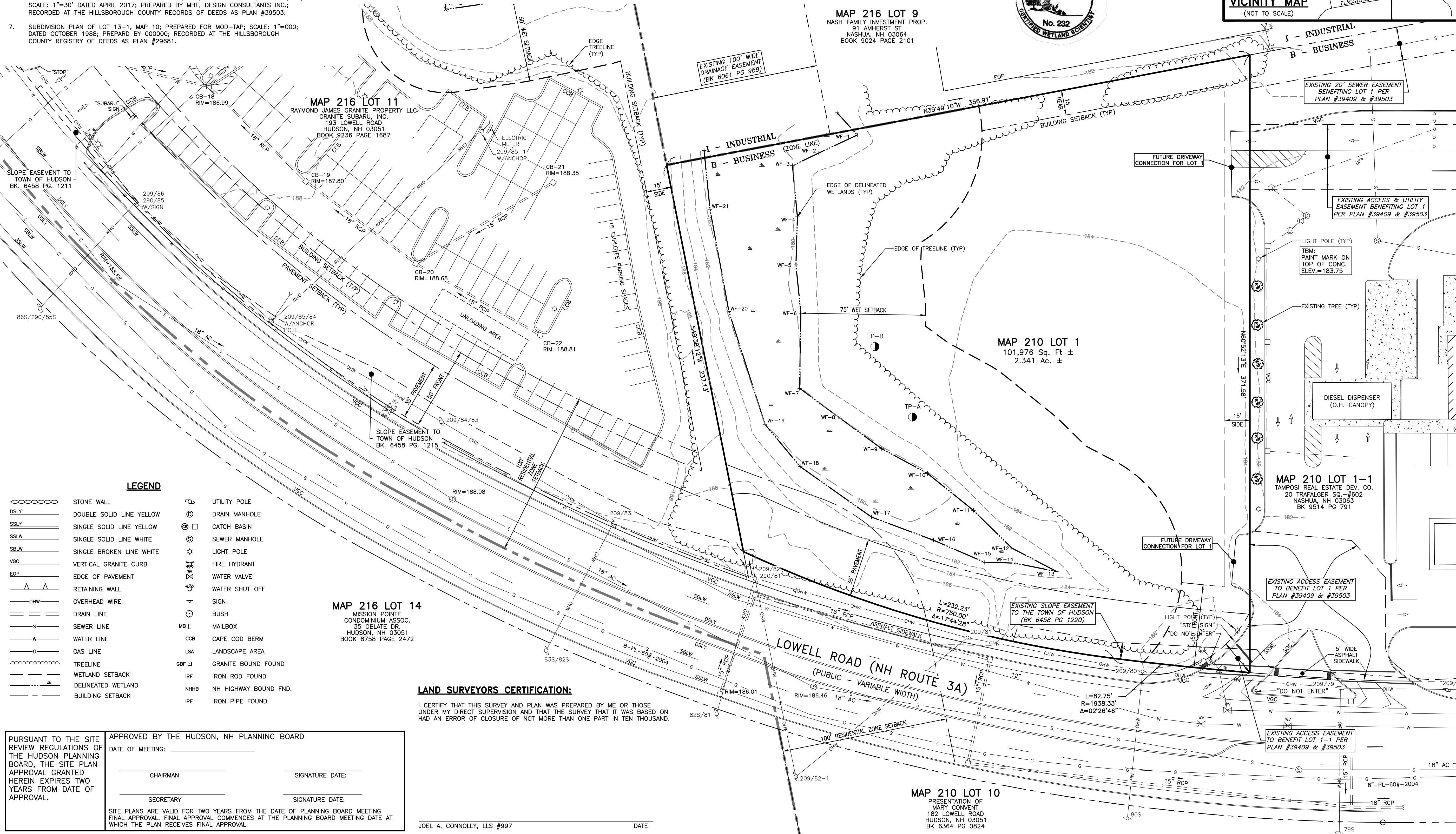
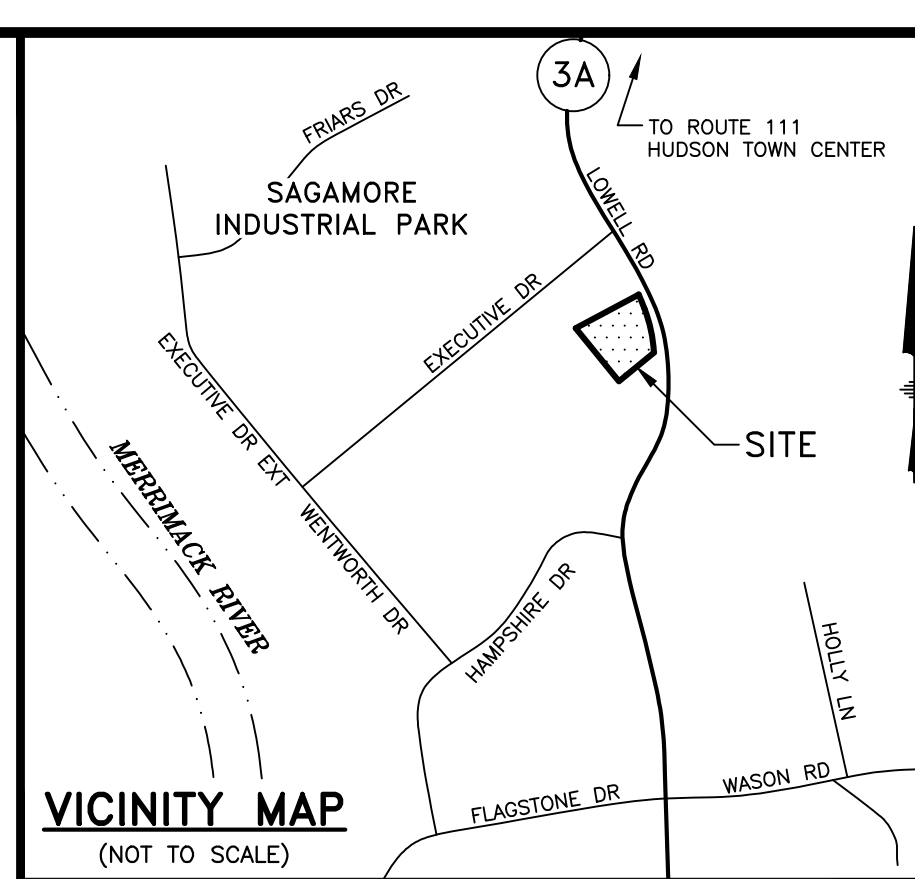
- SITE PLAN PREPARED FOR YANKEE MOTORS, LOWELL ROAD, HUDSON, NH; SCALE: 1"=20'; DATED SEPTEMBER 1982; PREPARED BY MAYNARD & PAQUETTE, INC.; RECORDED AT THE HILLSBOROUGH COUNTY RECORDS OF DEEDS AS PLAN #15165.
- NH DOT AS-BUILT CONSTRUCTION PLANS FOR A SECTION OF NH ROUTE 3A/LOWELL ROAD, HUDSON, NH; REFER TO NH PROJECT NO. 13180; REFER TO FEDERAL PROJECT NO. STP-X-258 (002); SCALE: 1"=40'; DATED AUGUST 2001; SEE SHEET NO. 13 & 14 OF 56 TOTAL SHEETS.
- SUBDIVISION PLAN PREPARED FOR STELLOS FAMILY INVESTMENT PROPERTIES, ET AL, LOWELL RD, HUDSON, NH; SCALE: 1"=40'; DATED APRIL 2017; PREPARED BY HSI, INC.; RECORDED AT THE HILLSBOROUGH COUNTY RECORDS OF DEEDS AS PLAN #39409.
- STREET DEDICATION PLAN PREPARED FOR RIVERVIEW INDUSTRIAL PARK ASSOC., EXECUTIVE DRIVE, HUDSON, NH; SCALE: 1"=50' DATED MAY 1987; PREPARED BY ALLAN H. SWANSON, INC.; RECORDED AT THE HILLSBOROUGH COUNTY RECORDS OF DEEDS AS PLAN #22540.
- RESUBDIVISION & CONSOLIDATION PLAN LOT 10-13 & 10-13-1 PREPARED FOR PROULMAN AND STABLE, EXECUTIVE DRIVE & WENTWORTH DRIVE, HUDSON, NH; SCALE: 1"=100' DATED FEBRUARY 1982; PREPARED BY THOMAS F. MORAN INC.; RECORDED AT THE HILLSBOROUGH COUNTY RECORDS OF DEEDS AS PLAN #15646.
- SITE PLAN PREPARED FOR IRVING OIL MARKETING, INC., EXECUTIVE DRIVE, HUDSON, NH; SCALE: 1"=30' DATED APRIL 2017; PREPARED BY MHF, DESIGN CONSULTANTS INC.; RECORDED AT THE HILLSBOROUGH COUNTY RECORDS OF DEEDS AS PLAN #39503.
- SUBDIVISION PLAN OF LOT 13-1, MAP 10; PREPARED FOR MOD-TAP; SCALE: 1"=000; DATED OCTOBER 1988; PREPARED BY 000000; RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS AS PLAN #29681.

NOTES:

- THE OWNER OF RECORD:
RAYMOND JAMES GRANITE PROP LLC
193 LOWELL RD
HUDSON, NH 03051
BK 9403 PG 2706
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF MAP 210 LOT 1 BASED ON AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE DURING OCTOBER 2020.
- HORIZONTAL DATUM IS REFERENCED TO NAD83 (NHSPC); VERTICAL DATUM BASED ON NAVD88, PER OBSERVATIONS TAKEN OCTOBER 27, 2020.
- MAP 210 LOT 1 IS ZONED "B-BUSINESS" DISTRICT PER TOWN OF HUDSON ZONING MAP.
MIN. LOT FRONTAGE: 150FT
MIN. FRONT YARD: 50FT
MIN. SIDE YARD: 15FT
MIN. REAR YARD: 15FT
WETLAND SETBACK: 75FT
- MAP 210 LOT 1 IS NOT LOCATED WITHIN THE SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33011C0656D, WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2009.

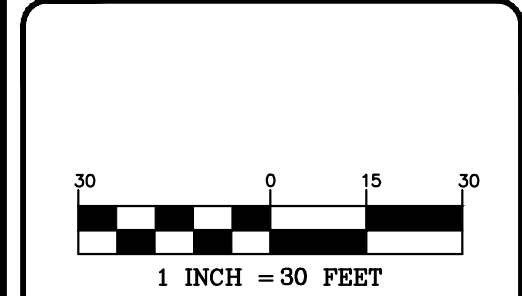
WETLAND NOTES

- WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN OCTOBER 2020, AND FIELD LOCATED BY THIS OFFICE IN OCTOBER 2020.
- WETLAND DELINEATION WAS PERFORMED TO THE STANDARDS OF THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, (JANUARY, 1987).
- DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE CRITERIA OF FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, 2004.
- DOMINANCE OF WETLAND VEGETATION WAS ASSESSED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: 1988 NORTHEAST (REGION 1) (PORTER B. REED, JR.).



The Dubay Group, Inc.
136 Harvey Road Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers
Planners
Surveyors
TheDubayGroup.com



REVISIONS:

REV.	DATE	COMMENT	BY
3	4/24/24	TOWN COMMENTS	SJK

DRAWN BY: TWS
CHECKED BY: JAC
DATE: DEC. 17, 2021
SCALE: 1" = 30'
FILE: 469ws
DEED REF: H.C.R.D.: BK. 9403 PG. 2706

PROJECT:
GRANITE SUBARU EXPANSION
MAP 210 LOT 1
6 EXECUTIVE DRIVE
HUDSON, NH 03051

FOR
RAYMOND JAMES GRANITE PROP LLC
193 LOWELL RD
HUDSON, NH 03051

SHEET TITLE:
EXISTING CONDITIONS PLAN

LEGEND

- | | | | |
|-----------|--------------------------|-----|-----------------------|
| ○ ○ ○ ○ ○ | STONE WALL | ⊙ | UTILITY POLE |
| — — — — — | DOUBLE SOLID LINE YELLOW | ⊕ | DRAIN MANHOLE |
| — — — — — | SINGLE SOLID LINE YELLOW | ⊗ | CATCH BASIN |
| — — — — — | SINGLE SOLID LINE WHITE | ⊙ | SEWER MANHOLE |
| — — — — — | SINGLE BROKEN LINE WHITE | ☆ | LIGHT POLE |
| — — — — — | VERTICAL GRANITE CURB | ⊙ | FIRE HYDRANT |
| — — — — — | EDGE OF PAVEMENT | ⊕ | WATER VALVE |
| — — — — — | RETAINING WALL | ⊕ | WATER SHUT OFF |
| — — — — — | OVERHEAD WIRE | ⊕ | SIGN |
| — — — — — | DRAIN LINE | ⊕ | BUSH |
| — — — — — | SEWER LINE | MB | MAILBOX |
| — — — — — | WATER LINE | W | CAPE COD BERM |
| — — — — — | GAS LINE | G | LANDSCAPE AREA |
| — — — — — | TREELINE | GBF | GRANITE BOUND FOUND |
| — — — — — | WETLAND SETBACK | IRF | IRON ROD FOUND |
| — — — — — | DELINEATED WETLAND | NHB | NH HIGHWAY BOUND FND. |
| — — — — — | BUILDING SETBACK | IPF | IRON PIPE FOUND |

MAP 216 LOT 14
MISSION POINTE
CONDOMINIUM ASSOC.
35 OBLATE DR.
HUDSON, NH 03051
BOOK 8758 PAGE 2472

LAND SURVEYORS CERTIFICATION:

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THE SURVEY THAT IT WAS BASED ON HAD AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

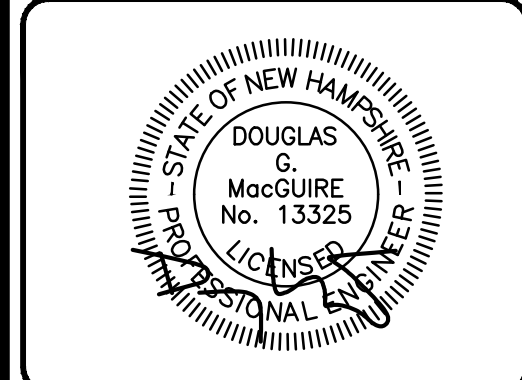
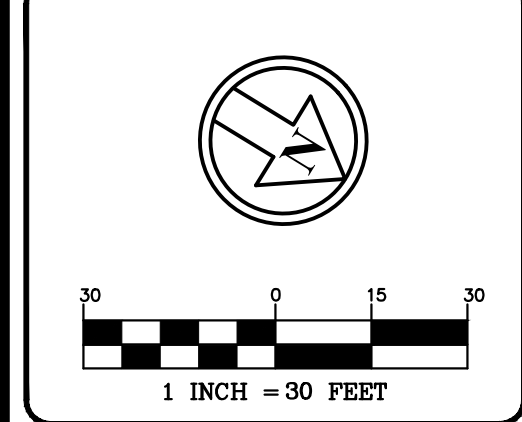
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

JOEL A. CONNOLLY, LLS #997 DATE _____



The Dubai Group, Inc.
 136 Harvey Road Bldg B101
 Londonderry, NH 03053
 603-458-6462

Engineers
 Planners
 Surveyors
 TheDubayGroup.com



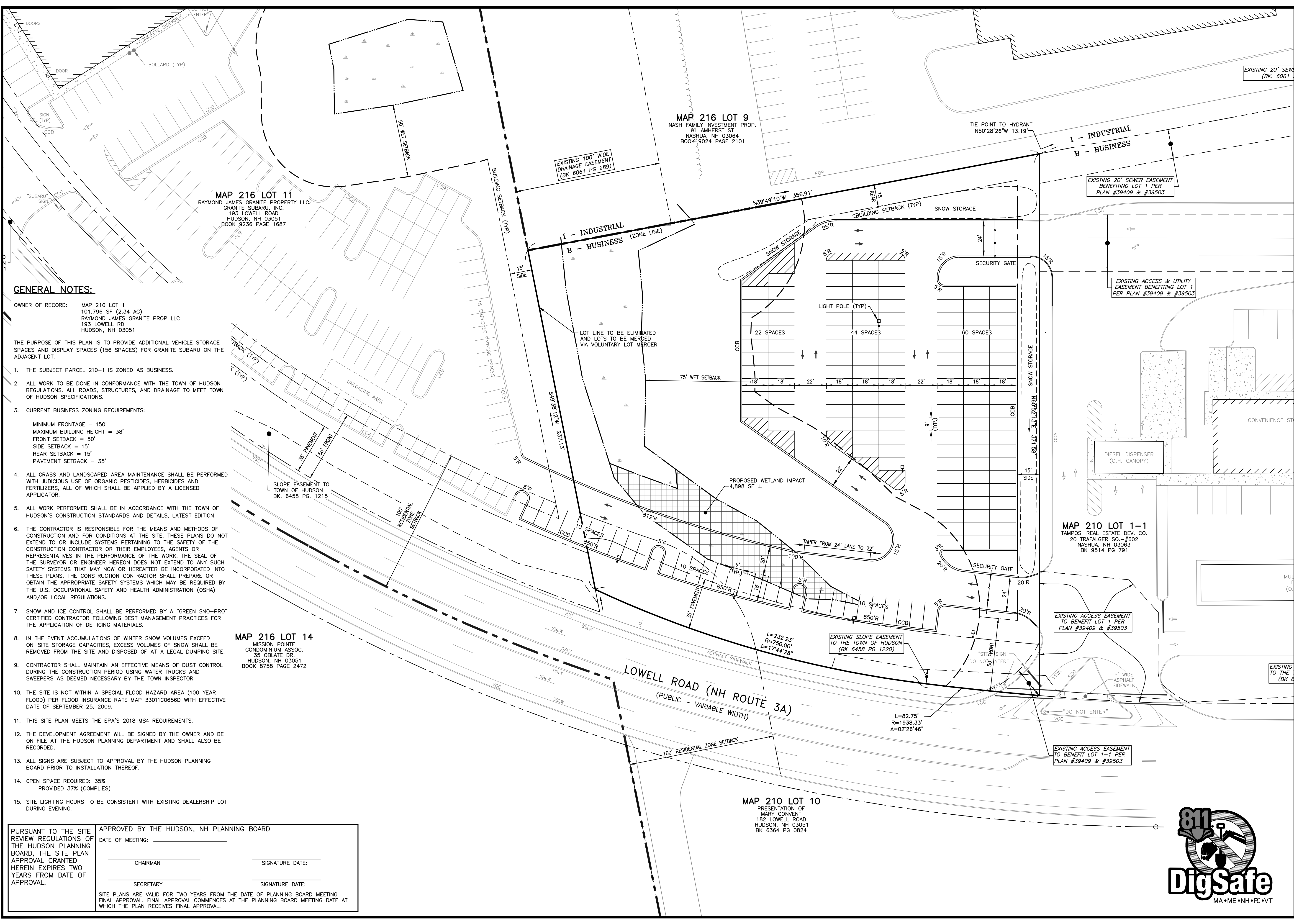
REV#	DATE	REVISIONS:	BY:
1	9/1/22	NHDES COMMENTS	SJK
2	7/13/23	NHDES COMMENTS	SJK
3	4/24/24	TOWN COMMENTS	SJK
4	8/12/24	TOWN COMMENTS	SJK

DRAWN BY: SJK
 CHECKED BY: DGM
 DATE: DEC. 17, 2021
 SCALE: 1"=30'
 FILE: 469-SITE
 DEED REF: H.C.R.D.: BK. 9403 PG. 2706

PROJECT:
GRANITE SUBARU EXPANSION
 MAP 210 LOT 1
 6 EXECUTIVE DRIVE
 HUDSON, NH 03051

FOR
RAYMOND JAMES GRANITE PROP LLC
 193 LOWELL RD
 HUDSON, NH 03051

SHEET TITLE:
SITE PLAN
 PROJECT #469 SHEET 3 of 11



GENERAL NOTES:

- OWNER OF RECORD: MAP 210 LOT 1
 101,796 SF (2.34 AC)
 RAYMOND JAMES GRANITE PROP LLC
 193 LOWELL RD
 HUDSON, NH 03051
- THE PURPOSE OF THIS PLAN IS TO PROVIDE ADDITIONAL VEHICLE STORAGE SPACES AND DISPLAY SPACES (156 SPACES) FOR GRANITE SUBARU ON THE ADJACENT LOT.
- THE SUBJECT PARCEL 210-1 IS ZONED AS BUSINESS.
 - ALL WORK TO BE DONE IN CONFORMANCE WITH THE TOWN OF HUDSON REGULATIONS. ALL ROADS, STRUCTURES, AND DRAINAGE TO MEET TOWN OF HUDSON SPECIFICATIONS.
 - CURRENT BUSINESS ZONING REQUIREMENTS:
 MINIMUM FRONTAGE = 150'
 MAXIMUM BUILDING HEIGHT = 38'
 FRONT SETBACK = 50'
 SIDE SETBACK = 15'
 REAR SETBACK = 15'
 PAVEMENT SETBACK = 35'
 - ALL GRASS AND LANDSCAPED AREA MAINTENANCE SHALL BE PERFORMED WITH JUDICIOUS USE OF ORGANIC PESTICIDES, HERBICIDES AND FERTILIZERS, ALL OF WHICH SHALL BE APPLIED BY A LICENSED APPLICATOR.
 - ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE TOWN OF HUDSON'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
 - SNOW AND ICE CONTROL SHALL BE PERFORMED BY A "GREEN SNO-PRO" CERTIFIED CONTRACTOR FOLLOWING BEST MANAGEMENT PRACTICES FOR THE APPLICATION OF DE-ICING MATERIALS.
 - IN THE EVENT ACCUMULATIONS OF WINTER SNOW VOLUMES EXCEED ON-SITE STORAGE CAPACITIES, EXCESS VOLUMES OF SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A LEGAL DUMPING SITE.
 - CONTRACTOR SHALL MAINTAIN AN EFFECTIVE MEANS OF DUST CONTROL DURING THE CONSTRUCTION PERIOD USING WATER TRUCKS AND SWEEPERS AS DEEMED NECESSARY BY THE TOWN INSPECTOR.
 - THE SITE IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP 33011C0656D WITH EFFECTIVE DATE OF SEPTEMBER 25, 2009.
 - THIS SITE PLAN MEETS THE EPA'S 2018 MS4 REQUIREMENTS.
 - THE DEVELOPMENT AGREEMENT WILL BE SIGNED BY THE OWNER AND BE ON FILE AT THE HUDSON PLANNING DEPARTMENT AND SHALL ALSO BE RECORDED.
 - ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO INSTALLATION THEREOF.
 - OPEN SPACE REQUIRED: 35%
 PROVIDED 37% (COMPLIES)
 - SITE LIGHTING HOURS TO BE CONSISTENT WITH EXISTING DEALERSHIP LOT DURING EVENING.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

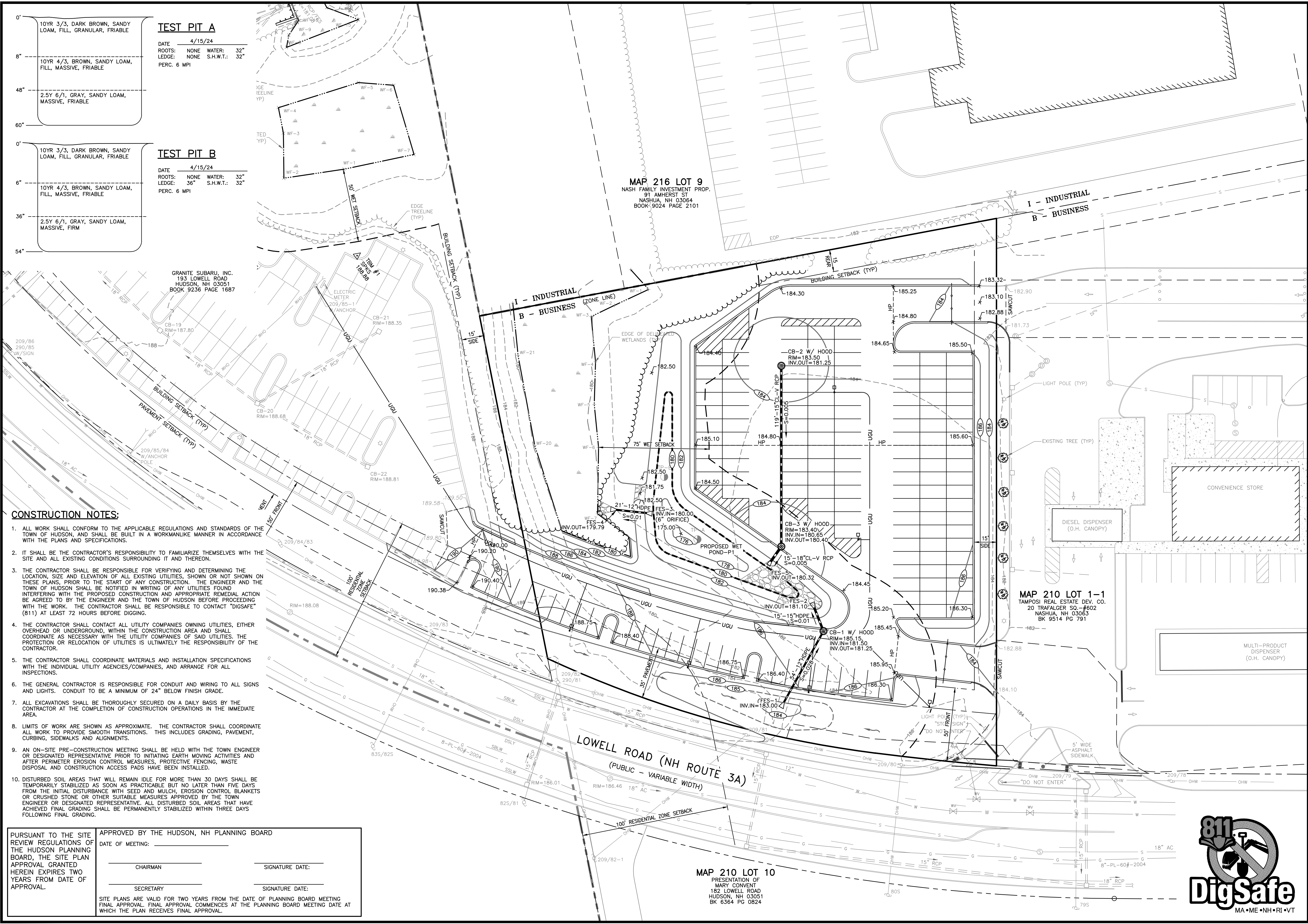
CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



N:\PROJECTS\469-Angelini-Subaru - Hudson\DWG\CURRENT\469-SITE.dwg



TEST PIT A

DATE: 4/15/24
 ROOTS: NONE WATER: 32"
 LEDGE: NONE S.H.W.T.: 32"
 PERC. 6 MPI

TEST PIT B

DATE: 4/15/24
 ROOTS: NONE WATER: 32"
 LEDGE: 36" S.H.W.T.: 32"
 PERC. 6 MPI

MAP 216 LOT 9
 NASH FAMILY INVESTMENT PROP.
 91 AMHERST ST
 NASHUA, NH 03064
 BOOK: 9024 PAGE 2101

MAP 210 LOT 1-1
 TAMPOSI REAL ESTATE DEV. CO.
 20 TRAFALGER SQ - #602
 NASHUA, NH 03063
 BK 9514 PG 791

MAP 210 LOT 10
 PRESENTATION OF
 MARY CONVENT
 182 LOWELL ROAD
 HUDSON, NH 03051
 BK 6364 PG 0824

CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER AND THE TOWN OF HUDSON SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER AND THE TOWN OF HUDSON BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
- AN ON-SITE PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN ENGINEER OR DESIGNATED REPRESENTATIVE PRIOR TO INITIATING EARTH MOVING ACTIVITIES AND AFTER PERIMETER EROSION CONTROL MEASURES, PROTECTIVE FENCING, WASTE DISPOSAL AND CONSTRUCTION ACCESS PADS HAVE BEEN INSTALLED.
- DISTURBED SOIL AREAS THAT WILL REMAIN IDLE FOR MORE THAN 30 DAYS SHALL BE TEMPORARILY STABILIZED AS SOON AS PRACTICABLE BUT NO LATER THAN FIVE DAYS FROM THE INITIAL DISTURBANCE WITH SEED AND MULCH, EROSION CONTROL BLANKETS OR CRUSHED STONE OR OTHER SUITABLE MEASURES APPROVED BY THE TOWN ENGINEER OR DESIGNATED REPRESENTATIVE. ALL DISTURBED SOIL AREAS THAT HAVE ACHIEVED FINAL GRADING SHALL BE PERMANENTLY STABILIZED WITHIN THREE DAYS FOLLOWING FINAL GRADING.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

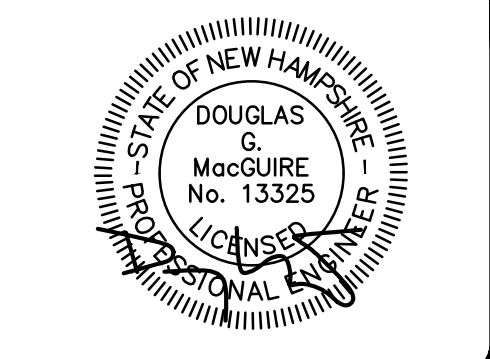
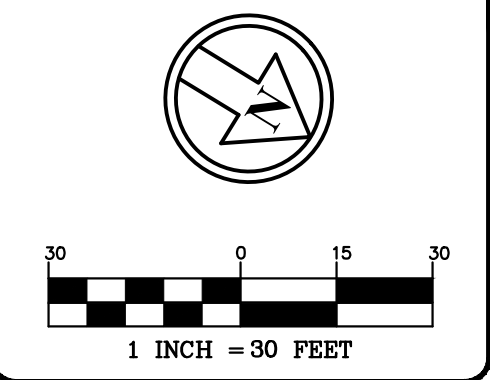
SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



The Dubai Group, Inc.
 136 Harvey Road Bldg B101
 Londonderry, NH 03053
 603-458-6462

Engineers
 Planners
 Surveyors
 TheDubayGroup.com



REV.	DATE:	COMMENT:	BY:
1	9/1/22	NHDES COMMENTS	SJK
2	7/13/23	NHDES COMMENTS	SJK
3	4/24/24	TOWN COMMENTS	SJK
4	8/12/24	TOWN COMMENTS	DGM

DRAWN BY: SJK
 CHECKED BY: DGM
 DATE: DEC. 17, 2021
 SCALE: 1"=30'
 FILE: 469-GU
 DEED REF: H.C.R.D.: BK. 9403 PG. 2706

PROJECT:
GRANITE SUBARU EXPANSION
 MAP 210 LOT 1
 6 EXECUTIVE DRIVE
 HUDSON, NH 03051

FOR _____
RAYMOND JAMES GRANITE PROP LLC
 193 LOWELL RD
 HUDSON, NH 03051

SHEET TITLE:
GRADING, DRAINAGE, & UTILITY PLAN



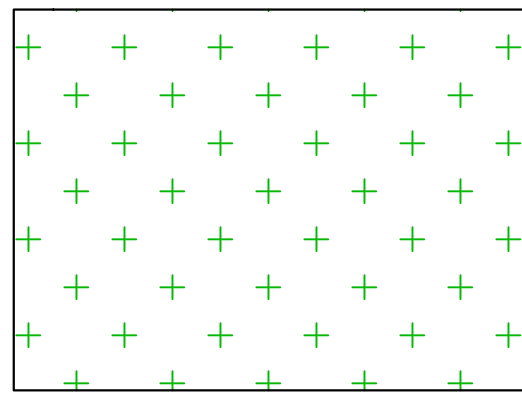
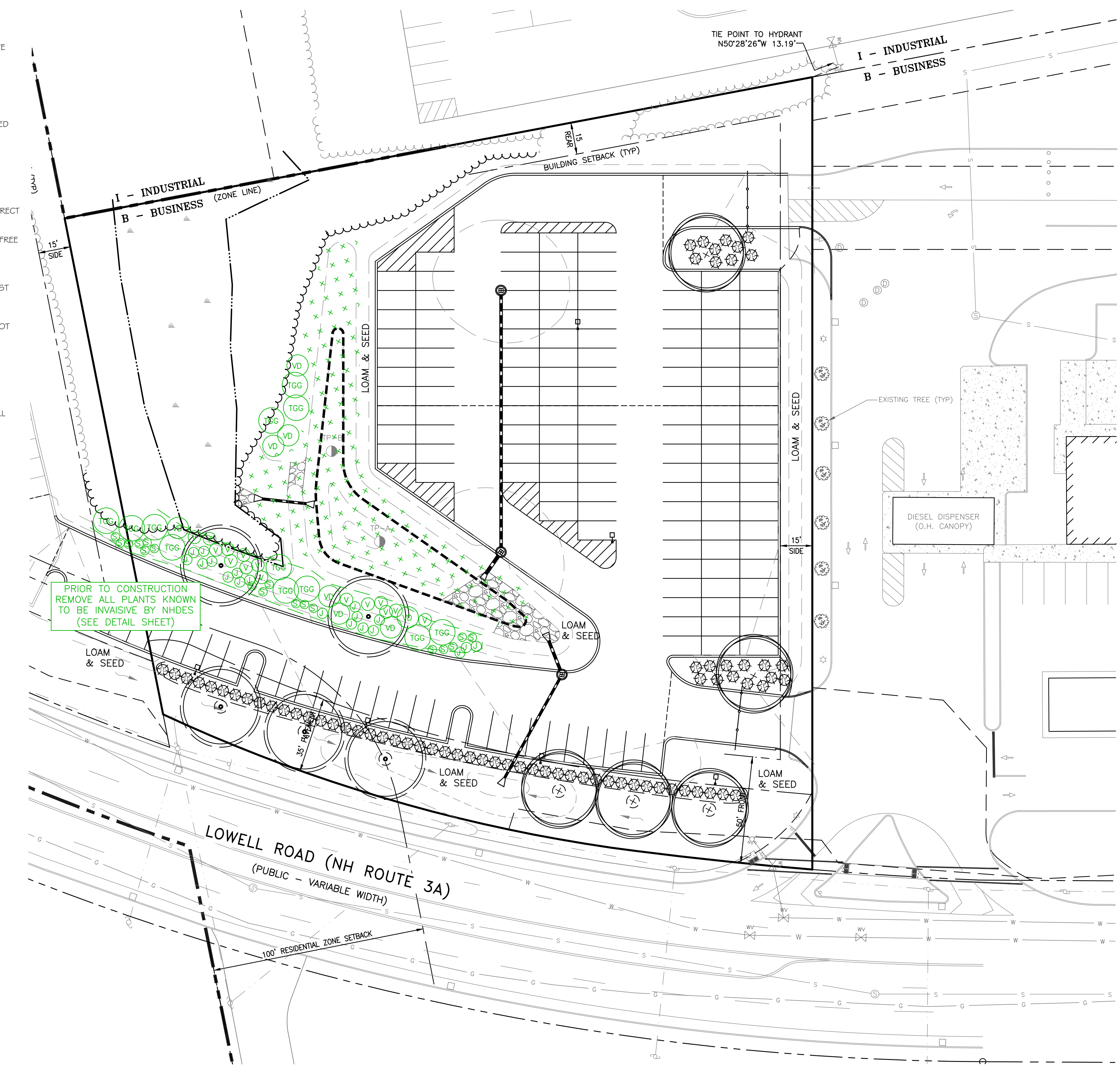
N:\PROJECTS\469-Angelini-Subaru-Hudson\DWG\CURRENT\469-GU.dwg

LANDSCAPE NOTES:

1. PRIOR TO CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING AND NEWLY INSTALLED UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS.
2. WHEREVER POSSIBLE EXISTING TREES SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION. DISTURBED SIDE SLOPES SHALL BE ALLOWED TO NATURALLY VEGETATE TO SUSTAIN EXISTING WILDLIFE AND PLANT LIFE.
3. THE PROPOSED DECIDUOUS TREES SHALL BE A MIN. 2" CALIPER @ 4' ABOVE GRADE, WITH EVERGREENS AT 6' HT.
4. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED WITH A MINIMUM OF 6" SUITABLE LOAM, EXCEPT UNDER THE MULCH BEDS. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. (SEE PLANS BY ENGINEER)
5. PLANTS SHALL NOT BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA OF THE PLANTING.
6. ALL TREES SHALL BE BALLED AND BURLAP UNLESS OTHERWISE NOTED.
7. ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
8. WHERE APPLICABLE THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
9. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
10. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
11. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
12. IN SO FAR AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
13. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60 (REV. 1996) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
14. ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
15. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
16. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH "WILT-FRUP" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
17. NO PLANT, SHALL BE PLANTED LESS THAN SIX FEET FROM EXISTING STRUCTURES.
18. SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
19. ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
20. NO SOIL CONTAINING ANY LIVING OR VIABLE PORTION OF PLANTS ON THE NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST (AGR. TABLE 3600) SHALL BE TRANSPORTED TO OR FROM CONSTRUCTION SITES WITHOUT NOTIFICATION AND APPROVAL FROM THE NEW HAMPSHIRE DEPT. OF AGRICULTURE PER RSA 430:55.

LANDSCAPE LEGEND:

BOTANICAL NAME / COMMON NAME	SIZE # REMARKS	MATURE HT.	MATURE WIDTH
DECIDUOUS SHADE TREE			
 5 ACER SACCHARUM 'COMMEMORATION' / COMMEMORATION SUGAR MAPLE	2" CAL. (@ 4' ABOVE GRADE) B#B	40'-60'	30'-40'
 5 GLEDITSIA T.I. 'HALKA' / HALKA HONEYLOCUST	2" CAL. (@ 4' ABOVE GRADE) B#B	30'-40'	30'-40'
 70 TAXUS MEDIA 'EVER-LOW' / EVER-LOW YEW	5 GAL.	2'	5'-6'
 12 THUJA PLICATA 'GREEN GIANT' / ARBORVITAE, GREEN GIANT	6' HT. B#B	30'-40'	15'-20'
 19 JUNIPERUS CHINENSIS 'SEAGREEN' / SEAGREEN JUNIPER	30" B#B	5'-6'	4'-5'
 8 VIBURNUM DENTANUM / ARROWWOOD VIBURNUM	4' HT. B#B	8'-10'	8'-10'
 15 VACCINIUM CORYMBOSUM / HIGH BUSH BLUEBERRY	4' HT. B#B	8'-10'	8'-10'
 18 ILEX VERTICILLATA 'RED SPRITE' / RED SPRITE WINTERBERRY	3 GAL.	3'-4'	3'-4'

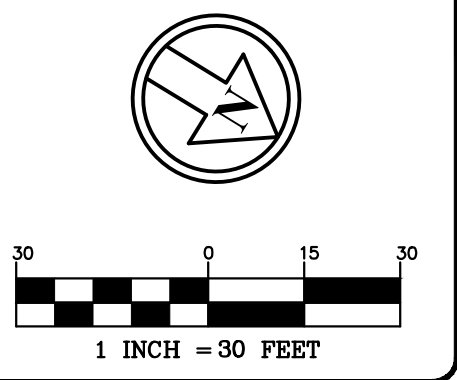


SEED DETENTION POND WITH ERNST NATIVE DETENTION AREA MIX -ITEM NUMBER: ERNMX-183
 MIX COMPOSITION: 26.0% PANICUM CLANDESTINUM, TIAGA (DEERTONGUE, TIAGA), 25.0% PANICUM VIRGATUM, 'SHELTER' (SWITCHGRASS, 'SHELTER'), 20.0% CAREX VULPINOIDEA, PA ECOTYPE (FOX SEDGE, PA ECOTYPE), 20.0% ELYMUS VIRGINICUS, 'MADISON' (VIRGINIA WILDRYE, 'MADISON') 4.0% AGROSTIS PERENNANS, ALBANY PINE BUSH-NY ECOTYPE (AUTUMN BENTGRASS, ALBANY PINE BUSH-NY ECOTYPE), 3.0% JUNCUS EFFUSUS (SOFT RUSH), 1.0% JUNCUS TENUIS, PA ECOTYPE (PATH RUSH, PA ECOTYPE), 1.0% PANICUM RIGIDULUM, PA ECOTYPE (REDTOP PANICGRASS, PA ECOTYPE)
 SEEDING RATE: 20 LB PER ACRE, OR 1/2 LB PER 1,000 SQ FT
 MAINTENANCE: ONCE A YEAR, IN LATE FALL WHEN ALL FLOWERS HAVE RIPENED AND DROPPED THEIR SEEDS MOW THE DETENTION/RETENTION AREAS. ONCE-A-YEAR MOWING WILL REMOVE TREE AND BRUSH SEEDLINGS, IF LEFT UN-MOWED, TREES AND BRUSH WILL EVENTUALLY TAKE OVER.



The Dubai Group, Inc.
 136 Harvey Road Bldg B101
 Londonderry, NH 03053
 603-458-6462

Engineers
 Planners
 Surveyors
 TheDubayGroup.com



REVISIONS:			
REV.	DATE	COMMENT	BY
3	4/24/24	TOWN COMMENTS	SJK

DRAWN BY: REK
 CHECKED BY: DGM
 DATE: DEC. 17, 2021
 SCALE: 1"=30'
 FILE: 469-LANDSCAPE
 DEED REF:
 H.C.R.D.: BK. 9403 PG. 2706

PROJECT:
GRANITE SUBARU EXPANSION
 MAP 210 LOT 1
 6 EXECUTIVE DRIVE
 HUDSON, NH 03051

FOR
RAYMOND JAMES GRANITE PROP LLC
 193 LOWELL RD
 HUDSON, NH 03051

SHEET TITLE:
LANDSCAPE PLAN

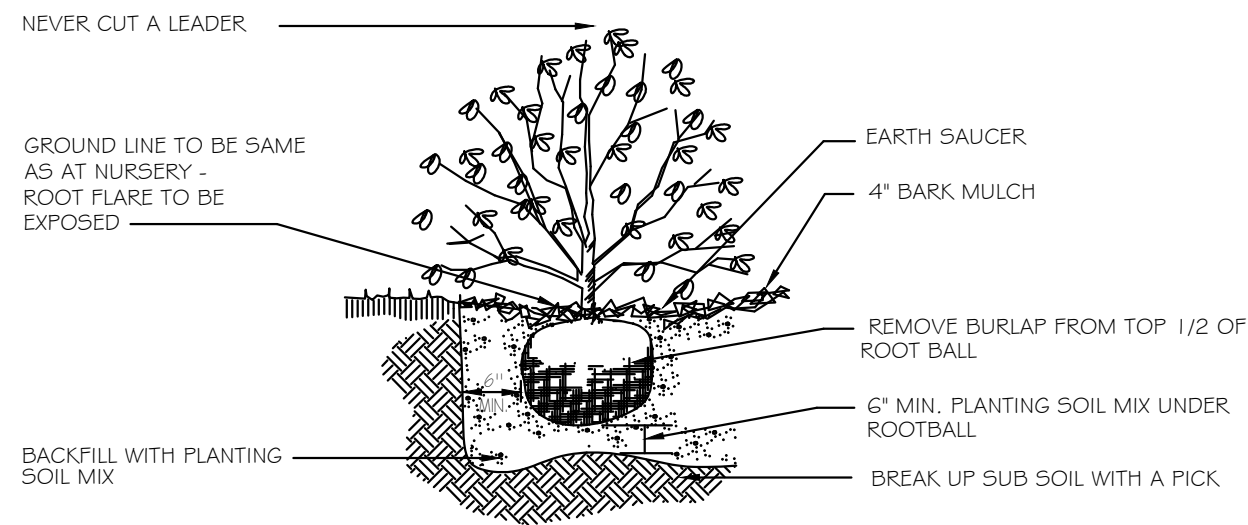


N:\PROJECTS\469-Angelini-Subaru-Hudson\DWG\CURRENT\469-LANDSCAPE.dwg

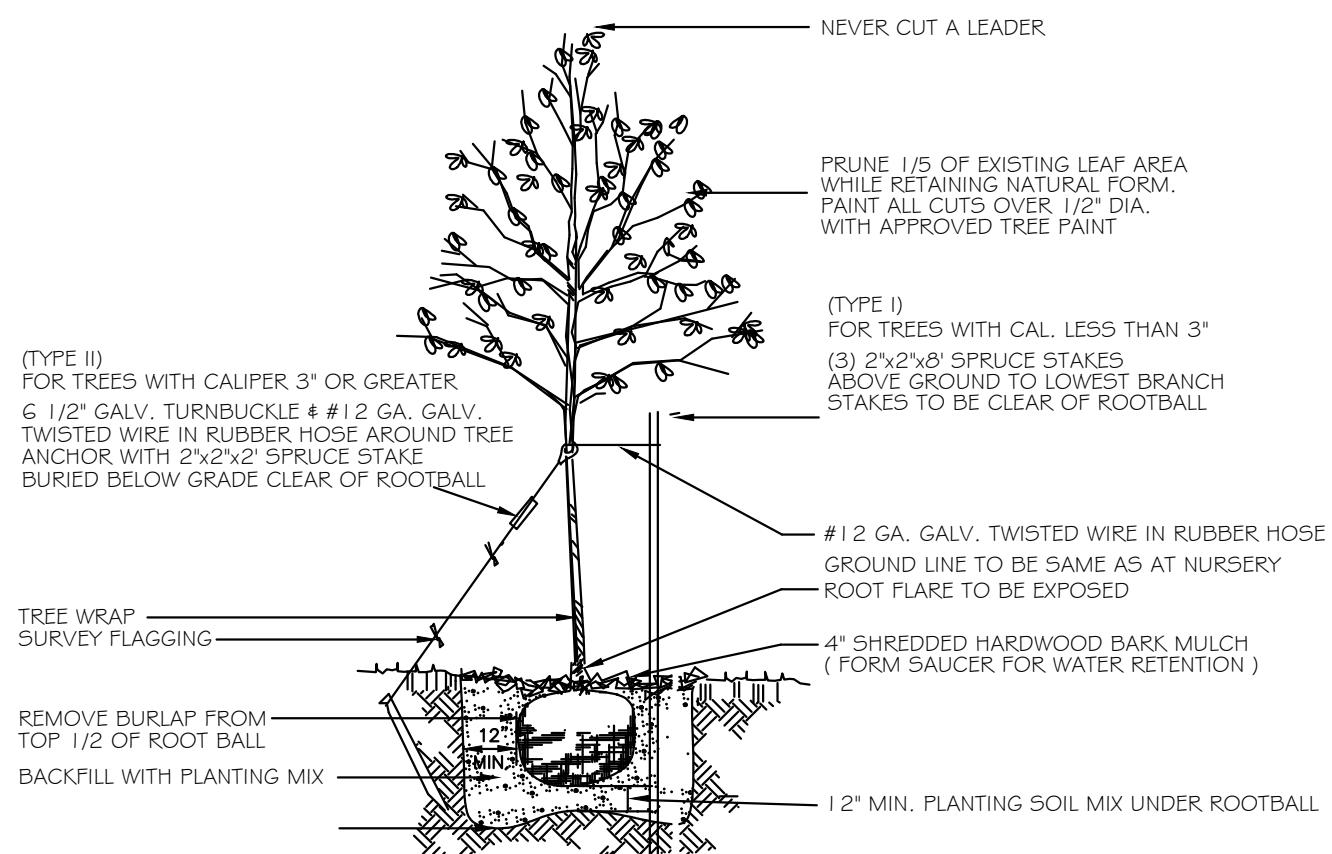
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 _____ CHAIRMAN _____ SIGNATURE DATE: _____
 _____ SECRETARY _____ SIGNATURE DATE: _____

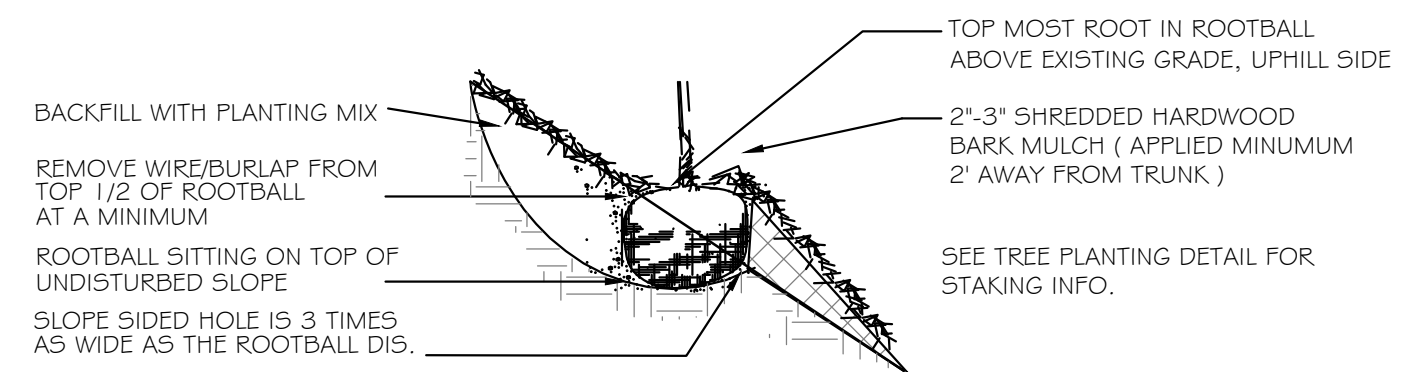
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



SHRUB PLANTING DETAIL NTS



DECIDUOUS TREE PLANTING DETAIL NTS



SLOPE PLANTING DETAIL NTS

UNIVERSITY of NEW HAMPSHIRE Methods for Disposing Non-Native Invasive Plants
COOPERATIVE EXTENSION

Prepared by the Invasives Species Outreach Group, volunteers interested in helping people control invasive plants. Assistance provided by the Piscataquog Land Conservancy and the NH Invasives Species Committee. Edited by Karen Bennett, Extension Forestry Professor and Specialist.



Tatarian honeysuckle
Lonicera tatarica
USDA-NRCS PLANTS Database / Britton, N.L., and A. Brown. 1913. *An illustrated flora of the northern United States, Canada and the British Possessions*. Vol. 3: 282.

Non-native invasive plants crowd out natives in natural and managed landscapes. They cost taxpayers billions of dollars each year from lost agricultural and forest crops, decreased biodiversity, impacts to natural resources and the environment, and the cost to control and eradicate them.

Invasive plants grow well even in less than desirable conditions such as sandy soils along roadsides, shaded wooded areas, and in wetlands. In ideal conditions, they grow and spread even faster. There are many ways to remove these non-native invasives, but once removed, care is needed to dispose the removed plant material so the plants don't grow where disposed.

Knowing how a particular plant reproduces indicates its method of spread and helps determine the appropriate disposal method. Most are spread by seed and are dispersed by wind, water, animals, or people. Some reproduce by vegetative means from pieces of stems or roots forming new plants. Others spread through both seed and vegetative means.

New Hampshire Regulations

Prohibited invasive species shall only be disposed of in a manner that renders them nonliving and nonviable. (Agr. 3802.04)

No person shall collect, transport, import, export, move, buy, sell, distribute, propagate or transplant any living and viable portion of any plant species, which includes all of their cultivars and varieties, listed in Table 3800.1 of the New Hampshire prohibited invasive species list. (Agr 3802.01)

Because movement and disposal of viable plant parts is restricted (see NH Regulations), viable invasive parts can't be brought to most transfer stations in the state. Check with your transfer station to see if there is an approved, designated area for invasives disposal. This fact sheet gives recommendations for rendering plant parts non-viable.

Control of invasives is beyond the scope of this fact sheet. For information about control visit www.nhinvasives.org or contact your UNH Cooperative Extension office.

Suggested Disposal Methods for Non-Native Invasive Plants

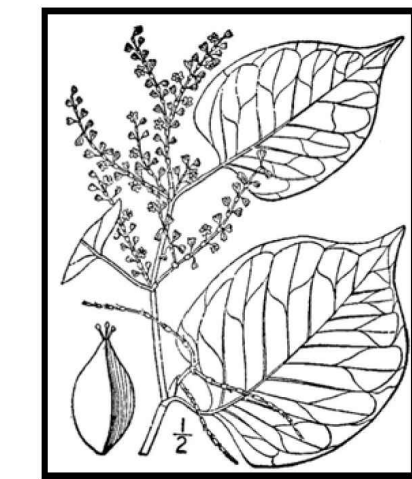
This table provides information concerning the disposal of removed invasive plant material. If the infestation is treated with herbicide and left in place, these guidelines don't apply. Don't bring invasives to a local transfer station, unless there is a designated area for their disposal, or they have been rendered non-viable. This listing includes wetland and upland plants from the New Hampshire Prohibited Invasive Species List. The disposal of aquatic plants isn't addressed.

Woody Plants	Method of Reproducing	Methods of Disposal
Norway maple (<i>Acer platanoides</i>) European barberry (<i>Berberis vulgaris</i>) Japanese barberry (<i>Berberis thunbergii</i>) autumn olive (<i>Elaeagnus umbellata</i>) burning bush (<i>Euonymus alatus</i>) Morrow's honeysuckle (<i>Lonicera morrowii</i>) Tatarian honeysuckle (<i>Lonicera tatarica</i>) showy bush honeysuckle (<i>Lonicera x bella</i>) common buckthorn (<i>Rhamnus cathartica</i>) glossy buckthorn (<i>Frangula alnus</i>)	↑ Fruit and Seeds ↓	<p>Prior to fruit/seed ripening Seedlings and small plants</p> <ul style="list-style-type: none"> ▪ Pull or cut and leave on site with roots exposed. No special care needed. <p>Larger plants</p> <ul style="list-style-type: none"> ▪ Use as firewood. ▪ Make a brush pile. ▪ Chip. ▪ Burn. <p>After fruit/seed is ripe Don't remove from site.</p> <ul style="list-style-type: none"> ▪ Burn. ▪ Make a covered brush pile. ▪ Chip once all fruit has dropped from branches. ▪ Leave resulting chips on site and monitor.
oriental bittersweet (<i>Celastrus orbiculatus</i>) multiflora rose (<i>Rosa multiflora</i>)	↑ Fruits, Seeds, Plant Fragments ↓	<p>Prior to fruit/seed ripening Seedlings and small plants</p> <ul style="list-style-type: none"> ▪ Pull or cut and leave on site with roots exposed. No special care needed. <p>Larger plants</p> <ul style="list-style-type: none"> ▪ Make a brush pile. ▪ Burn. <p>After fruit/seed is ripe Don't remove from site.</p> <ul style="list-style-type: none"> ▪ Burn. ▪ Make a covered brush pile. ▪ Chip – only after material has fully dried (1 year) and all fruit has dropped from branches. Leave resulting chips on site and monitor.

How and When to Dispose of Invasives?

To prevent seed from spreading remove invasive plants before seeds are set (produced). Some plants continue to grow, flower and set seed even after pulling or cutting. Seeds can remain viable in the ground for many years. If the plant has flowers or seeds, place the flowers and seeds in a heavy plastic bag "head first" at the weeding site and transport to the disposal site. The following are general descriptions of disposal methods. See the chart for recommendations by species.

Burning: Large woody branches and trunks can be used as firewood or burned in piles. For outside burning, a written fire permit from the local fire warden is required unless the ground is covered in snow. Brush larger than 5 inches in diameter can't be burned. Invasive plants with easily airborne seeds like black swallow-wort with mature seed pods (indicated by their brown color) shouldn't be burned as the seeds may disperse by the hot air created by the fire.



Japanese knotweed
Polygonum cuspidatum
USDA-NRCS PLANTS Database / Britton, N.L., and A. Brown. 1913. *An illustrated flora of the northern United States, Canada and the British Possessions*. Vol. 1: 676.

Bagging (solarization): Use this technique with softer-tissue plants. Use heavy black or clear plastic bags (contractor grade), making sure that no parts of the plants poke through. Allow the bags to sit in the sun for several weeks and on dark pavement for the best effect.

Tarping and Drying: Pile material on a sheet of plastic and cover with a tarp, fastening the tarp to the ground and monitoring it for escapes. Let the material dry for several weeks, or until it is clearly nonviable.

Chipping: Use this method for woody plants that don't reproduce vegetatively.

Burying: This is risky, but can be done with watchful diligence. Lay thick plastic in a deep pit before placing the cut up plant material in the hole. Place the material away from the edge of the plastic before covering it with more heavy plastic. Eliminate as much air as possible and toss in soil to weight down the material in the pit. Note that the top of the buried material should be at least three feet underground. Japanese knotweed should be at least 5 feet underground!

Drowning: Fill a large barrel with water and place soft-tissue plants in the water. Check after a few weeks and look for rotted plant material (roots, stems, leaves, flowers). Well-rotted plant material may be composted. A word of caution—seeds may still be viable after using this method. Do this before seeds are set. This method isn't used often. Be prepared for an awful stink!

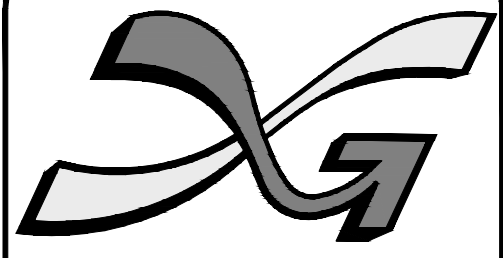
Composting: Invasive plants can take root in compost. Don't compost any invasives unless you know there is no viable (living) plant material left. Use one of the above techniques (bagging, tarping, drying, chipping, or drowning) to render the plants nonviable before composting. Closely examine the plant before composting and avoid composting seeds.

Be diligent looking for seedlings for years in areas where removal and disposal took place.

Non-Woody Plants	Method of Reproducing	Methods of Disposal
garlic mustard (<i>Alliaria petiolata</i>) spotted knapweed (<i>Centaurea maculosa</i>) black swallow-wort (<i>Cynanchum nigrum</i>) pale swallow-wort (<i>Cynanchum rossicum</i>) giant hogweed (<i>Heracleum mantegazzianum</i>) dame's rocket (<i>Hesperis matronalis</i>) perennial pepperweed (<i>Lepidium latifolium</i>) purple loosestrife (<i>Lythrum salicaria</i>) Japanese stilt grass (<i>Microstegium vimineum</i>) mile-a-minute weed (<i>Polygonum perfoliatum</i>)	↑ Fruits and Seeds ↓	<p>Prior to flowering Depends on scale of infestation</p> <p>Small infestation</p> <ul style="list-style-type: none"> ▪ Pull or cut plant and leave on site with roots exposed. <p>Large infestation</p> <ul style="list-style-type: none"> ▪ Pull or cut plant and pile. (You can pile onto or cover with plastic sheeting). ▪ Monitor. Remove any re-sprouting material. <p>During and following flowering Do nothing until the following year or remove flowering heads and bag and let rot.</p> <p>Small infestation</p> <ul style="list-style-type: none"> ▪ Pull or cut plant and leave on site with roots exposed. <p>Large infestation</p> <ul style="list-style-type: none"> ▪ Pull or cut plant and pile remaining material. (You can pile onto plastic or cover with plastic sheeting). ▪ Monitor. Remove any re-sprouting material.
common reed (<i>Phragmites australis</i>) Japanese knotweed (<i>Polygonum cuspidatum</i>) Bohemian knotweed (<i>Polygonum x bohemicum</i>)	↑ Fruits, Seeds, Plant Fragments ↓	<p>Small infestation</p> <ul style="list-style-type: none"> ▪ Bag all plant material and let rot. ▪ Never pile and use resulting material as compost. ▪ Burn. <p>Large infestation</p> <ul style="list-style-type: none"> ▪ Remove material to unsuitable habitat (dry, hot and sunny or dry and shaded location) and scatter or pile. ▪ Monitor and remove any sprouting material. ▪ Pile, let dry, and burn.

January 2010

UNH Cooperative Extension programs and policies are consistent with pertinent Federal and State laws and regulations, and prohibits discrimination in its programs, activities and employment on the basis of race, color, national origin, gender, religion, age, disability, political beliefs, sex, sexual orientation, or veteran's, marital or family status. College of Life Sciences and Agriculture, County Governments, NH Dept. of Resources and Economic Development, Division of Forests and Lands, NH Fish and Game, and U.S. Dept. of Agriculture cooperating.

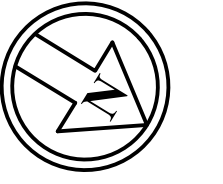


The Dubay Group, Inc.

136 Harvey Road Bldg B101
Londonderry, NH 03053
603-458-6462

- Engineers
- Planners
- Surveyors

TheDubayGroup.com



30 0 15 30
1 INCH = 30 FEET

REVISIONS:

REV.	DATE:	COMMENT:	BY:

DRAWN BY: REK
CHECKED BY: DGM
DATE: DEC. 17, 2021
SCALE: 1"=30'
FILE: 469-LANDSCAPE
DEED REF: H.C.R.D.: BK. 9403 PG. 2706

PROJECT:

GRANITE SUBARU EXPANSION
MAP 210 LOT 1
6 EXECUTIVE DRIVE
HUDSON, NH 03051

FOR

RAYMOND JAMES GRANITE PROP LLC
193 LOWELL RD
HUDSON, NH 03051

SHEET TITLE:

LANDSCAPE DETAILS

N:\PROJECTS\469-Angotti-Subaru - Hudson\DWG\CURRENT\469-LANDSCAPE.dwg



MA • ME • NH • RI • VT

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



The Dubai Group, Inc.

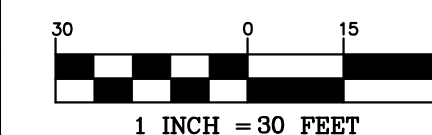
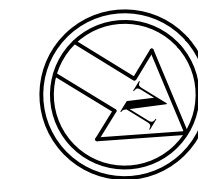
136 Harvey Road Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers

Planners

Surveyors

TheDubayGroup.com



PHILIP J. INFURNA
LIGHTING CONSULTANT
CELL: 774-212-7981
EMAIL: pinfurna@gmail.com

REVISIONS:			
REV.	DATE:	COMMENT:	BY:

DRAWN BY: SJK
CHECKED BY: DGM
DATE: DEC. 17, 2021
SCALE: 1"=30'
FILE: 469-LIGHTING
DEED REF:
H.C.R.D.: BK. 9403 PG. 2706

PROJECT:
**GRANITE SUBARU
EXPANSION**
MAP 210 LOT 1
6 EXECUTIVE DRIVE
HUDSON, NH 03051

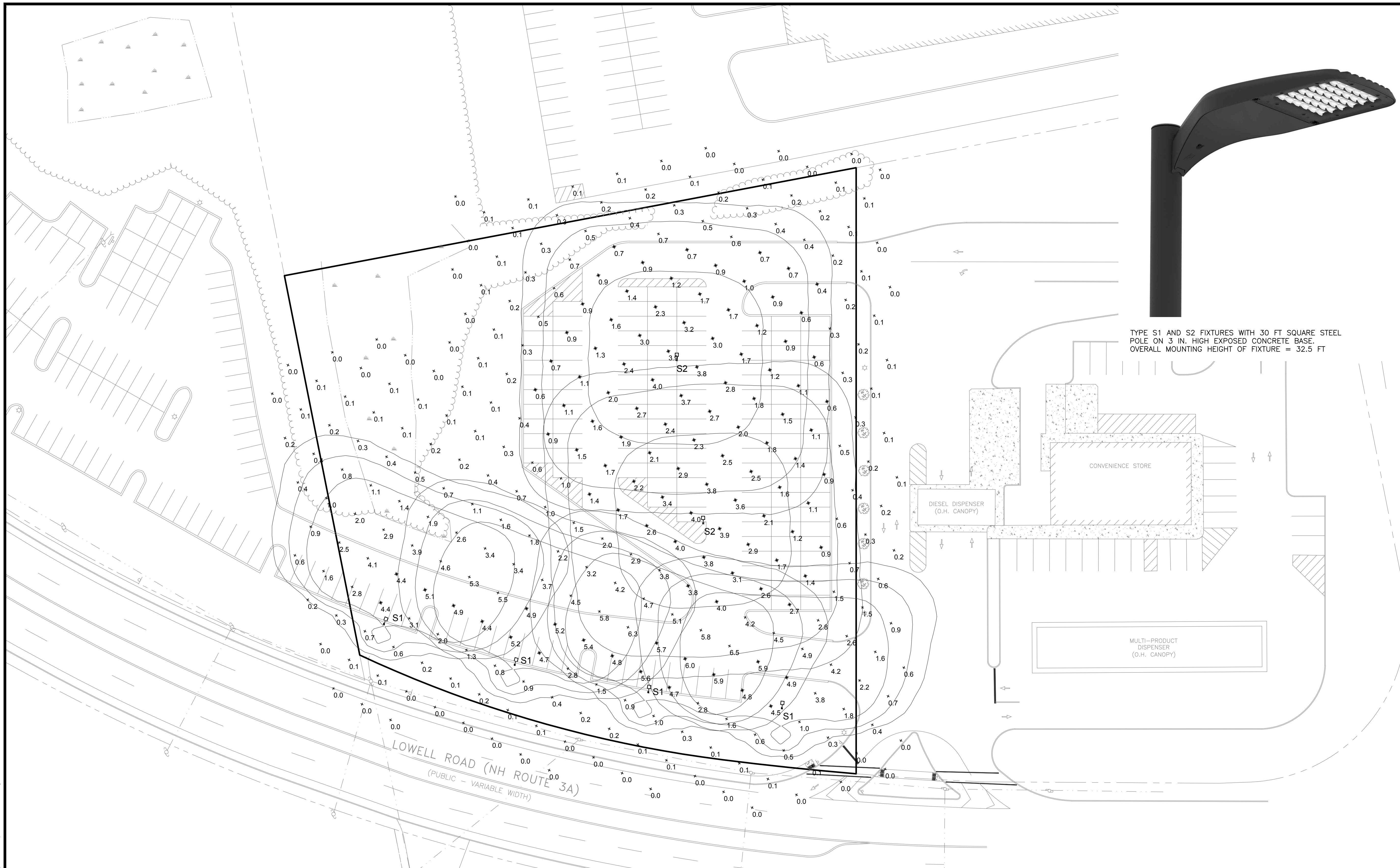
FOR
**RAYMOND JAMES
GRANITE PROP LLC**
193 LOWELL RD
HUDSON, NH 03051

SHEET TITLE:
**LIGHTING
PLAN**

PROJECT #469 SHEET 7 of 11



TYPE S1 AND S2 FIXTURES WITH 30 FT SQUARE STEEL
POLE ON 3 IN. HIGH EXPOSED CONCRETE BASE.
OVERALL MOUNTING HEIGHT OF FIXTURE = 32.5 FT



N:\PROJECTS\469-Angotti-Subaru-Hudson\DWG\CURRENT\469-LIGHTING.dwg

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

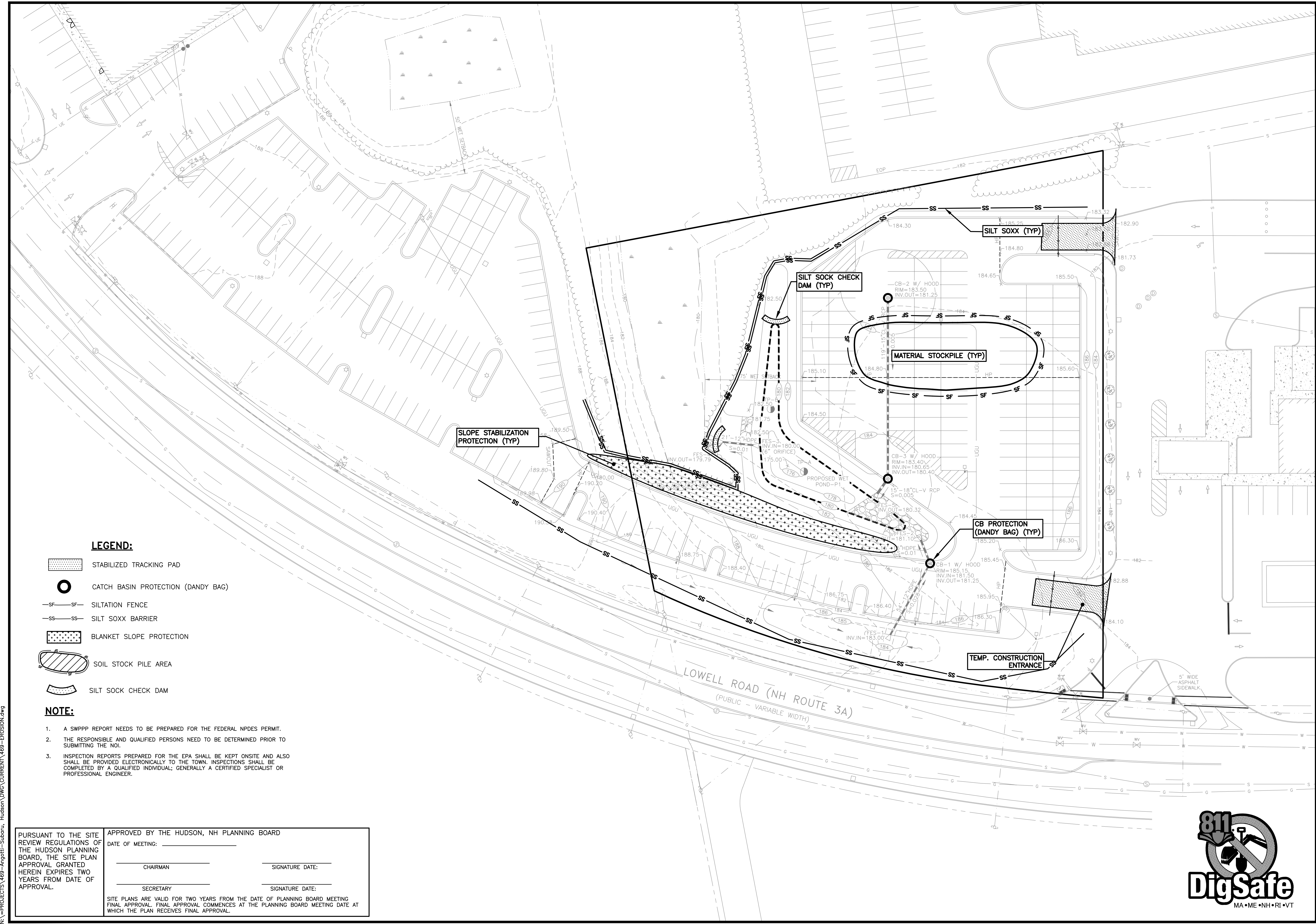
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____
SECRETARY _____ SIGNATURE DATE: _____

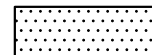

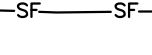
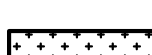

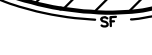

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps Per Lamp	Lumens	Light Loss Factor	Wattage
	S1	4	LSI Lighting	MRM-LED-42L-SIL-FI-40-70CRI-IH with 55Q S07630 S BRZ 5 BC	Full Cut Off LED Luminaire - Forward Throw Distribution with 30 ft. Square Steel Pole	1	31989	0.9	354
	S2	2	LSI Lighting	MRM-LED-42L-SIL-SW-40-70CRI-IH with 55Q S07630 S BRZ 5 BC	Full Cut Off LED Luminaire - Type V Square Distribution with 30 ft. Square Steel Pole	1	42562	0.9	354

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Entire Calculation Area	+	1.3 fc	6.5 fc	0.0 fc	N/A	N/A
Front Display Spaces	✱	5.1 fc	6.0 fc	4.4 fc	1.4:1	1.2:1
Rear Paved Lot	✱	1.9 fc	4.0 fc	0.4 fc	10.0:1	4.8:1



LEGEND:

-  STABILIZED TRACKING PAD
-  CATCH BASIN PROTECTION (DANDY BAG)
-  SILTATION FENCE
-  SILT SOXX BARRIER
-  BLANKET SLOPE PROTECTION
-  SOIL STOCK PILE AREA
-  SILT SOCK CHECK DAM

NOTE:

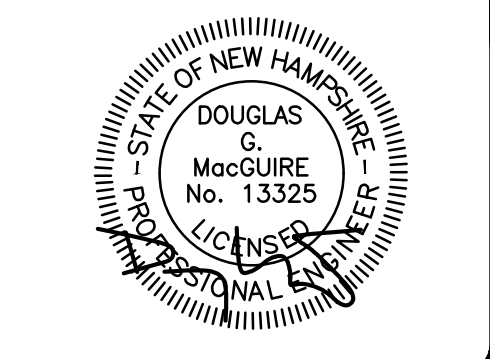
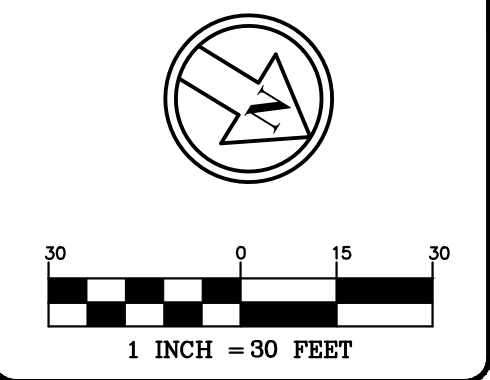
1. A SWPPP REPORT NEEDS TO BE PREPARED FOR THE FEDERAL NPDES PERMIT.
2. THE RESPONSIBLE AND QUALIFIED PERSONS NEED TO BE DETERMINED PRIOR TO SUBMITTING THE NOI.
3. INSPECTION REPORTS PREPARED FOR THE EPA SHALL BE KEPT ONSITE AND ALSO SHALL BE PROVIDED ELECTRONICALLY TO THE TOWN. INSPECTIONS SHALL BE COMPLETED BY A QUALIFIED INDIVIDUAL; GENERALLY A CERTIFIED SPECIALIST OR PROFESSIONAL ENGINEER.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.	APPROVED BY THE HUDSON, NH PLANNING BOARD	
	DATE OF MEETING: _____	
	_____ CHAIRMAN	_____ SIGNATURE DATE:
	_____ SECRETARY	_____ SIGNATURE DATE:
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.		



The Dubai Group, Inc.
 136 Harvey Road Bldg B101
 Londonderry, NH 03053
 603-458-6462

Engineers
 Planners
 Surveyors
 TheDubayGroup.com



REVISIONS:			
REV.	DATE:	COMMENT:	BY:
3	4/24/24	TOWN COMMENTS	SJK
4	8/12/24	TOWN COMMENTS	SJK

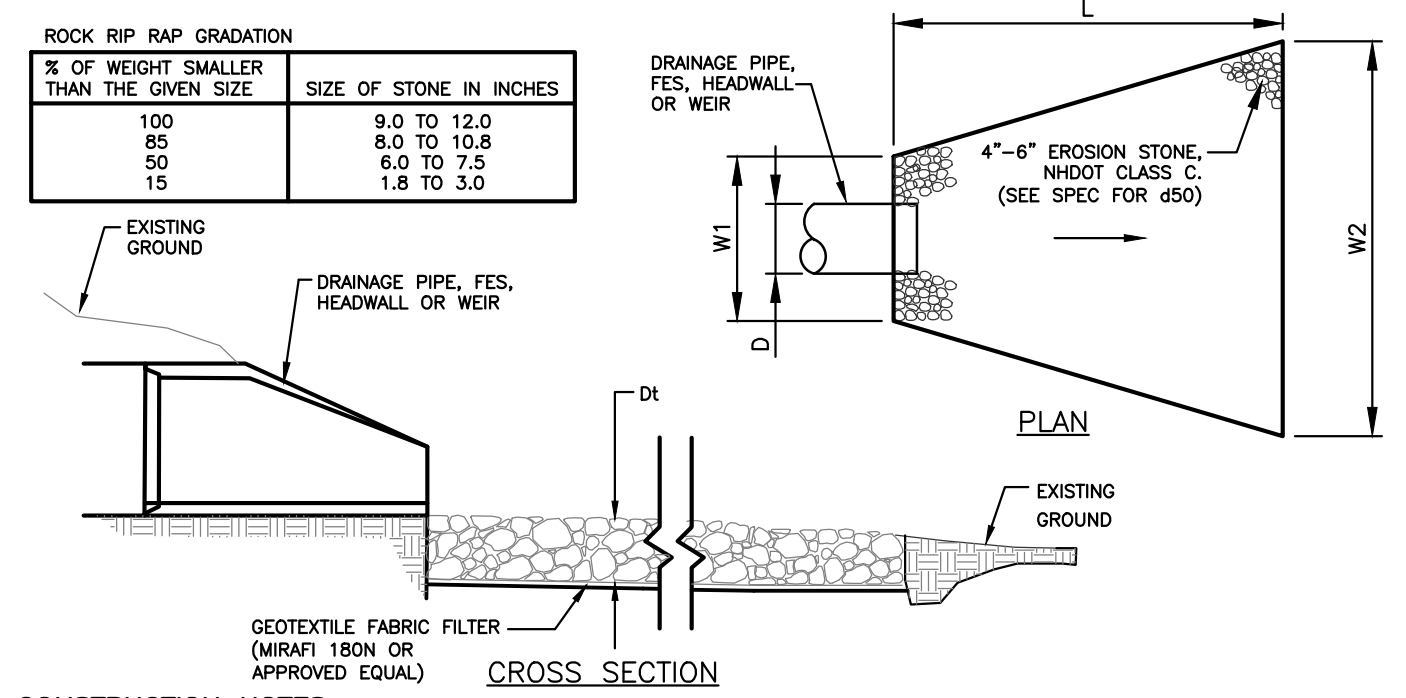
DRAWN BY: SJK
 CHECKED BY: DGM
 DATE: DEC. 17, 2021
 SCALE: 1"=30'
 FILE: 469-EROSION
 DEED REF:
 H.C.R.D.: BK. 9403 PG. 2706

PROJECT:
GRANITE SUBARU EXPANSION
 MAP 210 LOT 1
 6 EXECUTIVE DRIVE
 HUDSON, NH 03051
 FOR
RAYMOND JAMES GRANITE PROP LLC
 193 LOWELL RD
 HUDSON, NH 03051

SHEET TITLE:
EROSION PLAN
 PROJECT #469 SHEET 8 of 11



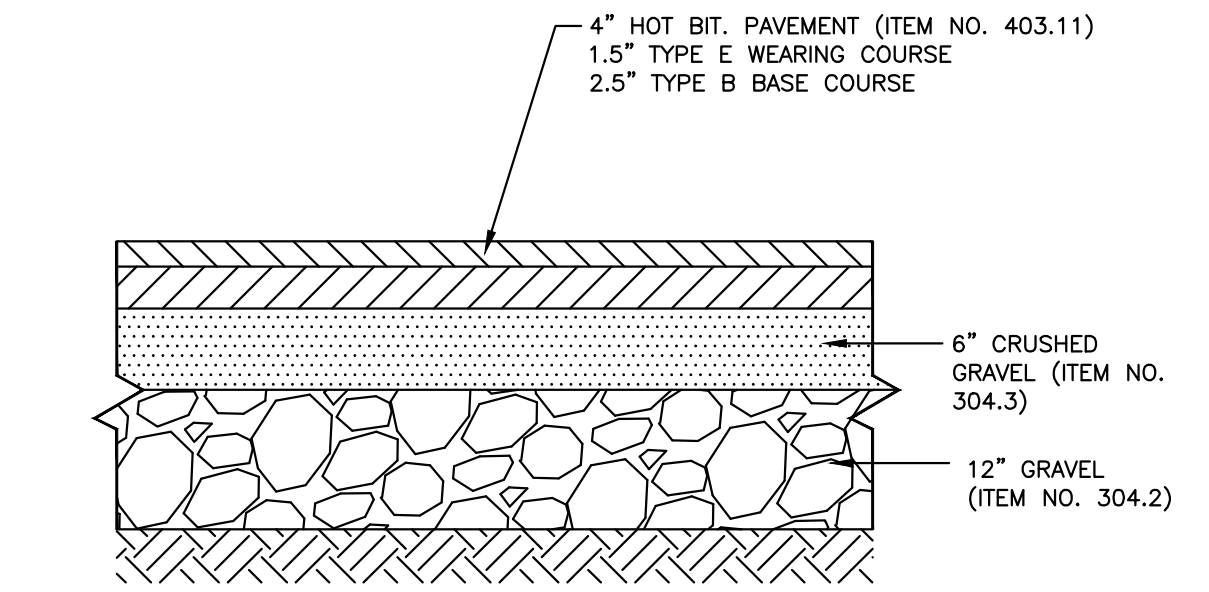
N:\PROJECTS\469-Angatti-Subaru - Hudson\DWG\CURRENT\469-EROSION.dwg



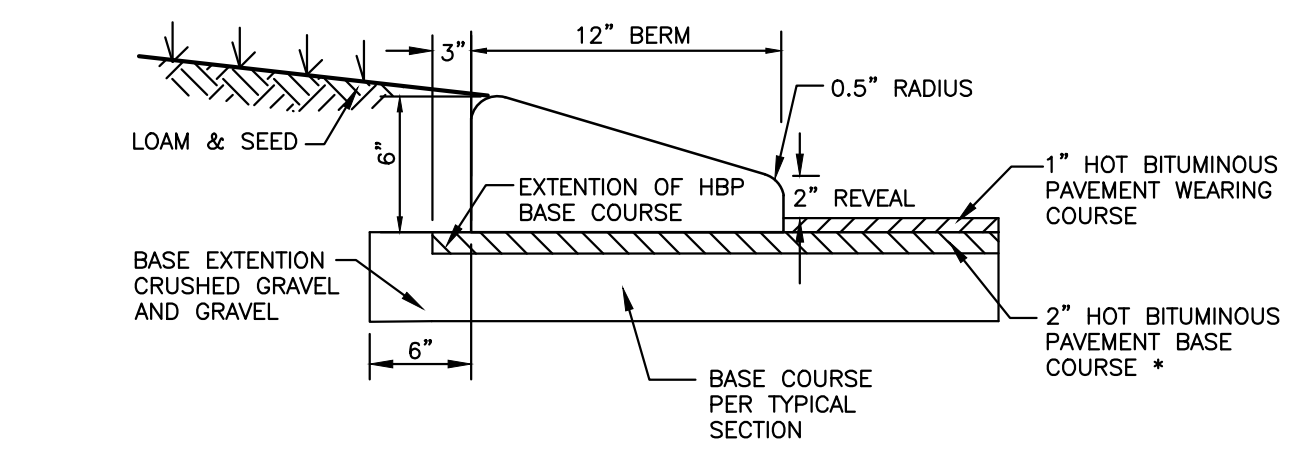
- CONSTRUCTION NOTES:**
1. THE SUBGRADE, GEOTEXTILE FABRIC, AND RIPRAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 2. THE ROCK OR GRAVEL USED FOR RIPRAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIPRAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 4. STONE FOR THE RIPRAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 5. THE MEDIAN STONE DIAMETER FOR THE RIPRAP APRON IS #50. FIFTY PERCENT BY WEIGHT OF THE RIPRAP MIXTURE SHALL BE SMALLER THAN THE MEDIAN STONE SIZE. THE LARGEST STONE SIZE IN THE MIXTURE SHALL BE 1.5 TIMES THE #50.

- MAINTENANCE:**
1. THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM WITHIN THE GROWING STABILIZATION PERIOD. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

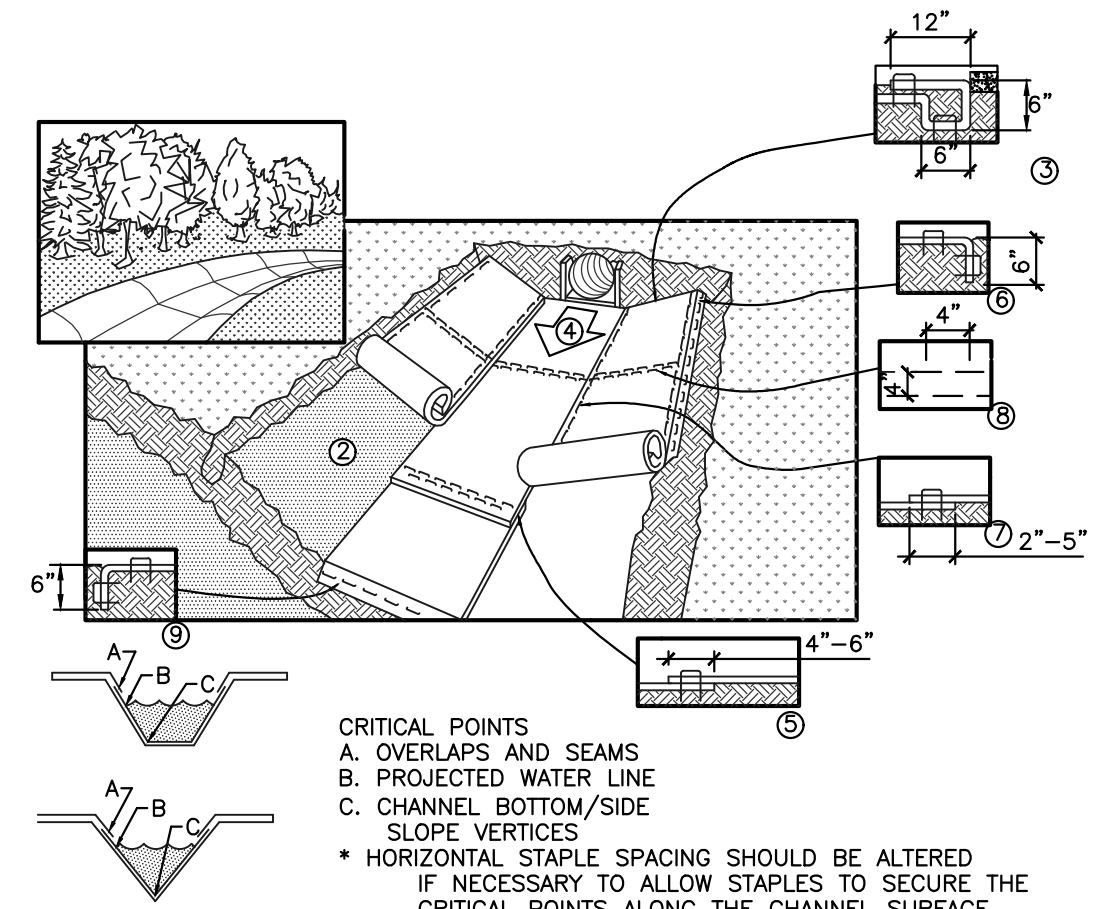
STONE LINED OUTLET PROTECTION
NOT TO SCALE



TYPICAL DRIVEWAY AND PARKING LOT SECTION
NOT TO SCALE



CAPE COD BERM SECTION
NOT TO SCALE



- CRITICAL POINTS**
- A. OVERLAPS AND SEAMS
 - B. PROJECTED WATER LINE
 - C. CHANNEL BOTTOM/SIDE
- SLOPE VERTICES**
- * HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
 - ** IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 cm) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

ROLLED EROSION CONTROL MATTING
NOT TO SCALE

- CHANNEL INSTALLATION SPECIFICATIONS**
1. INSTALL PRODUCT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
 2. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH THE PAPER SIDE DOWN.
 3. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 4. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 5. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4"(10") ON CENTER TO SECURE BLANKETS.
 6. FULL-LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 7. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2"-5" (DEPENDING ON BLANKET TYPE) AND STAPLED TO ENSURE PROPER SEAM ALIGNMENT. PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE BLANKET BEING OVERLAPPED.
 8. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30' TO 40' INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF CHANNEL.
- THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

REV	DATE	COMMENT	BY
3	4/24/24	TOWN COMMENTS	SJK

REV	DATE	COMMENT	BY

REVISIONS:

REV	DATE	COMMENT	BY
3	4/24/24	TOWN COMMENTS	SJK

DRAWN BY: SJK
CHECKED BY: DGM
DATE: DEC. 17, 2021
FILE: 469-DETAILS
DEED REF: H.C.R.D.: BK. 9403 PG. 2706

PROJECT:

GRANITE SUBARU EXPANSION
MAP 210 LOT 1
6 EXECUTIVE DRIVE
HUDSON, NH 03051

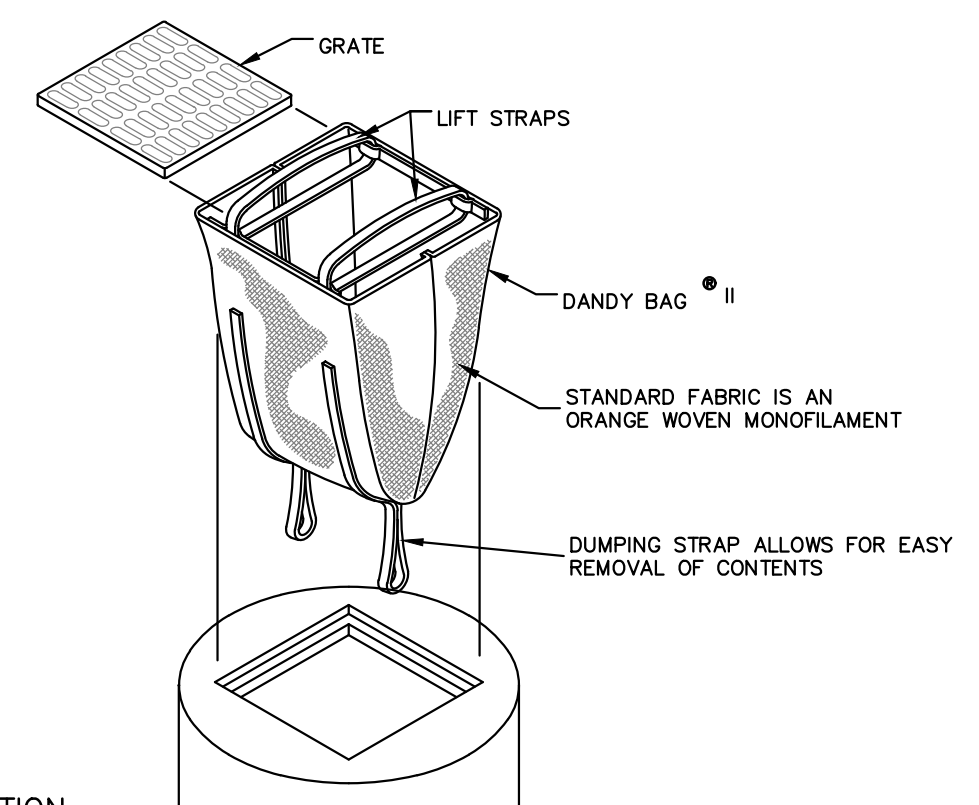
FOR

RAYMOND JAMES GRANITE PROP LLC
193 LOWELL RD
HUDSON, NH 03051

SHEET TITLE:

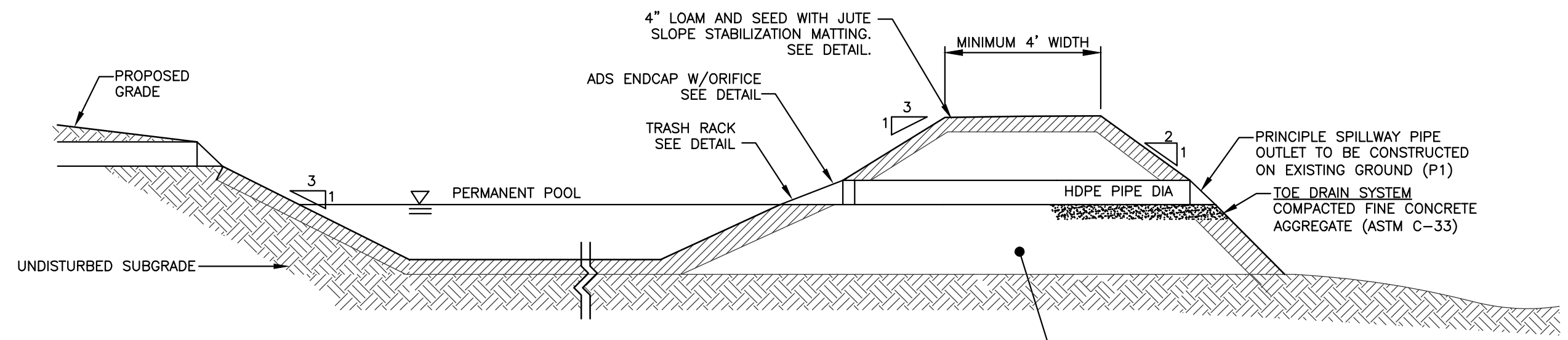
SITE DETAILS-2

PROJECT #469 SHEET 10 of 11

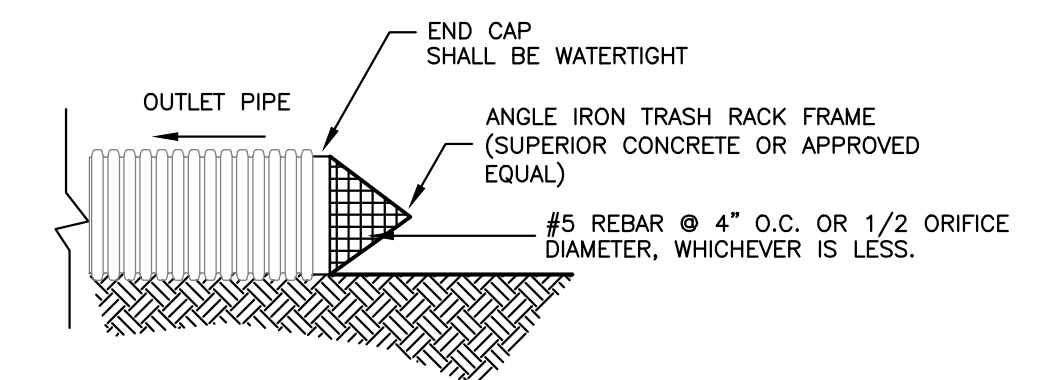


- INSTALLATION:** REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILLOW IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY BAG II SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.
- MAINTENANCE:** REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY BAG II. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS, REPLACE ABSORBENT WHEN NEAR SATURATION.

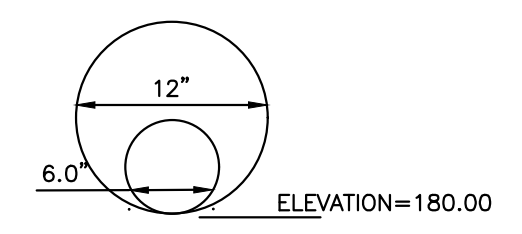
DANDY BAG® II
NOT TO SCALE



TYPICAL POND SECTION
NOT TO SCALE



TRASH RACK DETAIL
NOT TO SCALE

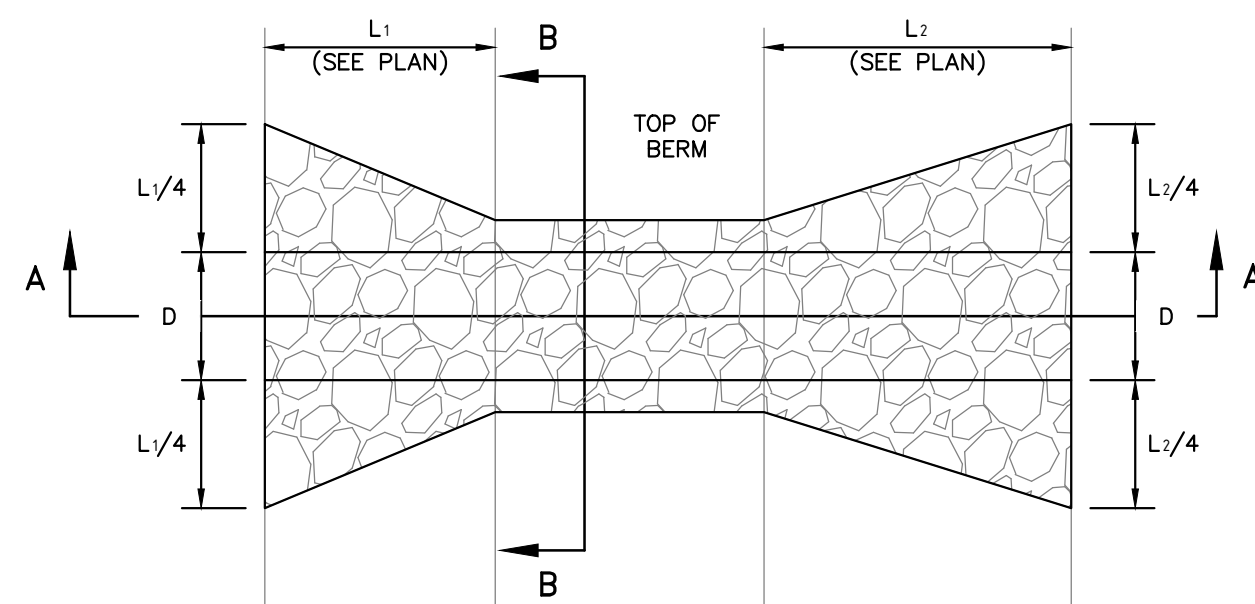


ORIFICE END CAP DETAIL
NOT TO SCALE

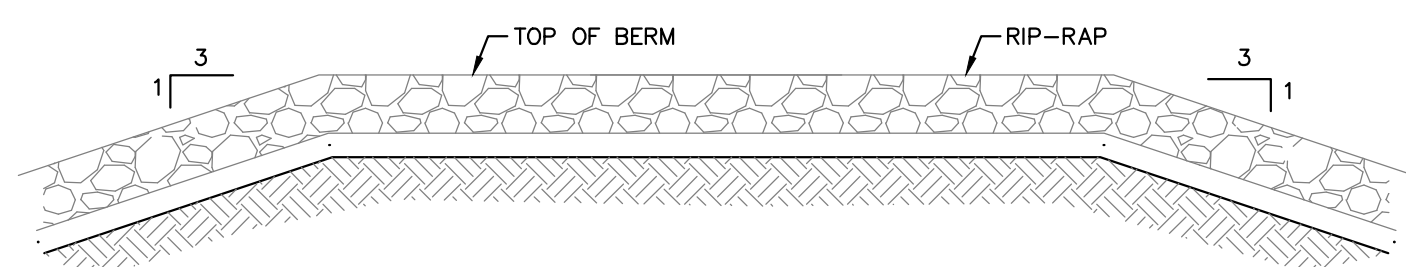
N:\PROJECTS\469-Angatti-Subaru - Hudson\DWG\CURRENT\469-DETAILS.dwg

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.		APPROVED BY THE HUDSON, NH PLANNING BOARD	

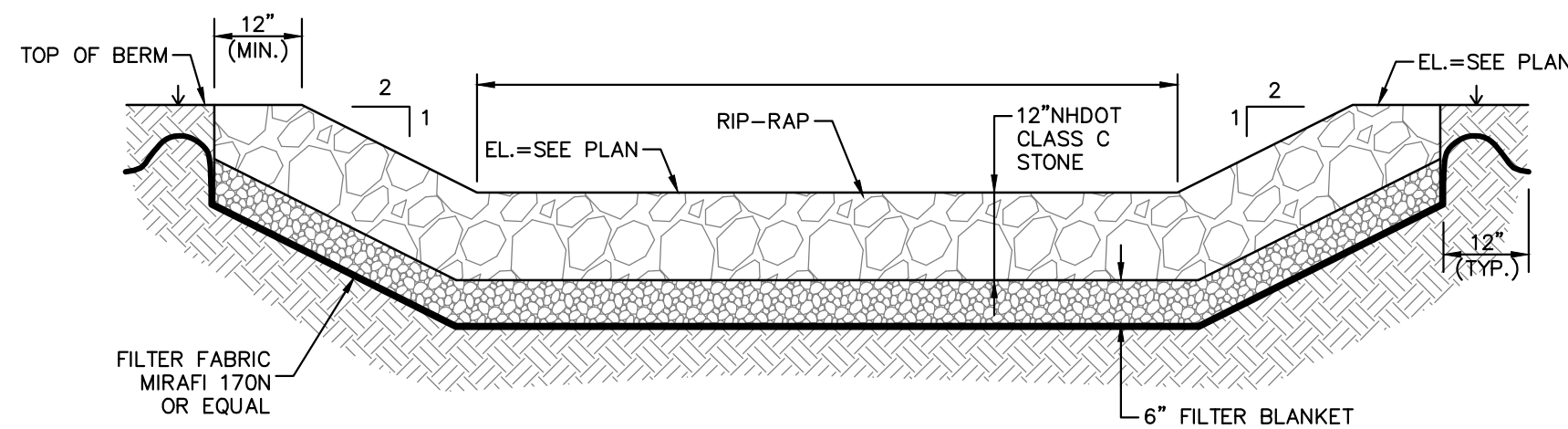
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



PLAN VIEW

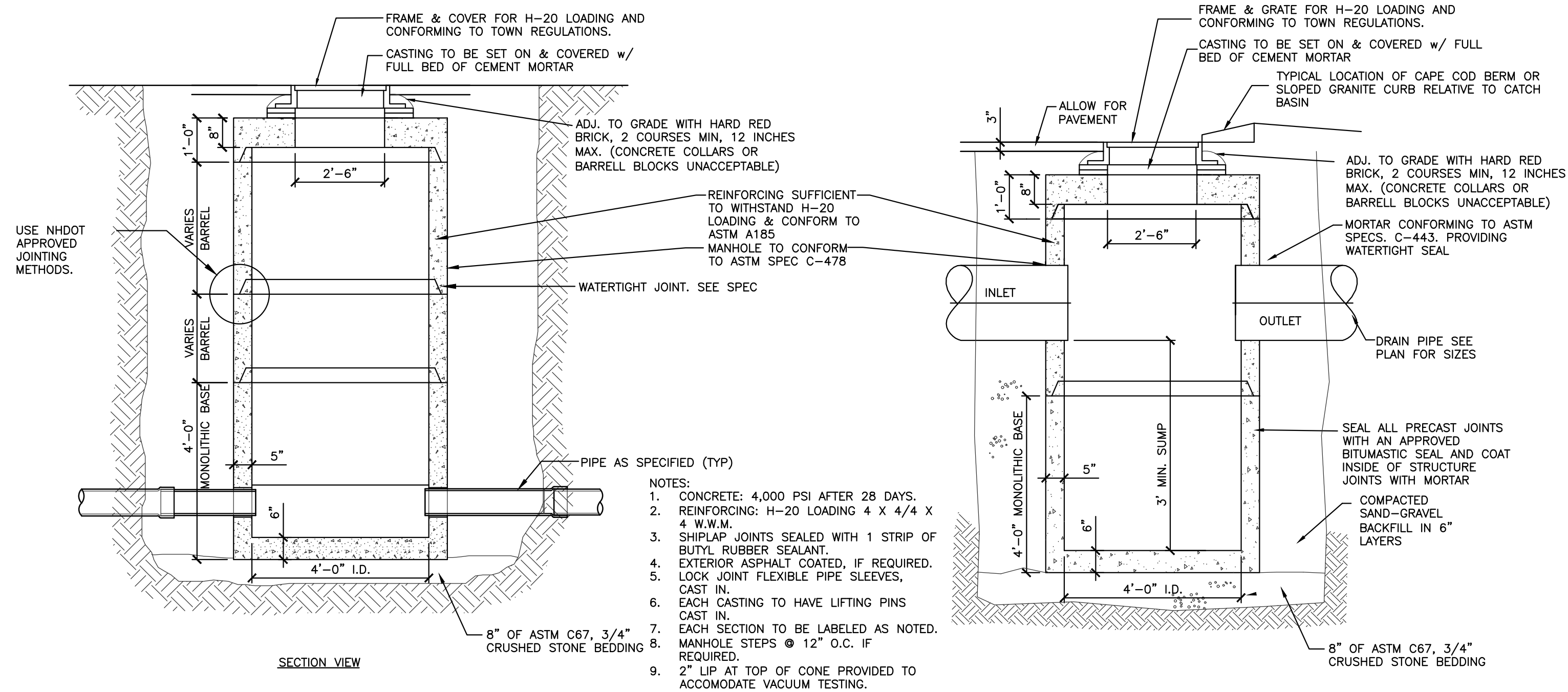


SECTION A-A



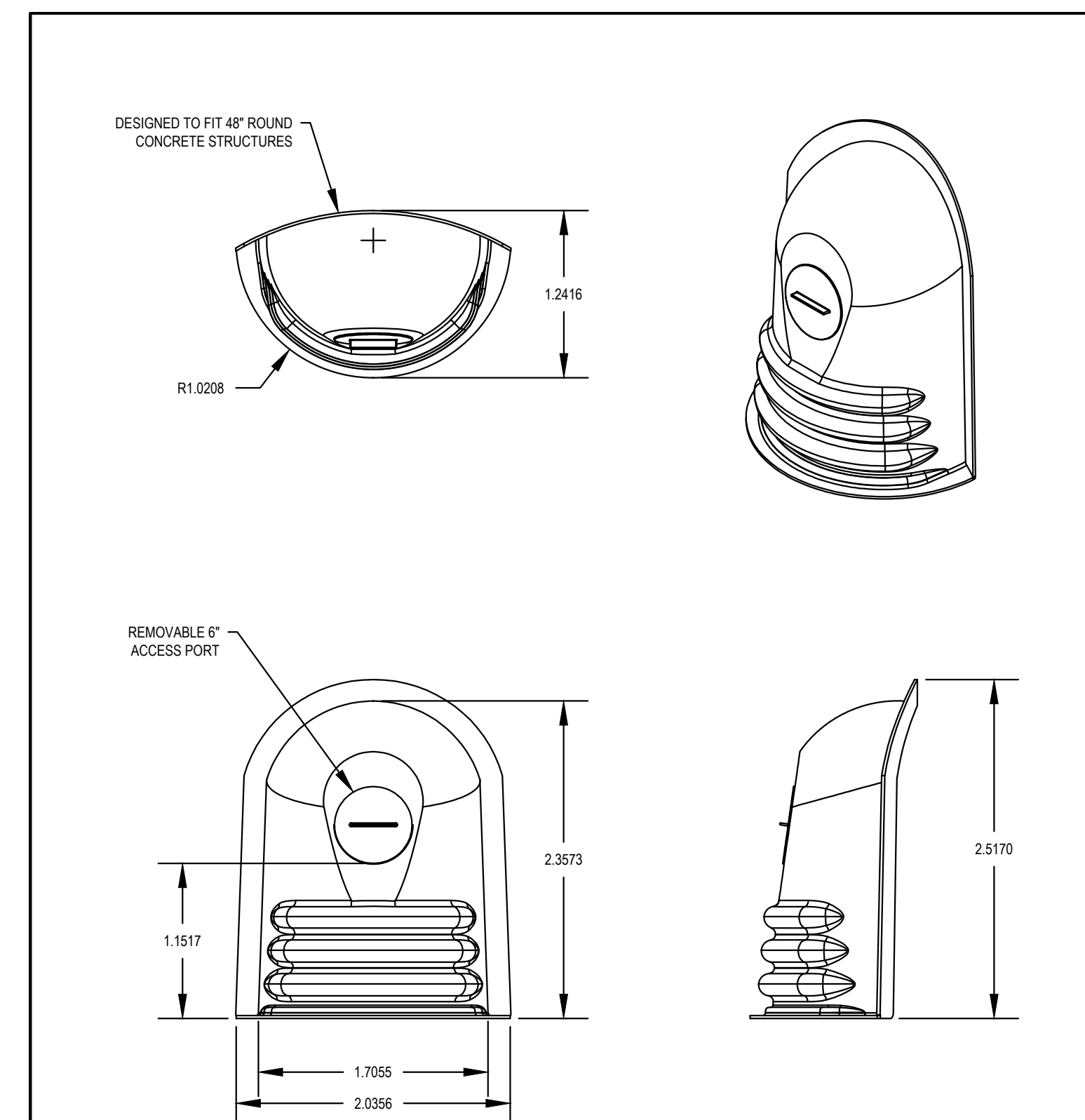
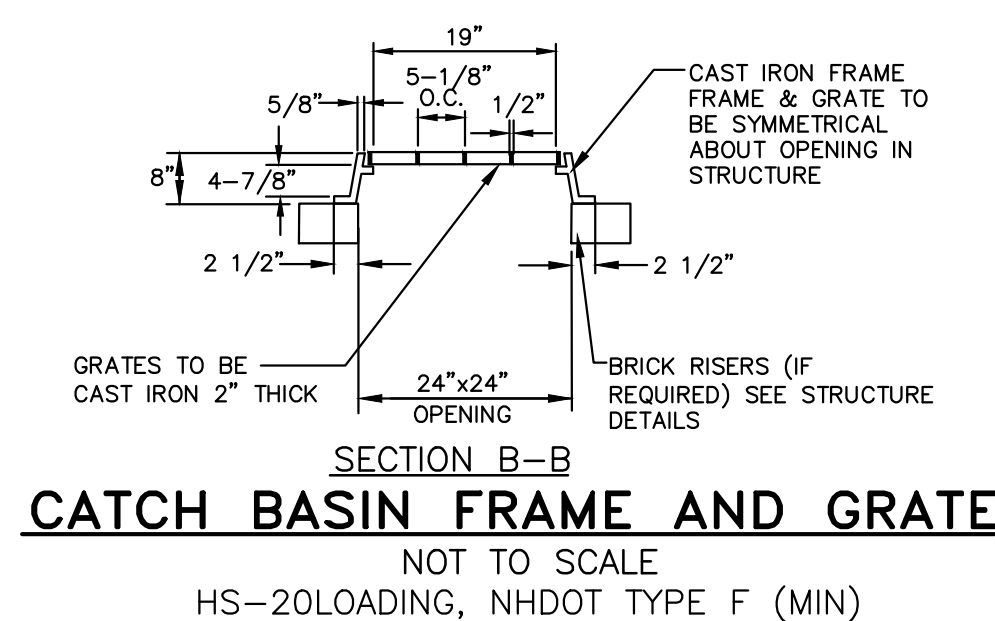
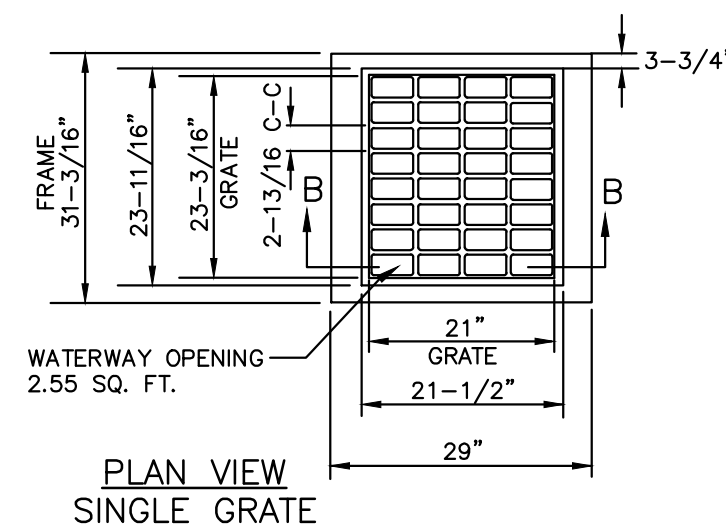
SECTION B-B

OVERFLOW SPILLWAY
NOT TO SCALE



TYPICAL DRAIN MANHOLE DETAIL
NOT TO SCALE

TYPICAL CATCH BASIN
NOT TO SCALE



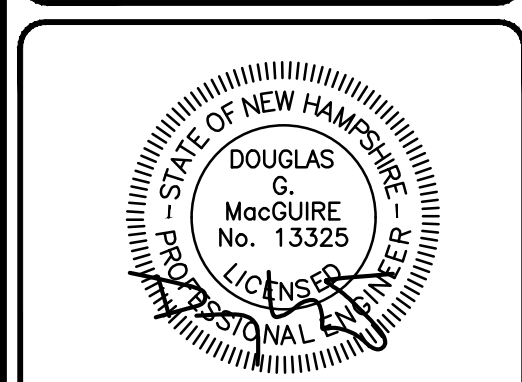
THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFIR, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST. ©2012 NYLOPLAST		DRAWN BY JJC	MATERIAL HIGH DENSITY POLYETHYLENE	3150 VERONA AVE BUNFORD, GA 30818 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com
DATE 7-2-12	PROJECT NO. NAME	APPD BY JJC	TITLE	18R ENVIRONMENT FOR 48" ROUND CONCRETE STRUCTURES
DATE 7-2-12	DWG SIZE A	SCALE NTS	SHEET 1 OF 1	DWG NO. 7004-116-102 REV A



The Dubai Group, Inc.
136 Harvey Road Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers
Planners
Surveyors

TheDubayGroup.com



REV.	DATE	COMMENT	BY
4	8/12/24	TOWN COMMENTS	SJK

DRAWN BY: SJK
CHECKED BY: DGM
DATE: DEC. 17, 2021
SCALE:
FILE: 469-DETAILS
DEED REF:
H.C.R.D.: BK. 9403 PG. 2706

PROJECT:

GRANITE SUBARU EXPANSION
MAP 210 LOT 1
6 EXECUTIVE DRIVE
HUDSON, NH 03051

FOR

RAYMOND JAMES GRANITE PROP LLC
193 LOWELL RD
HUDSON, NH 03051

SHEET TITLE:

SITE DETAILS-3

PROJECT #469 SHEET 11 of 11

N:\PROJECTS\469-Angelini-Subaru - Hudson\DWG\CURRENT\469-DETAILS.dwg

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____

SECRETARY _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.