

19 LIBRARY STREET SUBDIVISION PLAN

SB# 05-24

STAFF REPORT

October 9, 2024

SITE: 19 Library Street/ Map 182/ Lot 111

ZONING: Town Residential (TR)

PURPOSE OF PLAN: To depict the subdivision of Map 182/lot 111 into two residential lots with frontage on Library Street.

PLANS UNDER REVIEW:

Subdivision Plan SB# 05-24, Map 182/Lot 111, 19 Library Street, Hudson, New Hampshire; prepared by: Boudreau Land Surveying, 2 Beatrice Lane, Newmarket, NH 03857; prepared for: Library Street, LLC, 19 Library Street, Hudson, NH 03051; consisting of three sheets, and plan notes 1-15 on sheet C1; dated September 29, 2024.

ATTACHMENTS:

- 1) Subdivision Application, date stamped September 13, 2024 – Attachment “A”.
- 2) Department Comments – Attachment “B”.
- 3) Peer Review prepared by Fuss & O’Neill, dated September 25, 2024 – Attachment “C”
- 4) Response letters prepared by Boudreau Land Surveying, dated September 30, 2024 – Attachment “D”
- 5) CAP fee worksheet – Attachment “E”
- 6) Subdivision plans, revised July 2, 2024.

APPLICATION TRACKING:

1. September 13, 2024 – Application received.
2. September 25, 2024 – Peer review received.
3. September 30, 2024 – Revised plan received.
4. October 9, 2024 – Public hearing scheduled.

COMMENTS & RECOMMENDATIONS:

BACKGROUND:

The subject lot is approximately 0.62 acres with approximately 180.02 linear feet of frontage along Library Street. The lot is entirely within the TR zone. The site is largely flat, with no known wetlands and no part of the parcel being located within a flood zone. The proposed parcel is intended to be served by municipal water and sewer. The applicant proposes subdividing Map 182 Lot 111 into two lots as follows:

Map/Lot	Lot Size*	Frontage on Webster Street
<i>Minimum requirements</i>	<i>10,000 sq. ft.</i>	<i>90 ft.</i>
182-111-000	16,927 sq. ft.	90 ft.
182-111-002	10,240 sq. ft.	90.02 ft.

**Staff notes that measurements listed are contiguous building area, as defined in §334-27*

DEPARTMENT COMMENTS:

Engineering has provided the following comments:

- 1. The applicant shall provide proposed water and sewer stubs in addition to sewer cleanout and water curb stop.*
- 2. The applicant shall provide information regarding existing water and sewer services for the lot.*
- 3. The applicant shall provide a plan for both proposed driveways.*
- 4. The applicant needs to show a 5-foot minimum distance between the property line and proposed driveway.*

Engineering has stated that the above comments have been addressed. Post revision, Engineering has provided the following new comment:

- 1. The applicant shall provide stamped plans by a NHPE for the driveway plan and profile.*

Assessing has provided the following comment:

- 1. The new Map/Lot shall be Map 182/Lot 111-002.*

PEER REVIEW:

On September 25, 2024 Fuss & O’Neill submitted a peer review of the project (Attachment “C”). The applicant has provided a revised plan dated September 29, 2024 alongside a response letter (Attachment “D”). Items noted are primarily administrative in nature, and have been addressed sufficiently for the board to make a decision.

STAFF COMMENTS:

Planning Staff has not identified any issues with the plan post-revision. With engineering comments having been addressed, the applicant has provided suitable information for the board to make a decision on the application.

RECOMMENDATIONS:

Staff recommends application acceptance and holding a public hearing, followed by deliberation and consideration of the requested subdivision plan. Staff has not identified any additional studies that are recommended at this time.

DRAFT MOTIONS

MOTION TO ACCEPT:

I move to accept the subdivision application: Subdivision Plan SB# 05-24, Map 182/Lot 111, 19 Library Street, Hudson, New Hampshire.

Motion by: _____ Second: _____ Carried/Failed: _____

MOTION TO DEFER:

I move to defer further review of the subdivision application: Subdivision Plan SB# 05-24, Map 182/Lot 111, 19 Library Street, Hudson, New Hampshire, to date specific, _____, 2024.

Motion by: _____ Second: _____ Carried/Failed: _____

MOTION TO CONTINUE:

I move to continue further review of the subdivision application: Subdivision Plan SB# 05-24, Map 182/Lot 111, 19 Library Street, Hudson, New Hampshire, to date specific, _____, 2024.

Motion by: _____ Second: _____ Carried/Failed: _____

MOTION TO APPROVE:

I move to approve the Subdivision Plan application SB# 05-24, Map 182/Lot 111, 19 Library Street, Hudson, New Hampshire; prepared by: Boudreau Land Surveying, 2 Beatrice Lane, Newmarket, NH 03857; prepared for: Library Street, LLC, 19 Library Street, Hudson, NH 03051; consisting of two sheets, and plan notes 1-13 on sheet C1; dated September 30, 2024; and:

That the Planning Board finds that this application complies with the Zoning Ordinances, and with the Land Use Regulations; and for the reasons set forth in the written submissions, together with the testimony and factual representations made by the applicant during the public hearing;

Subject to, and revised per, the following stipulations:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Plan.
2. A cost allocation procedure (CAP) amount of \$6194.00 per single-family residential unit shall be paid prior to the issuance of a Certificate of Occupancy for the new house lots. This fee is comprised of traffic, school, and recreation impact fees.
3. The applicant shall provide stamped plans by a NHPE for the driveway plan and profile.
4. All monumentation shall be set or bonded for prior to Planning Board endorsement of the Plan-of-Record.

5. Prior to the Planning Board endorsement of the Plan, it shall be subject to final administrative review by Town Planner and Town Engineer.
6. Construction activities involving the proposed undeveloped lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.

Motion by: _____ Second: _____ Carried/Failed: _____

SUBDIVISION APPLICATION

Date of Application: 9-11-2024 Tax Map #: 182 Lot #: 111

Site Address: 19 Library Street

Name of Project: Proposed Subdivision for 19 Library Street

Zoning District: TR - Town Residential General SB#: 05-24
(For Town Use Only)

Z.B.A. Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: Library Street, LLC

Address: 195R Central Street

Address: Hudson, NH 03051

Telephone # 603-231-7344

Email: derekmanagement@aol.com

PROJECT ENGINEER:

SURVEYOR:

Name: _____

Scott Boudreau, LLS 961

Address: _____

Boudreau Land Surveying

Address: _____

2 Beatrice Lane

Telephone # _____

Newmarket, NH 03857

Email: _____

PURPOSE OF PLAN:

To subdivide Tax Map 182 Lot 111 into 2 residential lots.

(For Town Use Only)

Routing Date: 9/16/24 Deadline Date: 9/23/24 Meeting Date: TBD

_____ I have no comments _____ I have comments (attach to form)

_____ Title: _____ Date: _____

(Initials)

Department:

Zoning: ___ Engineering: ___ Assessor: ___ Police: ___ Fire: ___ DPW: ___ Consultant: ___

SUBDIVISION PLAN DATA SHEET

PLAN NAME: Subdivision Plan Prepared for Library Street, LLC

PLAN TYPE: Conventional Subdivision Plan or Open Space Development (Circle One)

LEGAL DESCRIPTION: MAP 182 LOT 111

DATE: 9-11-2024

Address: 19 Library Street

Total Area: S.F. 27,167 Acres: 0.62

Zoning: TR - Town Residential

Required Lot Area: 10,000 sq ft

Required Lot Frontage: 90 ft

Number of Lots Proposed: 2

Water and Waste System Proposed: Municipal

Area in Wetlands: No Wetlands Present

Existing Buildings To Be Removed: None

Flood Zone Reference: F.E.M.A. Zone "X" or No Flood Zone

Proposed Linear Feet Of New Roadway: N/A

SUBDIVISION PLAN DATA SHEET

Dates/Case #/Description/
Stipulations of ZBA,
Conservation Commission,
NH Wetlands Board Action:

(Attach Stipulations on
Separate Sheet)

List Permits Required:

<i><u>*Waivers Requested:</u></i>	<u>Hudson Town Code Reference</u>	<u>Regulation Description</u>
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	1.	
	2.	
	3.	
	4.	
	5.	
	6.	
	7.	

**(Left Column for Town Use)*

(For Town Use Only)	
Data Sheets Checked By: _____	Date: _____

SUBDIVISION PLAN APPLICATION AUTHORIZATION

I hereby apply for *Subdivision Plan* Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the *Subdivision Plan* specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Planner, the Town Engineer, and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: _____ Date: _____

Print Name of Owner: _____

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: _____ Date: _____

Print Name of Developer: _____

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The individual in charge of the project must notify the Code Enforcement Officer/Building Inspector within two (2) working days of any change.

WAIVER REQUEST FORM

Name of Subdivision/Site Plan: _____

Street Address: _____

I _____ hereby request that the Planning Board waive the requirements of item _____ of the Hudson Land Use Regulations in reference to a plan presented by _____ (name of surveyor and engineer) dated _____ for property tax map(s) _____ and lot(s) _____ in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Land Use Regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

Reason(s) for granting this waiver, relative to not being contrary to the spirit and intent of the Land Use Regulations: (if additional space is needed please attach the appropriate documentation hereto):

Signed:

Applicant or Authorized Agent

SCHEDULE OF FEES

A. REVIEW FEES:

1. \$170.00 per proposed lot \$ 340.00

CONSULTANT REVIEW FEE: (Separate Check)

Total 0.62 acres @ \$600.00 per acre, or \$1,250.00, \$ 775.00
 whichever is greater.

This is an estimate for cost of consultant review. The fee is expected to cover the amount. A complex project may require additional funds. A simple project may result in a refund.

LEGAL FEE:

The applicant shall be charged attorney costs billed to the Town for the Town's attorney review of any application plan set documents.

B. POSTAGE:

8 Direct Abutters Applicant, Professionals, etc. as required \$ 44.64
 by RSA 676:4.1.d @\$5.58 (or Current Certified Mail Rate)

7 Indirect Abutters (property owners within 200 feet) \$ 5.11
 @\$0.73 (or Current First Class Rate)

C. TAX MAP UPDATE FEE

2 to 7 lots (# of lots x \$30.00) + \$25.00 (min. \$85.00) \$ 85.00
 8 lots or more (min. \$325.00) \$ _____

TOTAL \$ 1249.75

(For Town Use Only)			
AMOUNT RECEIVED: \$	<u>1249.75</u>	DATE RECEIVED:	<u>9/13/24</u>
RECEIPT NO.:	<u>790,304</u>	RECEIVED BY:	<u>BROOKE</u>

NOTE: fees below apply only upon plan approval, NOT collected at time of application.

D. RECORDING:

*****The applicant shall be responsible for the recording of the approved plan, and all documents as required by an approval, at the Hillsborough County Registry of Deeds (HCRD), located at 19 Temple Street, Nashua, NH 03061. Additional fees associated with recording can be found at HCRD.*****

E. COST ALLOCATION PROCEDURE AMOUNT CONTRIBUTION AND OTHER IMPACT FEE PAYMENTS:

To be determined by the Planning Board at time of plan approval and shall be paid by the applicant at the time of submittal of the Certificate of Occupancy Permit requests.

*****The applicant shall be responsible for all fees incurred by the town for processing and review of the applicant's application, plan and related materials.*****

**TOWN OF HUDSON
SUBDIVISION PLAN REVIEW CHECKLIST**

This checklist is intended to help the applicant and staff to ensure application completeness. Please refer to the regulations on the exact language of each requirement.

Key: Y=Yes P =Pending W=Waiver Request NA=Not Applicable

§ 276-11.1 General Plan Requirements

- | | <u>Y</u> | <u>P</u> | <u>W</u> | <u>NA</u> | |
|-----|-------------------------------------|--------------------------|--------------------------|-------------------------------------|--|
| 1. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - A list of the names and addresses of the owner(s) of the property, the applicant(s), and all abutters as indicated in the office of the Town Assessor records not more than five (5) days prior to the day of filing [§ 276-11.1.A.] |
| 2. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - One (1) set of Plans on size 22" x 34" sheet [§ 276-11.1.B.(1)] |
| 3. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Scale no smaller than 50 feet to the inch (1" = 50') [§ 276-11.1.B.(2)] |
| 4. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Title block in the lower right-hand corner of the plan, containing: [§ 276-11.1.B.(3)] |
| 5. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | -Title, including the term "site plan" or "subdivision plan" |
| 6. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - The name for whom the plan was prepared |
| 7. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Preparer of the plan |
| 8. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - The scale(s) of the plan |
| 9. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Date of the plan |
| 10. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | - Appropriate revision block |
| 11. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Approval block located on the lower left corner of each sheet, with the require language and signature lines [§ 276-11.1.B.(4)] |
| 12. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Owner's printed name and address and signature [§ 276-11.1.B.(6)] |
| 13. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Name and address of all abutting property owners [§ 276-11.1.B.(7)] |
| 14. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - A locus plan at one inch equals 1,000 feet (1" = 1,000') [§ 276-11.1.B.(8)] |
| 15. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | -Boundary of the entire parcel held in single ownership with boundary dimensions and bearings [§ 276-11.1.B.(9)] |
| 16. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Error of closure shown and certified by a licensed land surveyor |
| 17. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - North point arrow |

Notes

18. - Zoning classification note of the tract and location of the zoning district boundaries if the property is located in two or more zoning district [§ 276-11.1.B.(10)]
19. - The location of all building setback lines as required by Chapter 334, Zoning, or as listed under § 276-11.1.B.(12), whichever is more stringent [§ 276-11.1.B.(12)].
20. - The location size and character of all signs or a note* stating "All signs are subject to approval by the Hudson Zoning Administrator prior to installation thereof." [§ 276-11.1.B.(13)] *The discrepancy on the note language is correct – reference to the Planning Board in the regulations is outdated.
21. - The location, detail and character of all exterior lighting or a note stating: "There will be no exterior lighting." [§ 276-11.1.B.(14)]
22. - The location of all buildings within 50 feet of the tract [§ 276-11.1.B.(15)]
23. - The location of roadways, driveways, travel areas or parking areas within 200 feet of the tract, with the use of an additional sheet, aerial photography, or Town topographic mapping as necessary [§ 276-11.1.B.(16)]
24. - Existing topography at two-foot contour intervals of that portion of the tract being proposed for development from a topographic survey and contours on the remainder of the tract from a reliable plan source [§ 276-11.1.B.(17)]
25. - Proposed topography at two-foot contour intervals [§ 276-11.1.B.(18)]
26. - A note identifying the Tax Map and Lot Number of the tract [§ 276-11.1.B.(19)]
27. - The location of all existing buildings (including size and height), driveways, sidewalks, parking spaces, loading area, open spaces, large trees, open drainage courses, signs, exterior lighting, service areas, easements landscaping and other pertinent items. [§ 276-11.1.B.(20)]

- Y P W NA
28. - The location of all proposed construction, buildings, structures, pavement, etc. [§ 276-11.1.B.(21)]
29. - A green area shown between the right-of-way line and any pavement, gravel or structure meeting the required minimum width [§ 276-11.1.B.(22)]
30. - Highway protects listed on the transportation improvement program adopted by the Nashua Regional Planning Commission, shown in the Hudson Master Plan, or listed in the Corridor Study adopted by the Hudson Planning Board [§ 276-11.1.B.(23)]
31. - Required open space, including the calculation showing the requirement is met [§ 276-11.1.B.(24)]

Notes

§§ 275-8 – 275-9 Site Plan Requirements

(If this checklist is for a subdivision plan application, skip to the next section on page 5)

- Y P W NA
33. - Parking space calculation showing and a statement stating the required parking spaces are provided [§ 275-8.C.(2) & (3)]
34. - Required dimensions for parking space [§ 275-8.C.(4)]
35. - Required dimensions for aisle/access drive [§ 275-8.C.(5)]
36. - Required off-street loading spaces, including calculation showing the required loading spaces are provided [§ 275-8.C.(6)]
37. - Required landscaping for the parking lot, including calculation shown the planting requirement is met [§ 275-8.C.(7)]
38. - Required screening for visual separation of incompatible uses [§ 275-8.C.(8)]

Notes

Attachment "A"

- | | <u>Y</u> | <u>P</u> | <u>W</u> | <u>NA</u> | |
|-----|--------------------------|--------------------------|--------------------------|--------------------------|--|
| 39. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Handicap accessibility provided in accordance with the latest ADA Regulations
[§ 275-8.C.(11)] |
| 40. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Stormwater Management Plan [§ 275-9.A] |
| 41. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Traffic Study, if required [§ 275-9.B] |
| 42. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Noise Study, if required [§ 275-9.C] |
| 43. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Fiscal Impact Study, if required [§ 275-9.D] |
| 44. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Utility Study [§ 275-9.E] |
| 45. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Copies of any proposed or existing easements, covenants, deed restrictions or any other similar document pertinent to the Site Plan
[§ 275-9.F] |
| 45. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - A copy of all applicable Town, state, county or federal approvals or permits [§ 275-9.G] |
| 46. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Chapter 270, Sewers |
| 47. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Floodplain permit |
| 48. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Special exception to the Wetland Ordinance |
| 49. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Septic system construction approval from the New Hampshire Water Supply and Pollution Control Commission |
| 50. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Approval of the New Hampshire Wetland Bureau for relocation, filling, dredging or rechanneling |
| 51. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Approval of the New Hampshire Department of Public Works and Highways for any required driveway permits or curb cuts |
| 52. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - NH RSA 149:9-a Permit |
| 53. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Environmental Impact Study, if required
[§ 275-9.I] |

Notes

(End here if this checklist is for a site plan application).

TOWN OF HUDSON
SUBDIVISION PLAN REVIEW CHECKLIST

This checklist is intended to help the applicant and staff to ensure application completeness. Please refer to the regulations on the exact language of each requirement.

Key: Y=Yes P =Pending W=Waiver Request NA=Not Applicable

§§ 289-26 – 289-27 Subdivision Plan Requirements

(Not applicable if this checklist is for a site plan application)

- | | <u>Y</u> | <u>P</u> | <u>W</u> | <u>NA</u> | |
|-----|-------------------------------------|--------------------------|--------------------------|--------------------------|---|
| 54. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Proposed subdivision name [§ 289-26.B.(1)] |
| 55. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | - Abutting subdivision names, streets, easements, setbacks, alleys, parks and public open spaces and similar facts regarding abutting property [§ 289-26.B.(2)] |

Notes

ABUTTERS WITHIN 200'

ABUTTERS LIST

OWNER:

Tax Map 182 Lot 111
Library Street, LLC
195R Central Street
Hudson, NH 03051

SURVEYOR:

Scott Boudreau, NH LLS 961
Boudreau Land Surveying, PLLC
2 Beatrice Lane
Newmarket, NH 03857

DIRECT ABUTTERS

Tax Map 182 Lot 111-1
Daniel & Kathryn Contini
17 Library Street
Hudson, NH 03051

Tax Map 182 Lot 112
Sarah K. & Jason S. Nich
13 School Street
Hudson, NH 03051

Tax Map 182 Lot 113
Raymond Patrick Richard
11 School Street
Hudson, NH 03051

Tax Map 182 Lot 115
Brian Etienne
13 Chase Street
Hudson, NH 03051

Tax Map 182 Lot 116
Shawna D. Wilkins
11 Chase Street
Hudson, NH 03051

Tax Map 182 Lot 129
St. John The Evangelist Church
153 Ash Street
Manchester, NH 03104

ABUTTERS WITHIN 200'

Tax Map 182 Lot 101
Town of Hudson
20 Library Street
Hudson, NH 03051

Tax Map 182 Lot 102
Town of Hudson School District
20 Library Street
Hudson, NH 03051

Tax Map 182 Lot 110
Town of Hudson School District
20 Library Street
Hudson, NH 03051

Tax Map 182 Lot 114
Alexandra Mead & Gregory Donovan Plate
15 Chase Street
Hudson, NH 03051

Tax Map 182 Lot 117
Sean T. McDougal
9 Chase Street
Hudson, NH 03051

Tax Map 182 Lot 130
Timothy A. Parker
26 Library Street
Hudson, NH 03051

Tax Map 182 Lot 131
Peter Desalvo
4A Water Street
Hudson, NH 03051

Tax Map 182 Lot 148
William Davila & Melissa Pettit
28 Library Street
Hudson, NH 03051

Attachment "A"

Scott Boudreau, LLS 961
2 Beatrice Lane
Newmarket, NH 03857
Phone: (603)659-3468
scott@boudreauls.net



September 11, 2024

Planning Board
Town of Hudson, NH

RE: 19 Library Street Subdivision

Members of the Planning Board,

This letter is to inform you that the intent of this project is to subdivide Tax Map 182 Lot 111 into 2 residential lots. This existing lot is located on Library Street and has 180.02' of frontage based on a field survey prepared by this office on August 13, 2024. The existing lot contains 27,167 square feet, or 0.62 acres, with one existing dwelling and garage.

The proposed application will subdivide the existing lot 111 into 2 separate lots, which meet the zoning requirements for the Town Residential Zoning District. The existing dwelling and garage will remain with the proposed Lot 111, and will contain 16,927 square feet, or 0.39 acres, and will have 90 feet of frontage. The proposed Lot 111-002 will contain 10,240 square feet, or 0.23 acres and will have 90.02 feet of frontage. The proposed Lot 111-002 will be serviced by municipal sewer and water.

Sincerely,

Scott Boudreau
NH LLS #961

Dubowik, Brooke

From: Dhima, Elvis
Sent: Monday, September 16, 2024 1:19 PM
To: Dubowik, Brooke; Gradert Benjamin; Hebert, David; Kirkland, Donald; McElhinney, Steven; Michaud, Jim; Sullivan, Christopher; Malley, Tim; Twardosky, Jason
Subject: RE: SB# 05-24 Dept. Sign Off - 19 Library St. 2-Lot Subdivision Plan

Brooke

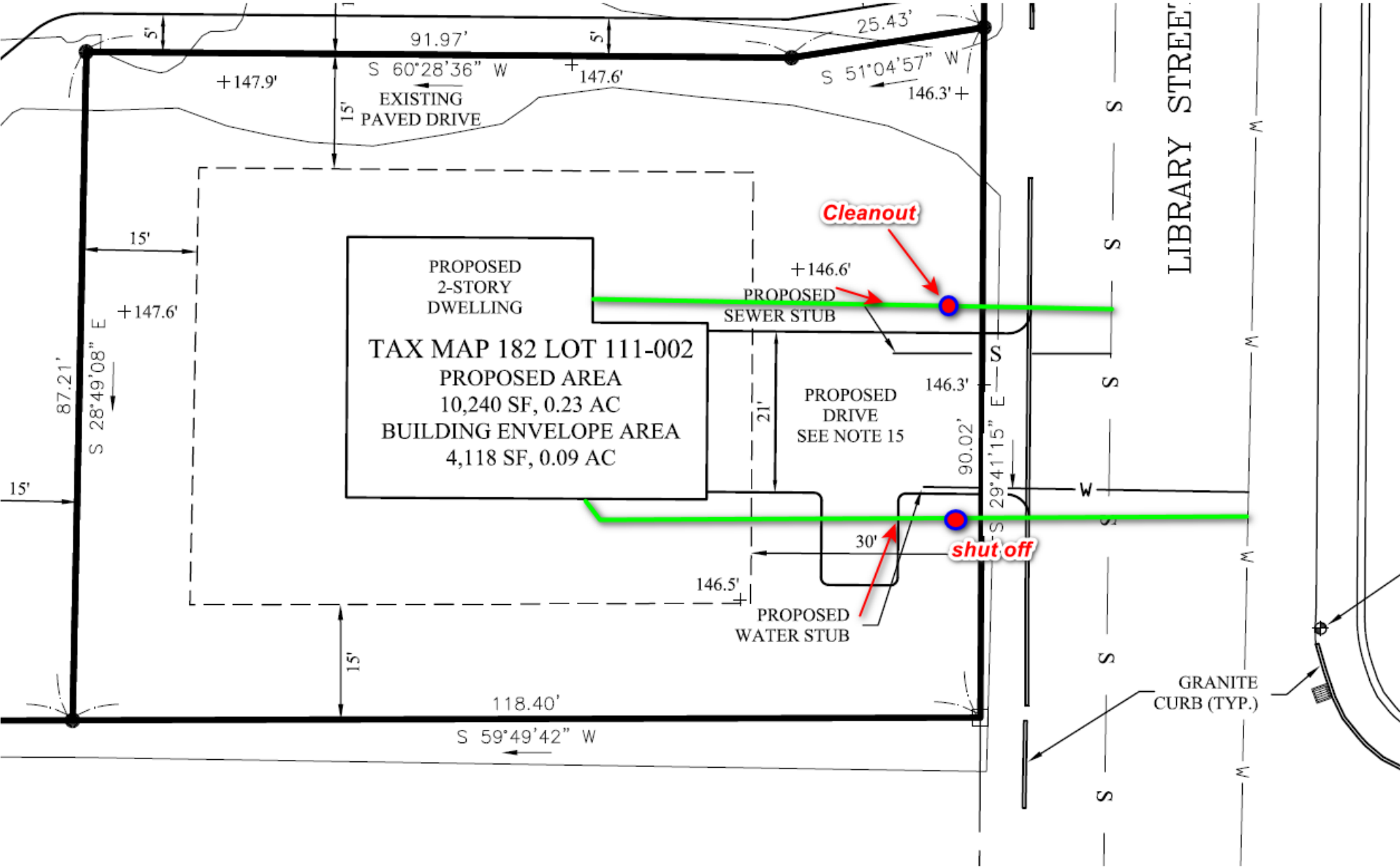
I have the following comments

1. Applicant shall provide proposed water and sewer stubs in addition to sewer cleanout and water curb stop
2. Applicant shall provide information regarding the existing water and sewer services for the lot
3. Applicant shall provide plan and provide for both proposed driveways
4. Applicant needs to show a 5 foot minimum distance between the property line and proposed driveway

Elvis Dhima, P.E.
Town Engineer

12 School Street
Hudson, NH 03051
Phone: (603) 886-6008





Gradert Benjamin

From: Dhima, Elvis
Sent: Monday, September 30, 2024 2:17 PM
To: Dillon Dumont; Dubowik, Brooke
Cc: Gradert Benjamin
Subject: RE: FW: SB# 05-24 Dept. Sign Off - 19 Library St. 2-Lot Subdivision Plan

Ben

I'm all set , everything has been addressed

One stipulation to be added

Applicant shall provide stamped plans by a NHPE for the driveway plan and profile

E

Elvis Dhima, P.E.
Town Engineer

12 School Street
Hudson, NH 03051
Phone: (603) 886-6008



SUBDIVISION APPLICATION

Date of Application: 9-11-2024 Tax Map #: 182 Lot #: 111
Site Address: 19 Library Street
Name of Project: Proposed Subdivision for 19 Library Street
Zoning District: TR - Town Residential General SB#: 05-24
(For Town Use Only)

Z.B.A. Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: Library Street, LLC
Address: 195R Central Street
Address: Hudson, NH 03051
Telephone # 603-231-7344
Email: derekmanagement@aol.com

PROJECT ENGINEER:

SURVEYOR:

Name: _____
Address: _____
Address: _____
Telephone # _____
Email: _____

Scott Boudreau, LLS 961
Boudreau Land Surveying
2 Beatrice Lane
Newmarket, NH 03857

PURPOSE OF PLAN:

To subdivide Tax Map 182 Lot 111 into 2 residential lots.

(For Town Use Only)

Routing Date: 9/16/24 Deadline Date: 9/23/24 Meeting Date: TBD

X I have no comments _____ I have comments (attach to form)

CSS Title: ZONING ADMIN Date: 9-24-24
(Initials)

Department:

Zoning: X Engineering: ___ Assessor: ___ Police: ___ Fire: ___ DPW: ___ Consultant: ___

SUBDIVISION APPLICATION

Date of Application: 9-11-2024 Tax Map #: 182 Lot #: 111

Site Address: 19 Library Street

Name of Project: Proposed Subdivision for 19 Library Street

Zoning District: TR - Town Residential General SB#: 05-24
(For Town Use Only)

Z.B.A. Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: Library Street, LLC

Address: 195R Central Street

Address: Hudson, NH 03051

Telephone # 603-231-7344

Email: derekmanagement@aol.com

PROJECT ENGINEER:

SURVEYOR:

Name: _____

Scott Boudreau, LLS 961

Address: _____

Boudreau Land Surveying

Address: _____

2 Beatrice Lane

Telephone # _____

Newmarket, NH 03857

Email: _____

PURPOSE OF PLAN:

To subdivide Tax Map 182 Lot 111 into 2 residential lots.

(For Town Use Only)		
Routing Date: <u>9/16/24</u>	Deadline Date: <u>9/23/24</u>	Meeting Date: <u>TBD</u>
<input checked="" type="checkbox"/> I have no comments _____ <input type="checkbox"/> I have comments (attach to form)		
<u>SCM</u>	Title: <u>Captain Steven McElhinney</u>	Date: <u>09/16/24</u>
(Initials)		
Department: _____		
Zoning: ___ Engineering: ___ Assessor: ___ Police: <input checked="" type="checkbox"/> Fire: ___ DPW: ___ Consultant: ___		

SUBDIVISION APPLICATION

Date of Application: 9-11-2024 Tax Map #: 182 Lot #: 111

Site Address: 19 Library Street

Name of Project: Proposed Subdivision for 19 Library Street

Zoning District: TR - Town Residential General SB#: 05-24
(For Town Use Only)

Z.B.A. Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: Library Street, LLC

Address: 195R Central Street

Address: Hudson, NH 03051

Telephone # 603-231-7344

Email: derekmanagement@aol.com

PROJECT ENGINEER:

SURVEYOR:

Name: _____

Scott Boudreau, LLS 961

Address: _____

Boudreau Land Surveying

Address: _____

2 Beatrice Lane

Telephone # _____

Newmarket, NH 03857

Email: _____

PURPOSE OF PLAN:

To subdivide Tax Map 182 Lot 111 into 2 residential lots.

(For Town Use Only)

Routing Date: 9/16/24 Deadline Date: 9/23/24 Meeting Date: TBD

I have no comments I have comments (attach to form)

DRH Title: David Hebert Date: 9/16/24
(Initials)

Department: _____

Zoning: ___ Engineering: ___ Assessor: ___ Police: ___ Fire: DPW: ___ Consultant: ___

Dubowik, Brooke

From: Twardosky, Jason
Sent: Monday, September 16, 2024 3:10 PM
To: Dubowik, Brooke; Dhima, Elvis; Gradert Benjamin; Hebert, David; Kirkland, Donald; McElhinney, Steven; Michaud, Jim; Sullivan, Christopher; Malley, Tim
Subject: RE: SB# 05-24 Dept. Sign Off - 19 Library St. 2-Lot Subdivision Plan

[No comments](#)

SUBDIVISION APPLICATION

Date of Application: 9-11-2024 Tax Map #: 182 Lot #: 111

Site Address: 19 Library Street

Name of Project: Proposed Subdivision for 19 Library Street

Zoning District: TR - Town Residential General SB#: 05-24
(For Town Use Only)

Z.B.A. Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: Library Street, LLC

Address: 195R Central Street

Address: Hudson, NH 03051

Telephone # 603-231-7344

Email: derekmanagement@aol.com

PROJECT ENGINEER:

SURVEYOR:

Name: _____

Scott Boudreau, LLS 961

Address: _____

Boudreau Land Surveying

Address: _____

2 Beatrice Lane

Telephone # _____

Newmarket, NH 03857

Email: _____

PURPOSE OF PLAN:

To subdivide Tax Map 182 Lot 111 into 2 residential lots.

(For Town Use Only)

Routing Date: 9/16/24 Deadline Date: 9/23/24 Meeting Date: TBD

J I have no comments 5 I have comments (attach to form)

(Initials) Title: Chief Assessor Date: 9-17-24

Department: _____

Zoning: ___ Engineering: ___ Assessor: ___ Police: ___ Fire: ___ DPW: ___ Consultant: ___

*new MAP/lot
182-111-002*



50 Commercial Street, Suite 2S
Manchester, NH 03101
603.668.8223
www.fando.com

September 25, 2024

Mr. Jay Minkarah
Acting Town Planner
Town of Hudson
12 School Street
Hudson, NH 03051

RE: Town of Hudson Planning Board Review
19 Library Street Subdivision Plan
Tax Map 182, Lot 111, Acct. #1350-576
Fuss & O'Neill Reference No. 20030249.2420

Dear Mr. Minkarah:

Fuss & O'Neill, Inc. has reviewed the first submission of the materials received on September 18, 2024, related to the above-referenced project. Authorization to proceed was received on September 18, 2024. A list of items reviewed is enclosed. The scope of our review is based on the Subdivision Plan Review Codes, Stormwater Codes, Driveway Review Codes, Sewer Use Ordinance 77, Zoning Regulations, and criteria outlined in the CLD Consulting Engineers Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, September 3, 2008, and October 2015.

We have included a copy of Fuss & O'Neill's evaluation of the checklist for your reference. We note that several items could not be verified by Fuss & O'Neill and require action by the Town.

The project consists of subdividing an existing lot and creating a two (2)-lot subdivision out of the 0.62-acre site. The lots are proposed to be serviced by municipal water and sewer systems. No new roadways are proposed as part of the subdivision plan.

The following items are noted:

1. Administrative and Subdivision Review Codes (HR 276 & HR 289)

- a. Hudson Regulation (HR) 276-7. The applicant has not noted any waivers requested on the plan set.
- b. HR 276-11.B.(6). The applicant has not provided the owner's signature on the plan set. A location for a future signature has been provided.
- c. HR 276-11.1.B.(13). The applicant has not shown any signs on the plan set.
- d. HR 276-11.1.B.(14). The applicant has provided a note stating that no exterior lighting is proposed on the site.
- e. HR 276-11.B.(16). The applicant has not shown all driveways, parking areas and travel ways within 200 feet of the site.
- f. HR 276-11.1.B.(17) & (18). The applicant has not provided existing or proposed contours on the plan set. We note that some spot grades are provided but it is not clear if those grades are existing or proposed grading.

- g. HR 276-11.B.(20). The applicant has not provided the height of the existing buildings on the plan set.
- h. HR 276-11.B.(25). The applicant has proposed the driveway for lot 111 to be within the side setback area.
- i. HR 289-18.X. and 289-28.G. The applicant has shown the existing sidewalk on the plan set. We note that due to the removal of the existing driveway and installation of 2 new driveways, the applicant should coordinate with the Town regarding the extent of sidewalk replacement in this area. Details should be provided for the sidewalk installation and driveway interface.
- j. HR 289-22. The applicant has not proposed any specific open spaces on the plan set.
- k. HR 289-26.B.(3). The applicant has not shown any existing easements on the plan set.
- l. HR 289-17.B.(10). The locus map provided on the plan set does not match the required scale and does not show any information other than lot lines and right-of-way lines.

2. Driveway Review Codes (HR 193-10)

- a. HR 193-10.A. & 193-10.E. The applicant has shown the location of a proposed driveway for each proposed lot on the plan set. The applicant has not provided any sight distance information on the plan set.
- b. HR 193-10.C. The applicant should provide grading for the driveways and connection to the existing roadway to be sure there are not any drainage or ponding issues.
- c. HR 193-10.J. The applicant has not included a driveway detail on the plan set.

3. Roadway Design

- a. HR 289-18. The applicant is not proposing any new roadways or changes to the existing roads.

4. Drainage Design /Stormwater Management (HR 289-20.C. /Chapter 290)

- a. HR 289-20. and 290-3.A.(1). The applicant has not shown any drainage improvements on the plans. The applicant has not provided a stormwater report or any drainage calculations in the package received for review.

5. Zoning (HR 334)

- a. HR 334-14 The applicant has not noted any building heights on the plan set but has noted the existing dwelling at lot 111 is 2-1/2 stories and the proposed dwelling at lot 11-002 is 2 stories.
- b. HR 334-20. The site is located in the Town Residential (TR) District. The applicant should note if the proposed use is single family residential.
- c. HR 334-27. The applicant has proposed lot sizes, frontages and setbacks that meet the minimum requirements of the Town Residential (TR) District in Attachment 4 of the Ordinance. We note that the existing dwelling on lot 111 is partially within the existing setback area.
- d. HR 334-33. The applicant has noted that no wetlands were observed on the site.
- e. HR 334-62. There are no sign installations proposed as a part of this project.
- f. HR 334-83. The applicant should confirm if the site is located in a designated flood hazard area.

Mr. Jay Minkarah
September 25, 2024
Page 3 of 3

6. Sewer/Water Design/Conflicts & Utility Design/Conflicts (HR 276-13.E.)

- a. HR 276-13.A. The applicant has not shown the location of any electric, telephone, television or other utility services on the plan set.
- b. HR 276-13.E. The applicant has noted that the site will be serviced by Town water and sewer but has not shown any existing or proposed connections on the plans. We also note no details were provided for those utility connections.
- c. HR 276-15. The applicant should add a Dig Safe logo and phone number to the plan set.

7. Erosion Control/Wetland Impacts

- a. HR 290-6. The applicant has not shown any proposed erosion and sedimentation control measures on the plan set.
- b. The Town should reserve the right to require additional erosion control measures.

8. State and Local Permits

- a. The applicant should note the need for any permits on the plan set.
- b. Additional local permitting may be required.

9. Other

- a. No other comments at this time.

Please feel free to call if you have any questions.

Very truly yours,



Steven W. Reichert, PE

SWR:elc

Enclosure

cc: Town of Hudson Engineering Division – File
Boudreau Land Surveying, PLLC – scott@boudreauls.net



Scott Boudreau, LLS 961
2 Beatrice Lane
Newmarket, NH 03857
Phone: (603)659-3468
scott@boudreauls.net

September 30, 2024

Mr. Jay Minkarah
Acting Town Planner
Town of Hudson
12 School Street
Hudson, NH 03051

RE: Response to Comments from Elvis Dhiima, Town Engineer
Town of Hudson
19 Library Street Subdivision Plan
Tax Map 182, Lot 111

Dear Mr. Minkarah:

Please find my responses [in blue](#) to the comments prepared by Elvis Dhima below:

1. Applicant shall provide proposed water and sewer stubs in addition to sewer cleanout and water curb stop
[This has been shown on Sheet C1.](#)
2. Applicant shall provide information regarding the existing water and sewer services for the lot
[Existing water and sewer is shown on Sheet C1 based on visible utilities observed during the survey, and GIS information provided by the Engineering Department.](#)
3. Applicant shall provide plan and provide for both proposed driveways
[A plan and profile is shown for each proposed driveway on Sheet C2.](#)
4. Applicant needs to show a 5 foot minimum distance between the property line and proposed driveway
[This has been addressed on Sheet C1 with a dimension showing the 5' distance between the proposed driveway and the proposed property line.](#)

Sincerely,

Scott D. Boudreau
NH Licensed Land Surveyor #961
NH Subsurface Designer #1528



Scott Boudreau, LLS 961
2 Beatrice Lane
Newmarket, NH 03857
Phone: (603)659-3468
scott@boudreauls.net

September 30, 2024

Mr. Jay Minkarah
Acting Town Planner
Town of Hudson
12 School Street
Hudson, NH 03051

RE: Response to Fuss & O'Neill Reference No. 20030249.2420
Town of Hudson Planning Board Review
19 Library Street Subdivision Plan
Tax Map 182, Lot 111, Acct. #1350-576

Dear Mr. Minkarah:

Please find my responses [in blue](#) to the comments prepared by Fuss & O'Neill below:

The following items are noted:

1. Administrative and Subdivision Review Codes (HR 276 & HR 289)

- a. Hudson Regulation (HR) 276-7. The applicant has not noted any waivers requested on the plan set.
[No Action](#)
- b. HR 276-11.B.(6). The applicant has not provided the owner's signature on the plan set. A location for a future signature has been provided.
[No Action](#)
- c. HR 276-11.1.B.(13). The applicant has not shown any signs on the plan set.
[No signs are proposed](#)
- d. HR 276-11.1.B.(14). The applicant has provided a note stating that no exterior lighting is proposed on the site.
[No Action](#)
- e. HR 276-11.B.(16). The applicant has not shown all driveways, parking areas and travel ways within 200 feet of the site.
[Driveways and roads have been shown within 200' on Sheet C2 of the plan set showing the Site Distance Profiles for both proposed driveways.](#)
- f. HR 276-11.1.B.(17) & (18). The applicant has not provided existing or proposed contours on the plan set. We note that some spot grades are provided but it is not clear if those grades are existing or proposed grading.
[Existing spot grades have been shown on the surveyed premises since the site has little elevation variation. Contour lines have been added to Sheet C2 for Site Distances.](#)
- g. HR 276-11.B.(20). The applicant has not provided the height of the existing buildings on the plan set.
[The building height has been added to the note for the existing structure on Sheet C1.](#)
- h. HR 276-11.B.(25). The applicant has proposed the driveway for lot 111 to be within the side setback

Attachment "D"

area.

Per the town engineer, there is a 5' minimum distance between the driveway and property line. A dimension has been added to the plan of Sheet C1 to show compliance.

i. HR 289-18.X. and 289-28.G. The applicant has shown the existing sidewalk on the plan set. We note that due to the removal of the existing driveway and installation of 2 new driveways, the applicant should coordinate with the Town regarding the extent of sidewalk replacement in this area. Details should be provided for the sidewalk installation and driveway interface.

Note 15 on Sheet C1 has been added stating "Applicant shall coordinate with the town regarding proposed driveway installation and sidewalk replacement".

j. HR 289-22. The applicant has not proposed any specific open spaces on the plan set.

No Action

k. HR 289-26.B.(3). The applicant has not shown any existing easements on the plan set.

No Action

l. HR 289-17.B.(10). The locus map provided on the plan set does not match the required scale and does not show any information other than lot lines and right-of-way lines.

The locus map has been revised to show the 1" = 1,000' requirement.

2. Driveway Review Codes (HR 193-10)

a. HR 193-10.A. & 193-10.E. The applicant has shown the location of a proposed driveway for each proposed lot on the plan set. The applicant has not provided any sight distance information on the plan set.

Site distances and profiles have been provided on Sheet C2 for both proposed driveways.

b. HR 193-10.C. The applicant should provide grading for the driveways and connection to the existing roadway to be sure there are not any drainage or ponding issues.

Driveway Profiles have been provided on Sheet C2.

c. HR 193-10.J. The applicant has not included a driveway detail on the plan set.

Note 3 was added to the Proposed Driveway Notes on Sheet C2 describing the required driveway material.

3. Roadway Design

a. HR 289-18. The applicant is not proposing any new roadways or changes to the existing roads.

No Action

4. Drainage Design /Stormwater Management (HR 289-20.C. /Chapter 290)

a. HR 289-20. and 290-3.A.(1). The applicant has not shown any drainage improvements on the plans. The applicant has not provided a stormwater report or any drainage calculations in the package received for review.

No Action

5. Zoning (HR 334)

a. HR 334-14 The applicant has not noted any building heights on the plan set but has noted the existing dwelling at lot 111 is 2-1/2 stories and the proposed dwelling at lot 11-002 is 2 stories.

Added the building height to the existing structure on Sheet C1

b. HR 334-20. The site is located in the Town Residential (TR) District. The applicant should note if the proposed use is single family residential.

Note 8 has been revised on Sheet C1 to show proposed use as Single Family Residential.

c. HR 334-27. The applicant has proposed lot sizes, frontages and setbacks that meet the minimum requirements of the Town Residential (TR) District in Attachment 4 of the Ordinance. We note that the existing dwelling on lot 111 is partially within the existing setback area.

No Action

d. HR 334-33. The applicant has noted that no wetlands were observed on the site.

No Action

e. HR 334-62. There are no sign installations proposed as a part of this project.

No Action

f. HR 334-83. The applicant should confirm if the site is located in a designated flood hazard area.

Attachment "D"

Note 10 has been added to Sheet C1 confirming that no part of the site is located within a flood hazard area.

6. Sewer/Water Design/Conflicts & Utility Design/Conflicts (HR 276-13.E.)

a. HR 276-13.A. The applicant has not shown the location of any electric, telephone, television or other utility services on the plan set.

No Action

b. HR 276-13.E. The applicant has noted that the site will be serviced by Town water and sewer but has not shown any existing or proposed connections on the plans. We also note no details were provided for those utility connections.

Proposed connections and stubs have been added to Sheet C1 for water and sewer.

c. HR 276-15. The applicant should add a Dig Safe logo and phone number to the plan set.

The Dig Safe logo has been added to the Title Page.

7. Erosion Control/Wetland Impacts

a. HR 290-6. The applicant has not shown any proposed erosion and sedimentation control measures on the plan set.

No Action

b. The Town should reserve the right to require additional erosion control measures.

No Action

8. State and Local Permits

a. The applicant should note the need for any permits on the plan set.

No Action

b. Additional local permitting may be required.

No Action

Sincerely,



Scott D. Boudreau
NH Licensed Land Surveyor #961
NH Subsurface Designer #1528



TOWN OF HUDSON

Planning Board

Timothy Malley, Chairman



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

CAP FEE WORKSHEET - 2024

Date: 09-10-24 Zone # 1 Map/Lot: 182/111-000

19 Library Street

Project Name: Library Street, LLC 2-Lot Subdivision

Proposed ITE Use #1: Single Family

Proposed Building Area (square footage): N/A S.F.

CAP FEES: (ONE CHECK NEEDED)

1.	(Bank 09) 2070-701	Traffic Improvements	\$ <u>2,216.00</u>
2.	(Bank 09) 2050-182	Recreation	\$ <u>400.00</u>
3.	(Bank 09) 2080-051	School	\$ <u>3,578.00</u>
		Total CAP Fee	\$ <u>6,194.00</u>

Check should be made payable to the Town of Hudson.

Thank you,
Brocke Dubowik
Planning Administrative Aid II

PROPOSED SUBDIVISION FOR LIBRARY STREET, LLC (TAX MAP 182 LOT 111) 19 LIBRARY STREET HUDSON, NH 03051

DIRECT ABUTTERS

Tax Map 182 Lot 111-1
Daniel & Kathryn Contini
17 Library Street
Hudson, NH 03051

Tax Map 182 Lot 112
Sarah K. & Jason S. Nich
13 School Street
Hudson, NH 03051

Tax Map 182 Lot 113
Raymond Patrick Richard
11 School Street
Hudson, NH 03051

Tax Map 182 Lot 115
Diana M. Lavertue
13 Chase Street
Hudson, NH 03051

Tax Map 182 Lot 116
Shawna D. Wilkins
11 Chase Street
Hudson, NH 03051

Tax Map 182 Lot 129
St. John The Evangelist Church
153 Ash Street
Manchester, NH 03104

ABUTTERS WITHIN 200'

Tax Map 182 Lot 101
Town of Hudson
20 Library Street
Hudson, NH 03051

Tax Map 182 Lot 102
Town of Hudson School District
20 Library Street
Hudson, NH 03051

Tax Map 182 Lot 110
Town of Hudson School District
20 Library Street
Hudson, NH 03051

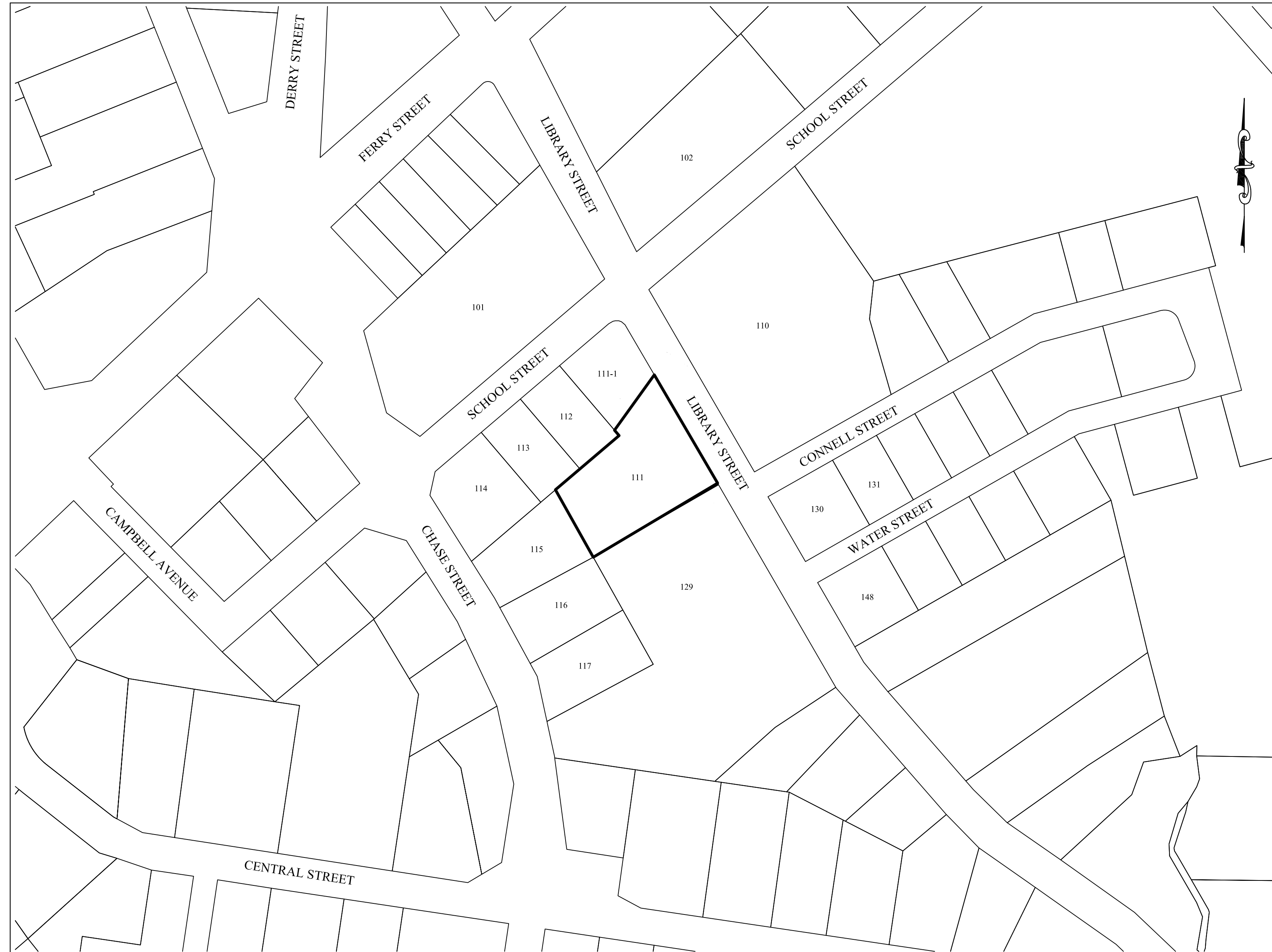
Tax Map 182 Lot 114
Alexandra Mead & Gregory Donovan
Plate
15 Chase Street
Hudson, NH 03051

Tax Map 182 Lot 117
Sean T. McDougal
9 Chase Street
Hudson, NH 03051

Tax Map 182 Lot 130
Timothy A. Parker
26 Library Street
Hudson, NH 03051

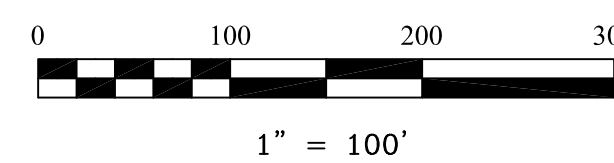
Tax Map 182 Lot 131
Peter Desalvo
4A Water Street
Hudson, NH 03051

Tax Map 182 Lot 148
William Davila & Melissa Pettit
28 Library Street
Hudson, NH 03051



LEGEND

- BOUND FOUND
- IRON ROD TO BE SET WITH IDENTIFICATION CAP "LLS 961" UNLESS OTHERWISE NOTED ON PLAN
- UTILITY POLE
- SEWER MANHOLE
- DRAIN MANHOLE
- CATCH BASIN
- WATER VALVE
- BENCHMARK
- BOUNDARY LINE
- ABUTTER LINE
- RIGHT-OF-WAY
- EDGE OF PAVEMENT
- BUILDING SETBACK LINE
- EXISTING SEWER
- EXISTING WATER
- PROPOSED SEWER
- PROPOSED WATER



SHEET INDEX

TITLE _____ SHEET NO. _____
SUBDIVISION PLAN C1
PLAN AND PROFILE C2

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY IS THE RESULT OF AN ACTUAL FIELD SURVEY USING A TOTAL STATION, HAVING A RELATIVE ERROR OF CLOSURE OF LESS THAN 1 FOOT IN 15,000 FEET, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

L.L.S. #961

SEPTEMBER 29, 2024 _____ DATE



OWNER SIGNATURE _____ DATE _____

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE DATE: _____

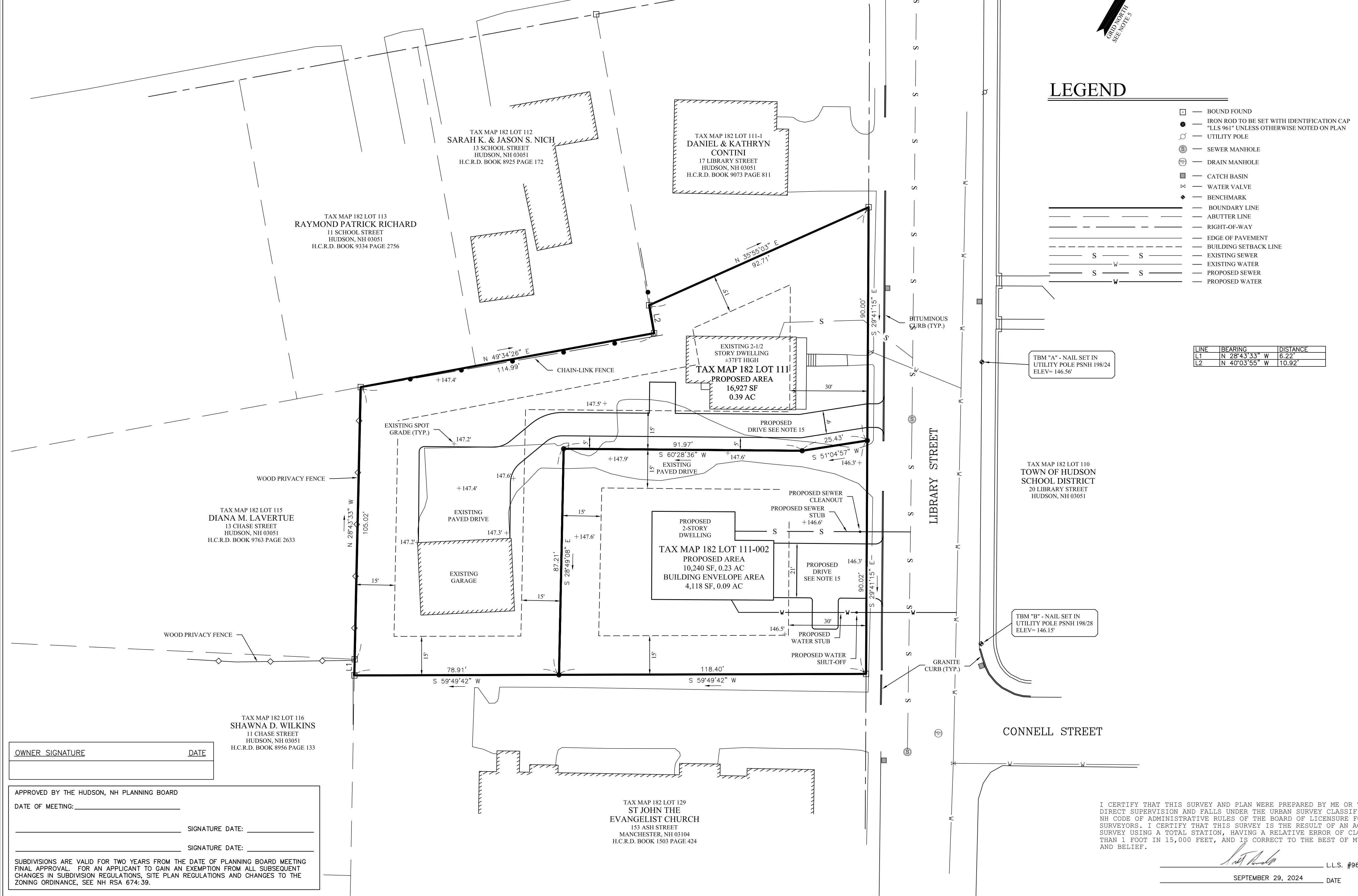
SIGNATURE DATE: _____

SUBDIVISIONS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.

DRAWN BY: SDB	DATE: SEPTEMBER 29, 2024
CHECKED BY:	DRAWING NAME: 24032A
JOB NAME: 24032	SHEET: COVER

**Boudreau
Land
Surveying** P.L.L.C.
SCOTT D. BOUDREAU, L.L.S. #961
2 BEATRICE LANE
NEWMARKET, NH 03857
(603) 659-3468

SUBDIVISION REQUIREMENTS				
	EXISTING LOT 111	PROPOSED LOT 111	PROPOSED LOT 111-002	TOWN CODE
DISTRICT	TR	TR	TR	TR
LOT SIZE	27,167 SF	16,927 SF	10,240 SF	10,000 SF
BUILDING ENVELOPE	EXISTING HOUSE	EXISTING HOUSE	4,118 SF	
WATER/SEWER	TOWN WATER & SEWER	TOWN WATER & SEWER	TOWN WATER & SEWER	TOWN WATER & SEWER
FRONTAGE	180.02'	90.00'	90.02'	90'
WETLANDS	NO WETLANDS OBSERVED	NO WETLANDS OBSERVED	NO WETLANDS OBSERVED	
SLOPE	0%	0%	0%	LESS THAN 25%



LEGEND

- BOUND FOUND
- IRON ROD TO BE SET WITH IDENTIFICATION CAP "LLS 961" UNLESS OTHERWISE NOTED ON PLAN
- UTILITY POLE
- ⊙ SEWER MANHOLE
- ⊕ DRAIN MANHOLE
- ⊞ CATCH BASIN
- ⊞ WATER VALVE
- ⊞ BENCHMARK
- BOUNDARY LINE
- ABUTTER LINE
- RIGHT-OF-WAY
- EDGE OF PAVEMENT
- BUILDING SETBACK LINE
- EXISTING SEWER
- EXISTING WATER
- PROPOSED SEWER
- PROPOSED WATER

LINE	BEARING	DISTANCE
L1	N 28°43'33" W	6.22'
L2	N 40°03'55" W	110.92'

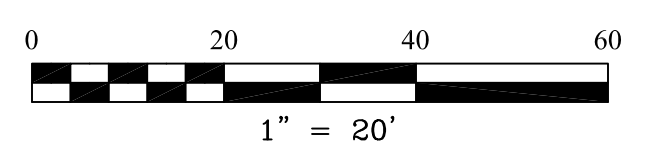


LOCATION MAP
SCALE 1" = 1,000'

- NOTES:**
- REFERENCE: TAX MAP 182 LOT 111 H.C.R.D. BOOK 9788 PAGE 1419
 - PARCEL AREA: 27,167 SQ. FT. OR 0.62 AC.
 - OWNER OF RECORD: LIBRARY STREET, LLC 195R CENTRAL STREET HUDSON, NH 03051
 - ZONE: TR - TOWN RESIDENTIAL DIMENSIONAL REQUIREMENTS:

MINIMUM LOT AREA	10,000 sq. ft.
MINIMUM FRONTAGE	90 ft.
MINIMUM FRONT SETBACK	30 ft.
MINIMUM SIDE SETBACK	15 ft.
MINIMUM REAR SETBACK	15 ft.
 - HORIZONTAL DATUM IS NAD '83) BASED ON GPS OBSERVATIONS.
 - VERTICAL DATUM SHOWN IS NAVD '88 BASED ON GPS OBSERVATIONS.
 - FIELD SURVEY PERFORMED BY SDB ON 8/13/2024 USING A SPECTRA PRECISION FOCUS ROBOTIC TOTAL STATION WITH A DATA COLLECTOR AND A CARLSON BRX7 GNSS RECEIVER. TRAVERSE ADJUSTMENT IS BASED ON COMPASS RULE METHOD OF ADJUSTMENT. ERROR OF CLOSURE IS 1:139,000.
 - THE INTENT OF THIS PLAN IS TO SUBDIVIDE TAX MAP 182 LOT 111 INTO 2 SINGLE FAMILY RESIDENTIAL LOTS.
 - THERE ARE NO WETLANDS ON SITE.
 - TAX MAP 182 LOT 111 FALLS ENTIRELY WITHIN "ZONE X" OF THE SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, AS SHOWN ON F.L.R.M. MAP NUMBER 33011 C0518D, EFFECTIVE SEPTEMBER 25, 2009.
 - THE LOCATION OF THE UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND ARE BASED ON VISIBLE STRUCTURES AND PAINTED LINES OBSERVED AT THE TIME OF THE SURVEY, AND INFORMATION SHOWN ON THE TOWN OF HUDSON G.I.S. VERIFY WITH DIG SAFE PRIOR TO CONSTRUCTION ACTIVITIES.
 - TAX MAP 182 LOT 111 IS SERVICED BY TOWN WATER AND SEWER.
 - THERE WILL BE NO EXTERIOR LIGHTING.
 - APPLICANT SHALL PROVIDE CLEANOUT AND CURB STOP FOR THE PROPOSED WATER AND SEWER SERVICE ON LIBRARY STREET.
 - APPLICANT SHALL COORDINATE WITH THE TOWN REGARDING PROPOSED DRIVEWAY INSTALLATION AND SIDEWALK REPLACEMENT.

- PLAN REFERENCES:**
- PLAN TITLED "PALY SUBDIVISION PLAN, TAX MAP 182 LOT 111, 19 LIBRARY STREET, HUDSON, NH PREPARED FOR: SVETLANA PALY" DATED SEPTEMBER 2017, PREPARED BY EDWARD N. HERBERT ASSOC., INC., H.C.R.D. PLAN #39540.



SUBDIVISION PLAN
PREPARED FOR
LIBRARY STREET, LLC
(TAX MAP 182 LOT 111)
19 LIBRARY STREET
HUDSON, NH

DRAWN BY: SDB	DATE: SEPTEMBER 29, 2024
CHECKED BY: ARB	DRAWING NAME: 24032A2
JOB NAME: 24032	SHEET: C1

STATE OF NEW HAMPSHIRE
NOTARY PUBLIC
No. 961
SCOTT
BOUDREAU
SIGNATURE

Boudreau Land Surveying P.L.L.C.
SCOTT D. BOUDREAU, L.L.S. #961
2 BEATRICE LANE
NEWMARKET, NH 03857
(603) 659-3468

OWNER SIGNATURE _____ DATE _____

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE DATE: _____

SIGNATURE DATE: _____

SUBDIVISIONS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY IS THE RESULT OF AN ACTUAL FIELD SURVEY USING A TOTAL STATION, HAVING A RELATIVE ERROR OF CLOSURE OF LESS THAN 1 FOOT IN 15,000 FEET, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

L.L.S. #961
 SEPTEMBER 29, 2024 DATE

TAX MAP 182 LOT 116
SHAWNA D. WILKINS
11 CHASE STREET
HUDSON, NH 03051
H.C.R.D. BOOK 8956 PAGE 133

TAX MAP 182 LOT 115
DIANA M. LAVERTUE
13 CHASE STREET
HUDSON, NH 03051
H.C.R.D. BOOK 9763 PAGE 2633

TAX MAP 182 LOT 113
RAYMOND PATRICK RICHARD
11 SCHOOL STREET
HUDSON, NH 03051
H.C.R.D. BOOK 9334 PAGE 2756

TAX MAP 182 LOT 112
SARAH K. & JASON S. NICH
13 SCHOOL STREET
HUDSON, NH 03051
H.C.R.D. BOOK 8925 PAGE 172

TAX MAP 182 LOT 111-1
DANIEL & KATHRYN CONTINI
17 LIBRARY STREET
HUDSON, NH 03051
H.C.R.D. BOOK 9073 PAGE 811

EXISTING 2-1/2 STORY DWELLING
±37FT HIGH
TAX MAP 182 LOT 111
PROPOSED AREA
16,927 SF
0.39 AC

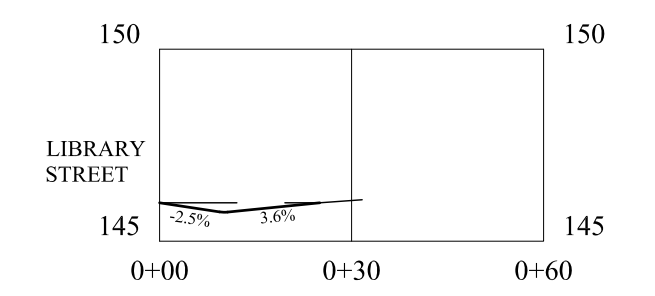
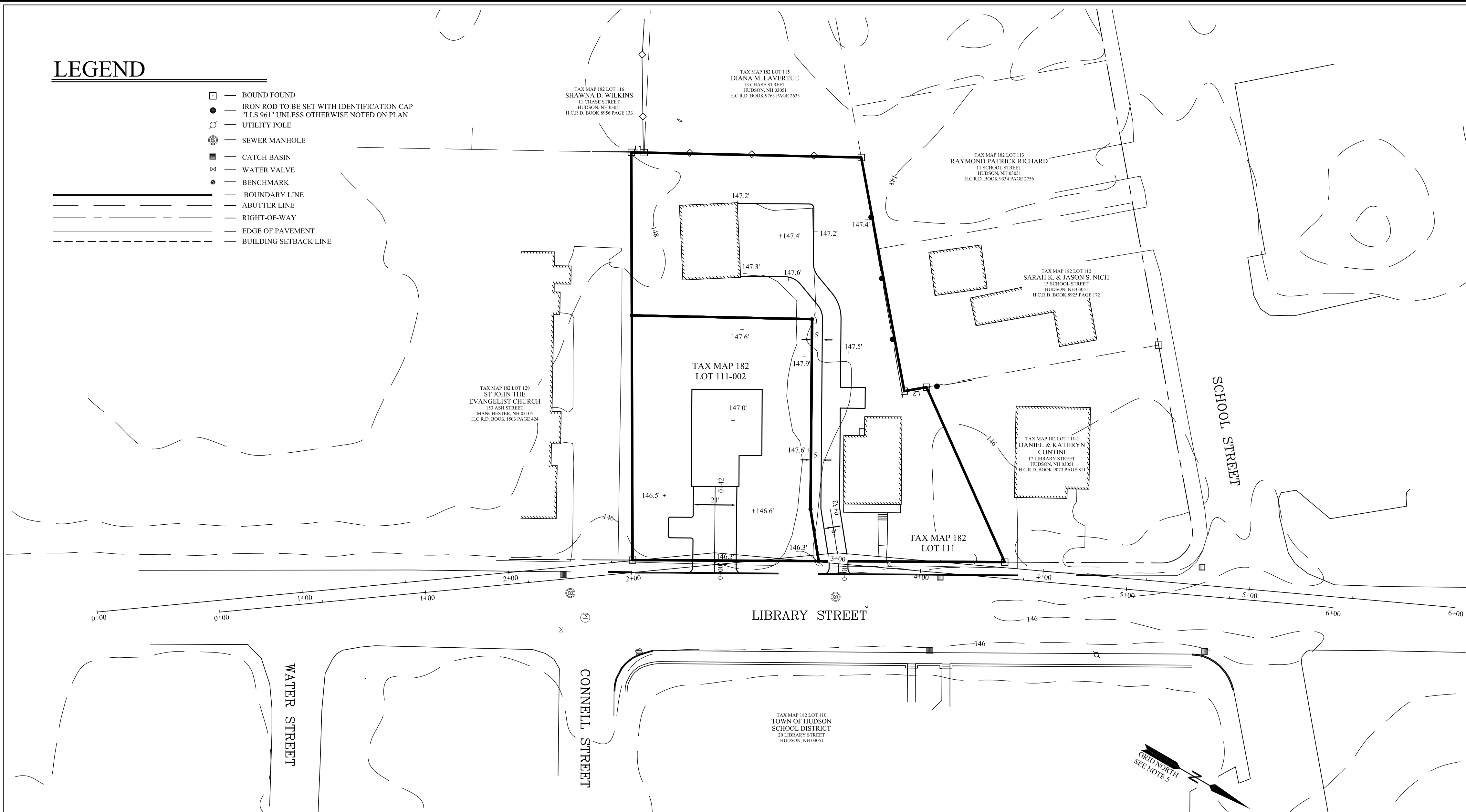
TAX MAP 182 LOT 111-002
PROPOSED AREA
10,240 SF, 0.23 AC
BUILDING ENVELOPE AREA
4,118 SF, 0.09 AC

TAX MAP 182 LOT 129
ST JOHN THE EVANGELIST CHURCH
153 ASH STREET
MANCHESTER, NH 03104
H.C.R.D. BOOK 1503 PAGE 424

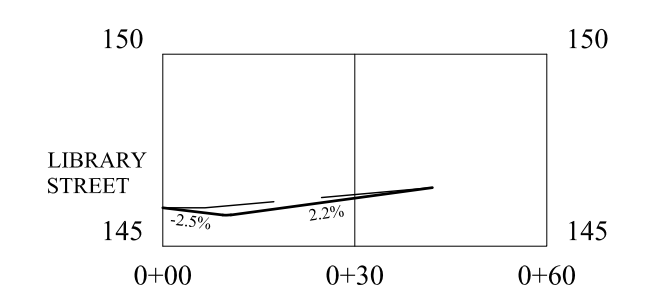
TAX MAP 182 LOT 110
TOWN OF HUDSON SCHOOL DISTRICT
20 LIBRARY STREET
HUDSON, NH 03051

LEGEND

- BOUND FOUND
- IRON ROD TO BE SET WITH IDENTIFICATION CAP "LLS 961" UNLESS OTHERWISE NOTED ON PLAN
- UTILITY POLE
- ⊙ SEWER MANHOLE
- ▣ CATCH BASIN
- ⊗ WATER VALVE
- ◆ BENCHMARK
- BOUNDARY LINE
- - - ABUTTER LINE
- - - RIGHT-OF-WAY
- - - EDGE OF PAVEMENT
- - - BUILDING SETBACK LINE

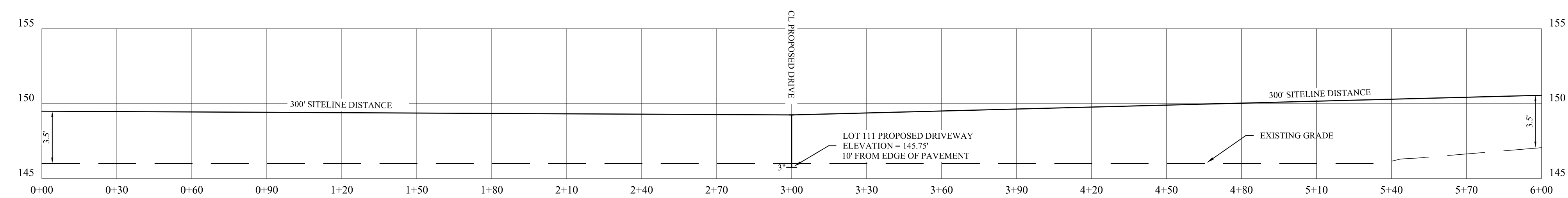


PROPOSED DRIVEWAY LOT 111

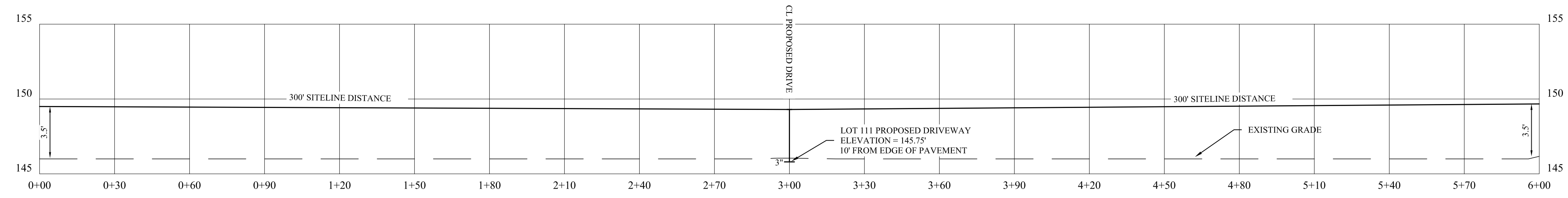


PROPOSED DRIVEWAY LOT 111-002

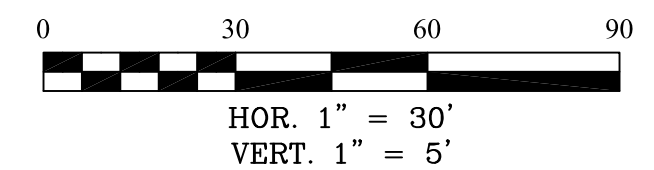
- PROPOSED DRIVEWAY NOTES:**
- DRIVEWAYS TO BE LOCATED ON LIBRARY STREET PER TOWN ENGINEER FINAL REVIEW.
 - PROPOSED SLOPE OF DRIVEWAY NOT TO EXCEED 10%.
 - ALL DRIVEWAY SURFACE MATERIAL WITHIN THE RIGHT-OF-WAY SHALL BE BITUMINOUS CONCRETE OR OTHER SURFACE MATERIAL APPROVED BY THE PUBLIC WORKS DIRECTOR AND SPECIFIED ON THE DRIVEWAY PERMIT.



SITELINE PROFILE LOT 111



SITELINE PROFILE LOT 111-002



PLAN AND PROFILE
PREPARED FOR
LIBRARY STREET, LLC
(TAX MAP 182 LOT 111)
19 LIBRARY STREET
HUDSON, NH

DRAWN BY: SDB	DATE: SEPTEMBER 29, 2024
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STATE OF NEW HAMPSHIRE
LAND USES DIVISION
NO. 861
SCOTT D. BOUDREAU
BOUDREAU
SIGNATURE

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