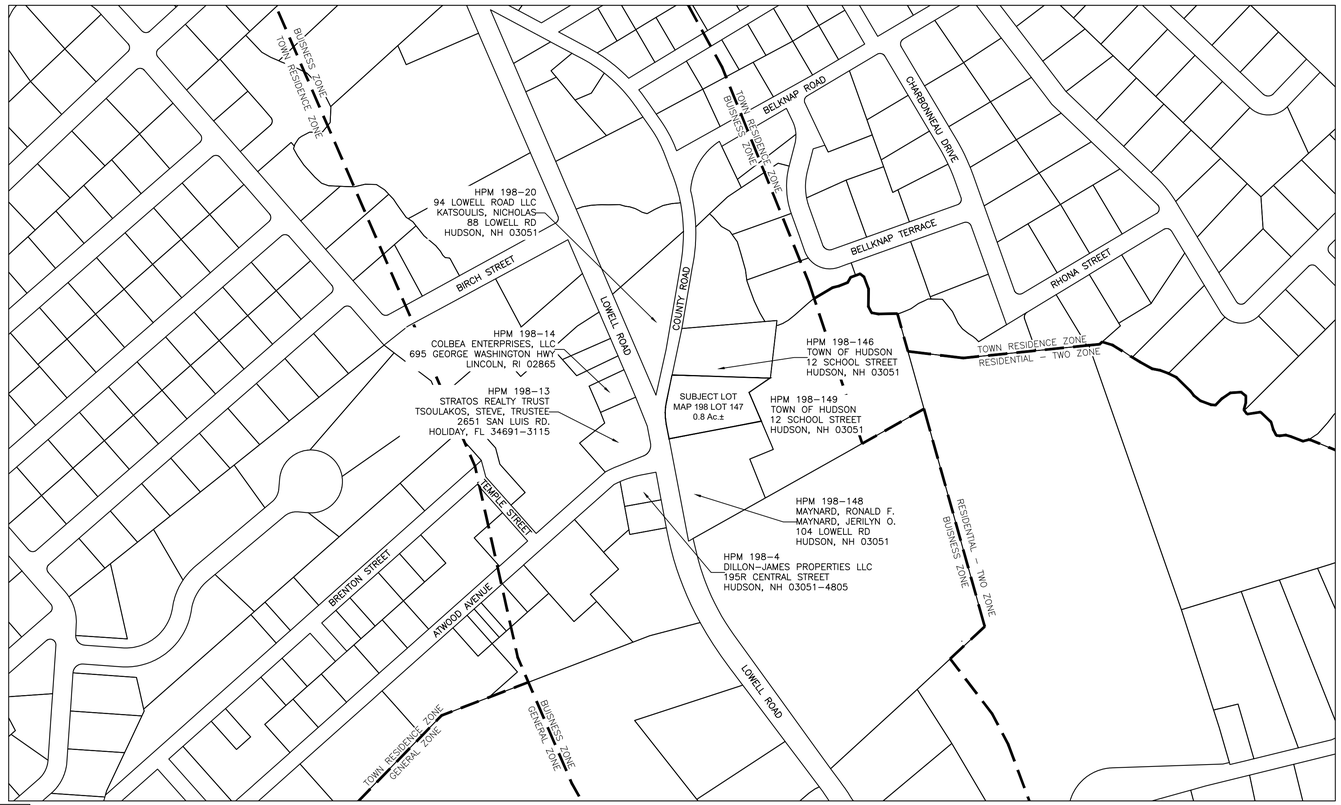
Site Development Plans
Commercial Development
Inside Out Painting and Remodeling
100 Lowell Road
Hudson, NH

October 2, 2024

LEGEND

	EXISTING	PROPOSED
EDGE OF GRAVEL		
EDGE OF PAVEMENT		
PROPERTY LINE		
STONE WALL		
REBAR		
BOUND		
BOLLARD		
EASEMENT LINE		
BUILDING SETBACK LINE		
ZONING BOUNDARY		
FLOOD PLAIN BOUNDARY		
XXXX PROPERTY MAP	XPM	
TEMPORARY BENCH MARK	TBM	
CONTOURS	282	282
SPOT ELEVATIONS	X 152.65	152.85
SOILS BOUNDARY		
SCS SOIL IDENTIFICATION SYMBOL	43B	
HISS SOIL IDENTIFICATION SYMBOL	238BH	
TREE LINE		
EVERGREEN TREE		
EVERGREEN SHRUB		
WOOD RAIL FENCE		
CHAIN LINK FENCE		
SILT SOCK		SS
OVERHEAD UTILITIES	O/E&T	PO/E&T
UNDERGROUND UTILITIES		PU/E&T
SANITARY SEWER	S	PS
WATER LINE	W	PW
GAS LINE	G	PG
RIPRAP		
GAS VALVE		
SEWER MANHOLE		
WATER GATE		
WATER SHUT OFF		
UTILITY POLE		
UTILITY POLE W/ STREET LIGHT		
GUY WIRE		
GUY POLE		
LIGHT POLE		
WALL LIGHT		
TRANSFORMER		
TEST PIT	TP	
PERCOLATION TEST		
DRAINAGE FLOW ARROWS		2%
TRAFFIC FLOW ARROWS		
ACCESSIBLE PARKING		
DUMPSTER		
SIGN		



LOCATION PLAN

PREPARED FROM:
Bing Maps
SCALE: 1" = 1000'

NOTE

1. THE PURPOSE OF THIS PLAN IS TO SHOW A GENERAL OVERVIEW OF HUDSON TAX MAP 198 LOT 147.
2. THIS PLAN WAS PREPARED FROM THE PLANS OF REFERENCE AND THE ASSESSORS MAPS OF THE TOWN OF HUDSON.

SHEET INDEX

SHEET NUMBER	DESCRIPTION	REVISION NUMBER	DATE
1	TITLE SHEET	.	10/2/2024
2	EXISTING CONDITIONS PLAN	.	10/2/2024
3	SITE DEVELOPMENT PLAN	.	10/2/2024
4	SITE GRADING & UTILITIES PLAN	.	10/2/2024
5	LIGHTING PLAN	.	10/2/2024
6	FIRE PROTECTION PLAN	.	10/2/2024
7	EROSION CONTROL DETAILS	.	10/2/2024
8	CONSTRUCTION DETAILS	.	10/2/2024
9	CONSTRUCTION DETAILS	.	10/2/2024

OWNER OF RECORD

100 LOWELL RD LLC
122 LOWELL ROAD, SUITE 3
HUDSON, NH 03501

SIGNATURE

APPROVED BY HUDSON, NH
PLANNING BOARD

DATE OF MEETING:_____

SIGNATURE _____ SIGNATURE _____

SIGNATURE DATE:_____ SIGNATURE DATE:_____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECIEVES FINAL APPROVAL

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

THIS PLAN SET SUBMITTED FOR PERMITTING AND CONSTRUCTION ESTIMATES. THIS PLAN SET SHALL NOT BE USED FOR CONSTRUCTION.

DIG SAFE 1-888-344-7233

SCALE: 1"= 200'
0 100' 200' 400' 600'

No.	Revision	Date
	Designed by: BRC / Drawn by: BRC / Checked by: TDD	

Title Sheet
Commercial Development
Inside Out Painting and Remodeling
100 Lowell Road
Hudson, NH
Assessors Map 198 Lot 147

Windham, New Hampshire
Portland, Maine

SFC ENGINEERING

(603) 647-8700
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Sheet 1 of 9 | Scale: 1" = 200' | Date: 10/2/2024

STATE OF NEW HAMPSHIRE – DANIEL M. FLORES No. 15761 LICENSED PROFESSIONAL ENGINEER

Prepared for:

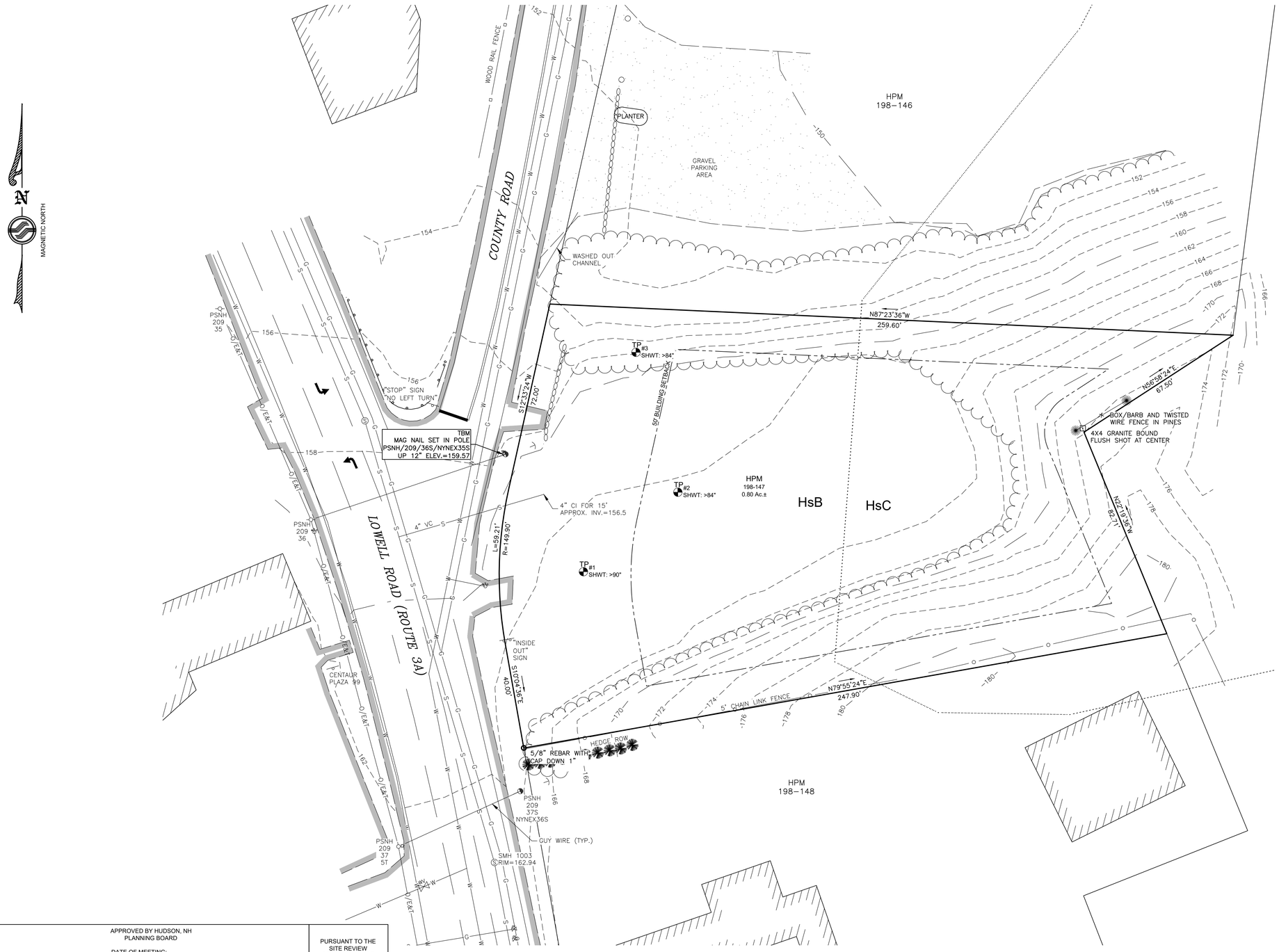
100 Lowell Rd LLC
122 Lowell Road, Suite 3
Hudson, NH 03501

Hudson Planning Board Approval

Zoning Classification: B - Business

Drawing: Title
Layout: Title - 1

Drawing name: K:\867710 Inside Out Painting - 100 Lowell Rd Hudson NH - Hamilton\AutoCAD\Final\Title.dwg



PLANS OF REFERENCE

1. "PLAN OF LAND, FELIX MAYNARD" PREPARED FOR: FELIX MAYNARD, PREPARED BY: ROLAND GIROUARD, DATED: OCT. 1969, RECORDED IN THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS AS PLAN #4281
   PLAN REFERENCE HUDSON, HILLSBOROUGH COUNTY REGISTRY OF DEEDS

NOTES

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF HUDSON PROPERTY MAP 198 LOT 147 CONSISTING OF 0.80 Ac.±
2. THE OWNER OF RECORD: 100 LOWELL ROAD LLC
   DEED REFERENCE BOOK 9752 PAGE 1966, HILLSBOROUGH COUNTY REGISTRY OF DEEDS
3. THIS PLAN SHOWS CONDITIONS AS DEFINED BY INSTRUMENT FIELD SURVEY ON 3/26/2024. THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY BY SFC ENGINEERING PARTNERSHIP INC. THE PROPERTY BOUNDARY SHOWN IS BASED ON MONUMENTATION FOUND DURING THE FIELD SURVEY AND PLANS OF REFERENCE.
4. BENCHMARK: CHC 900B SURVEY GRADE GPS
   VERTICAL DATUM: NAVD 88 (GEOID18)
   HORIZONTAL DATUM: NAD 83
5. ZONING DISTRICT: B - BUSINESS
   MINIMUM LOT SIZE: 30,000 SF
   MINIMUM FRONTAGE: 150'
   FRONT SETBACK: 50'
   SIDE SETBACK: 15'
   REAR SETBACK: 15'
6. NO PORTION OF THIS PARCEL IS LOCATED WITHIN A FLOOD HAZARD AREA AS INTERPRETED FROM THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF HUDSON, MAP NUMBER 33011C0518D. EFFECTIVE DATE: SEPTEMBER 25, 2009 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
7. ALL UNDERGROUND UTILITIES, IF SHOWN, ARE APPROXIMATE. CONTRACTOR TO CONTACT DIGSAFE 72 HOURS PRIOR TO CONSTRUCTION.
8. THE SITE IS SERVED BY MUNICIPAL WATER AND SEWER, OVERHEAD ELECTRIC, AND UNDERGROUND GAS.
9. SEWER UTILITY SHOWN FROM TOWN GIS AND SEWER SERVICE RECORDS.
10. WATER UTILITY SHOWN FROM TOWN GIS, WATER SERVICE RECORDS AND SURVEY LOCATIONS.
11. GAS UTILITY SHOWN FROM TOWN GIS AND SURVEY LOCATIONS.
12. THE SEWER SERVICE WAS VIEWED BY SFC AND HUDSON DPW ON AUGUST 29, 2024. THE PIPE SECTION PAST THE PROPERTY LINE TO THE SEWER MAIN IN THE ROAD WAS FOUND TO BE CLEAR AND ADEQUATE FOR SERVICE.
13. PER NRCS WEB SOIL SURVEY, SOILS INCLUDE HsB HINCKLEY LOAMY SAND, 8 TO 15 PERCENT SLOPES.
14. TEST PITS WERE OBSERVED BY SFC ON 8/29/2024

APPROVED BY HUDSON, NH
PLANNING BOARD

DATE OF MEETING:_____

_____ SIGNATURE

_____ SIGNATURE

SIGNATURE DATE:_____

SIGNATURE DATE:_____

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SCALE: 1"= 20'
0 10' 20' 40' 60'

No.	Revision	Date
Designed by: JRB	Drawn by: BRC	Checked by: TDD

Existing Conditions Plan
Commercial Development
Inside Out Painting and Remodeling
100 Lowell Road
Hudson, NH
Assessors Map 198 Lot 147

Windham, New Hampshire
Portland, Maine

SFC ENGINEERING

(603) 647-8700
www.sfceng.com

Sheet 2 of 9 | Scale: 1" = 20' | Date: 10/2/2024

STATE OF NEW HAMPSHIRE — DANIEL M. FLORES No. 15761 LICENSED PROFESSIONAL ENGINEER

Prepared for:

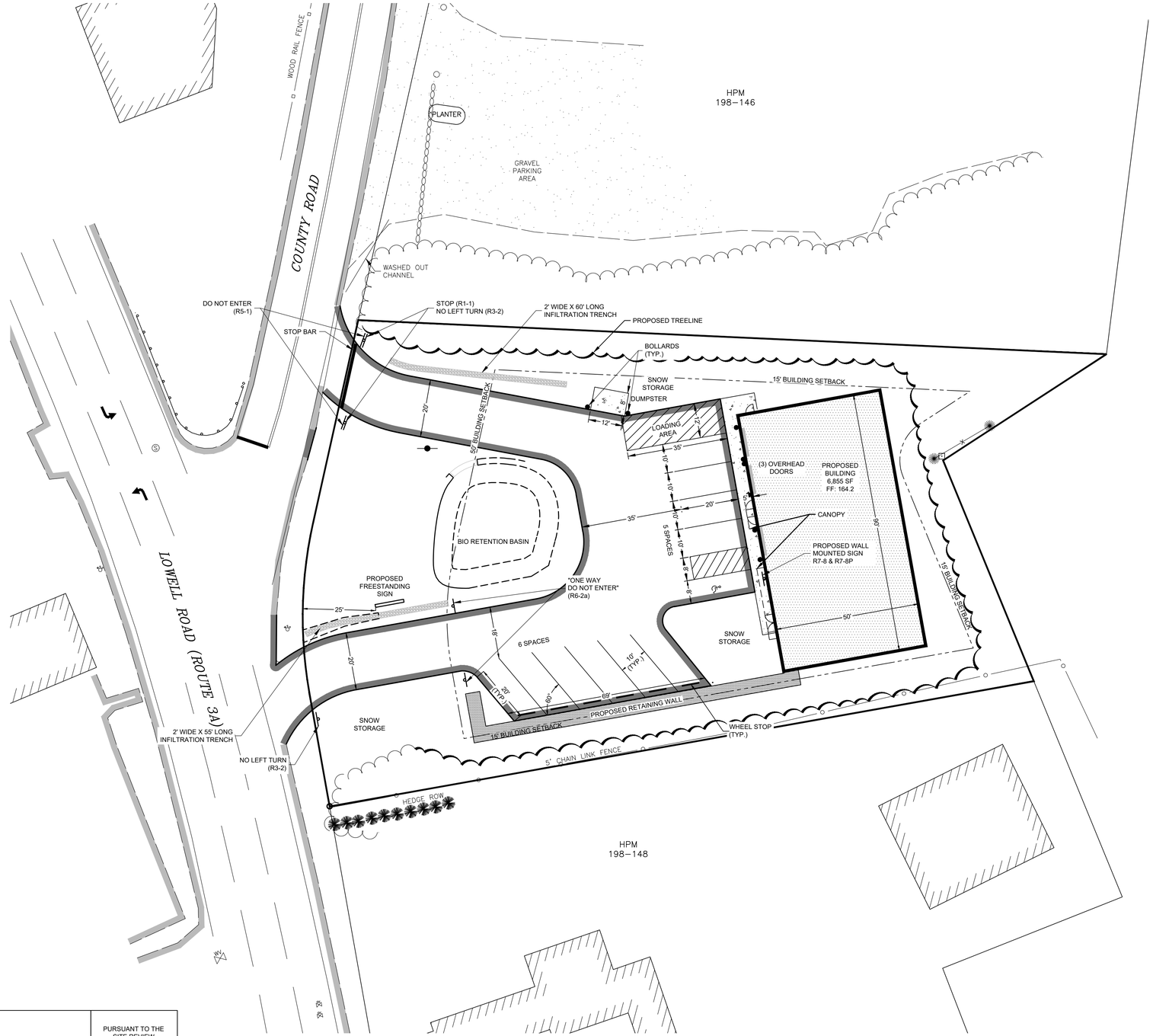
100 Lowell Road LLC
122 Lowell Road, Suite 3
Hudson, NH 03501

Hudson Planning Board Approval

Zoning Classification: B - Business

Drawing: Existing Conditions
Layout: Existing Conditions Plan - 2

Drawing name: K:\867\40 Inside Out Painting - 100 Lowell Rd Hudson NH - Hamilton\Site\CAD\Final\2 Existing Conditions.dwg



NOTES

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE DEVELOPMENT OF A COMMERCIAL BUILDING ON HUDSON PROPERTY MAP 198 LOT 147 CONSISTING OF 0.80 Ac.

2. THE PROPOSED DEVELOPMENT INCLUDES:
   A. NEW COMMERCIAL BUILDING
   B. PARKING AND MANUEVERING SPACE
   C. THREE OVERHEAD DOORS
   D. DUMPSTER WITH ENCLOSURE
   E. RETAINING WALL
   F. PROPERTY TO BE SERVED BY RIGHT IN/RIGHT OUT DRIVEWAYS
   G. CONNECTION TO MUNICIPAL UTILITIES (WATER AND SEWER) AND NATURAL GAS
   H. RELOCATION OF OVERHEAD ELECTRIC, THEN UNDERGROUND TO BUILDING
   I. NEW FREESTANDING SIGN

3. ZONING DISTRICT: B - Buisness

DIMENSIONAL REQUIREMENT	REQUIRED	PROVIDED
MINIMUM LOT SIZE:	0.69 Ac.± (30,000 SQ.FT.)	0.8 Ac.± (34,848 SQ.FT.)
MINIMUM FRONTAGE:	150'	171'
MAXIMUM BUILDING HEIGHT	35'	35'
FRONT SETBACK:	50'	135'
SIDE SETBACK:	15'	16'
REAR SETBACK:	15'	17'
OPEN SPACE:	13,939'	18,254

4. TOTAL LAND AREA TO BE DISTRIBUTED WITH THIS PROJECT: 28,981 SF

5. TOTAL PAVEMENT ON SITE AFTER DEVELOPMENT: 9,628 SF

6. THE PROPOSED BUILDING WILL BE SERVED BY MUNICIPAL WATER AND SEWER AND UNDERGROUND GAS AND ELECTRIC.

7. ALL WORK IS TO CONFORM TO THE TOWN OF HUDSON STANDARDS.

8. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERTIFY THAT THEY HAVE THE MOST RECENT SET OF PLANS. ALL WORK SHALL BE PERFORMED USING THE COMPLETE SET OF PLANS AS SOME ITEMS ARE NOT SHOWN ON EVERY SHEET.

9. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF CONDITIONS ARE FOUND THAT DO NOT MATCH WHAT IS SHOWN ON THESE PLANS

10. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

11. EACH ACCESSIBLE SPACE SHALL BE MARKED WITH AN UPRIGHT SIGN.

12. ALL PARKING SPACES SHALL BE STRIPED WITH WHITE TRAFFIC PAINT WITH A 4" MINIMUM LINE WIDTH.

13. ALL DISTURBED AREAS SHALL BE DRESSED WITH 4" OF LOAM AND SEED UNLESS OTHERWISE SPECIFIED.

14. ALL SITE AND CONSTRUCTION PLANS MAY BE REVIEWED BY A THIRD PARTY CONSULTANT OF THE TOWNS CHOOSING. ALL COSTS ASSOCIATED WITH THE THIRD PARTY REVIEWS AND INSPECTION SHALL BE PAID BY THE DEVELOPER.

15. OVERHEAD DOORS ARE PROVIDED FOR STORAGE OF VEHICLES DURING NON-BUISNESS HOURS TO KEEP MATERIAL IN A CONDITIONED SPACE. USE OF THESE DOORS WILL NOT IMPACT AVAILBLE PARKING.

16. LOCATION OF A SIGN MEETING ZONING REQUIREMENTS IS SHOWN. ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON ZONING ADMINISTRATOR PRIOR TO INSTALLATION THEREOF.

17. HUDSON SITE PLAN REVIEW REGULATIONS SECTION 275-8.c(7)(e) THAT STATES THAT LANDSCAPING REQUIREMENTS DO NOT APPLY TO PARKING AREAS CONSISTING OF A SINGLE ACCESS LANE.

18. PARKING REQUIREMENTS
    REQUIRED: 6,855 SF / 300 SF = 23 SPACES
    PROVIDED: 11, OF WHICH 1 IS VAN ACCESSIBLE

WAIVER REQUESTS

1. 276-11.1.B.(9) THAT REQUIRES ERROR OF CLOSURE PREPARED BY A NH LICENSED LAND SURVEYOR.

2. TOTAL 75-8.C.(2)(m) FOR PARKING QUANTITY

APPROVED BY HUDSON, NH
PLANNING BOARD

DATE OF MEETING:_____

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No.	Revision	Date
Designed by: TDD	Drawn by: BRC	Checked by: DMF

Site Development Plan

Commercial Development
Inside Out Painting and Remodeling
100 Lowell Road
Hudson, NH

Assessors Map 198 Lot 147

Windham, New Hampshire
Portland, Maine

SFC ENGINEERING

(603) 647-8700
www.sfceng.com

Sheet 3 of 9 | Scale: 1" = 20' | Date: 10/2/2024

STATE OF NEW HAMPSHIRE — DANIEL M. FLORES No. 15761 LICENSED PROFESSIONAL ENGINEER

Prepared for:

100 Lowell Road LLC
122 Lowell Road, Suite 3
Hudson, NH 03501

Hudson Planning Board Approval

Zoning Classification: B - Business

Drawing: Site Development
Layout: Site Development - 3

Drawing name: K:\667\10 Inside Out Painting - 100 Lowell Rd Hudson NH - Hamilton\Auto\ACAD Files\Site Development.dwg

NOTES

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED GRADING AND UTILITIES FOR DEVELOPMENT OF HUDSON PROPERTY MAP 198 LOT 147.
2. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH TOWN OF HUDSON STANDARDS.
3. SFC ENGINEERING PARTNERSHIP, INC. DOES NOT WARRANT THE LOCATION OR ELEVATION OF THE EXISTING UTILITIES OR THAT ALL ARE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIG SAFE (1-800-394-7233) AT LEAST 72 HOURS PRIOR TO CONSTRUCTION IN ACCORDANCE WITH STATE LAW.
4. CONTRACTOR SHALL VERIFY TEMPORARY BENCH MARK (TBM) ELEVATIONS PRIOR TO CONSTRUCTION.
5. BENCHMARK: CHC 900B SURVEY GRADE GPS
   VERTICAL DATUM: NAVD 88 (GEOID18)
   HORIZONTAL DATUM: NAD 83
6. ALL SPOT GRADES ARE AT BOTTOM OF CURB UNLESS OTHERWISE SPECIFIED.
7. ALL DISTURBED AREAS SHALL BE DRESSED WITH 4" OF LOAM AND SEED UNLESS OTHERWISE SPECIFIED.
8. ALL 2:1 SLOPES SHALL BE STABILIZED WITH JUTE MATTING OR EROSION CONTROL BLANKET IMMEDIATELY FOLLOWING FINAL GRADING
9. RETAINING WALL DESIGN BY OTHERS.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION PER NH STORMWATER MANUAL. EROSION CONTROL MEASURES SHALL BE REMOVED AND PROPERLY DISPOSED OF ONCE THE SITE IS STABLE.
11. WATER SERVICE SIZE PER BUILDING DESIGN.
12. ELECTRIC SERVICE TO BE INSTALLED INCONFORMANCE WITH UTILITY PROVIDER REQUIREMENTS.
13. ANTICIPATED SEWER LOADING:
    BASED ON OFFICE USE WITH NO CAFETERIA OR SHOWERS
    7 EMPLOYEES X 10 GPD = 70 GPD

APPROVED BY HUDSON, NH
PLANNING BOARD

DATE OF MEETING:_____

_____ SIGNATURE

_____ SIGNATURE

SIGNATURE DATE:_____

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SCALE: 1"= 20'

0 10' 20' 40' 60'

No.	Revision	Date
	Designed by: TDD / Drawn by: BRC	Checked by: DMF

Site Grading & Utilities Plan

Commercial Development
Inside Out Painting and Remodeling
100 Lowell Road
Hudson, NH

Assessors Map 198 Lot 147

SFC ENGINEERING

Windham, New Hampshire
Portland, Maine

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Sheet 4 of 9 | Scale: 1" = 20' | Date: 10/2/2024

STATE OF NEW HAMPSHIRE — DANIEL M. FLORES No. 15761 LICENSED PROFESSIONAL ENGINEER

Prepared for:

100 Lowell Road LLC
122 Lowell Road, Suite 3
Hudson, NH 03501

Hudson Planning Board Approval

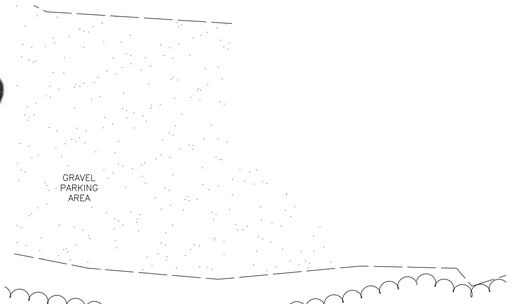
Zoning Classification: B - Business

Drawing: Site Grading and Utilities
Layout: Site Grading & Utilities - 4

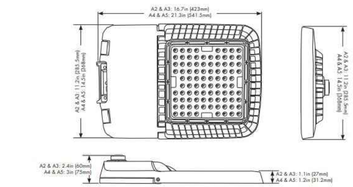
Drawing name: K:\6927\10-Inside Out Painting - 100 Lowell Rd Hudson NH - Hamilton\AutoCAD\Finals\Lighting Plan.dwg

Specifications

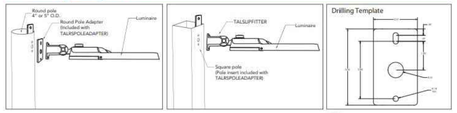
Input Line Voltage	120-277 & 277-480VAC
Input Line Frequency (Hz)	50/60HZ
Lumens / Wattage	14,000L (100W) 19,500L (150W) 27,500L (200W) 37,500L (300W)
Lumens per Watt (LPW)	>137 LPW
Color Temperature (CCT)	3000K, 4000K, 5000K
Rated Life	50,000 hours
Controls	NEMA 3-pin & 7-pin Photocontrol Receptacle options available
Operating Temperature	-40°C to 50°C
CRI	70+
Power Factor	>0.9
Surge Protection	10KV (120-277V), 20KV (277-480V)
THD	<20%
Ratings	UL/cUL, DLC Premium 5.1, IP65 Wet Location rated

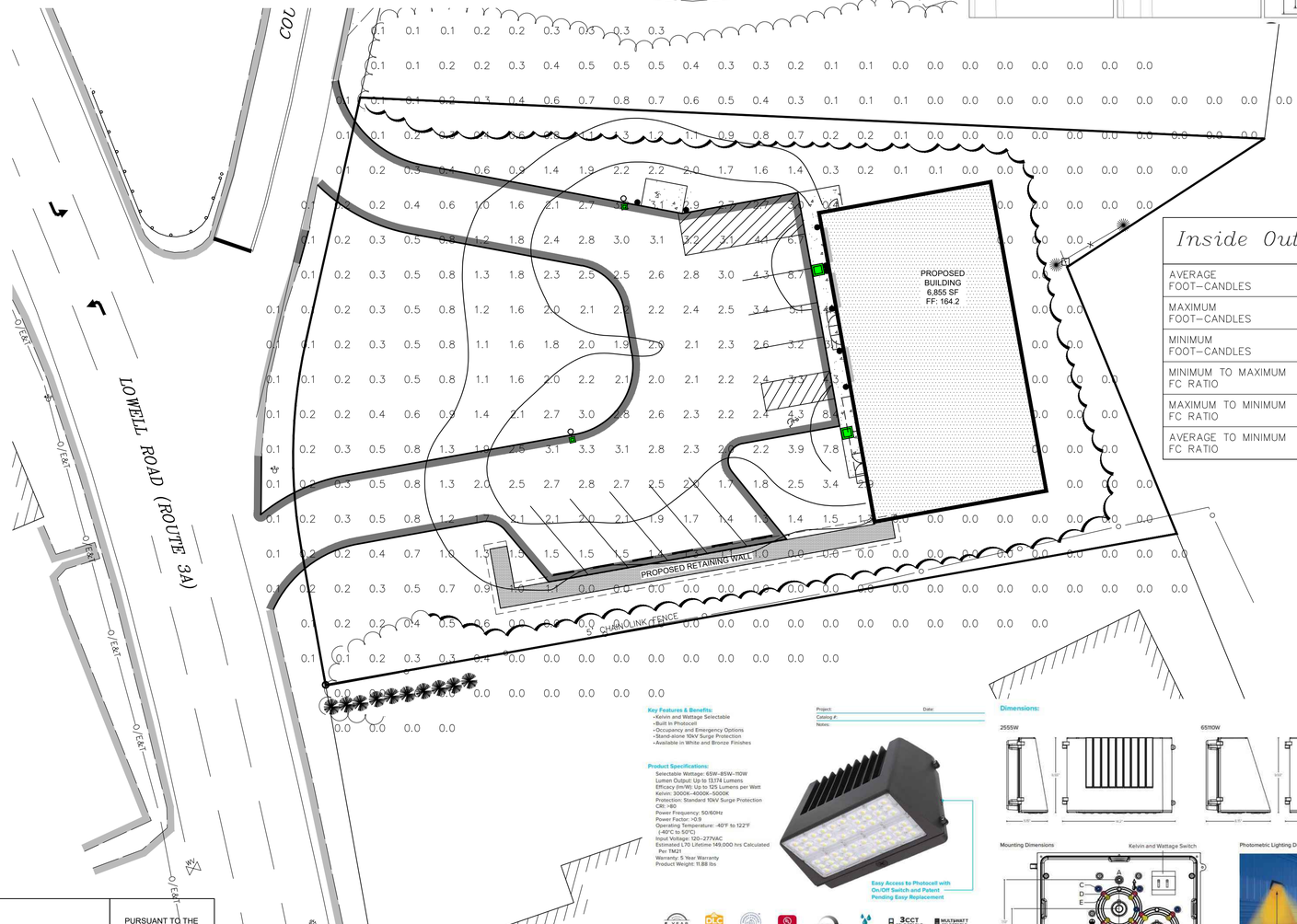


Dimensions



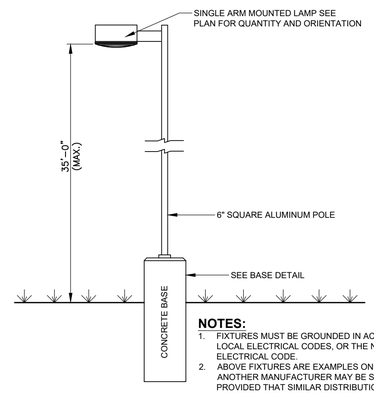
Mounting Diagrams





NOTES

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED LIGHTING OF THE DEVELOPMENT OF HUDSON MAP 198 LOT 147.
2. PROPOSED LIGHT FIXTURES TO BE MODEL 65110W BY ESL VISION OR APPROVED EQUAL AND TO BE MODEL TALUZDA2T4F40KBR BY TCP OR APPROVED
3. PROPOSED LIGHT FIXTURES ARE FULLY SHEILDED AND DARK SKY CONFORMING
4. PROPOSED LIGHT FIXTURES MOUNTING HEIGHT TO BE 20' FOR WALL PACKS AND 35' FOR LIGHT POLES



NOTES:

1. FIXTURES MUST BE GROUNDED IN ACCORDANCE WITH LOCAL ELECTRICAL CODES, OR THE NATIONAL ELECTRICAL CODE.
2. ABOVE FIXTURES ARE EXAMPLES ONLY. FIXTURES OF ANOTHER MANUFACTURER MAY BE SUBSTITUTED, PROVIDED THAT SIMILAR DISTRIBUTION PATTERNS AND LIGHTING LEVELS ARE ACHIEVED.
3. CENTER OF POLE BASES TO BE SET 4'-0" FROM EDGE OF PAVEMENT, EXCEPT WHERE OTHERWISE INDICATED ON DRAWING.
4. LIGHTING SHOWN HERE IS AREA LIGHTING. SUPPLEMENTAL BUILDING-MOUNTED FIXTURES AT DOORWAYS, ETC. MAY BE REQUIRED.

LIGHT POLE
NOT TO SCALE

SCALE: 1"= 20'
0 10' 20' 40' 60'

Inside Out Painting	
AVERAGE FOOT-CANDLES	.90
MAXIMUM FOOT-CANDLES	8.7
MINIMUM FOOT-CANDLES	.0
MINIMUM TO MAXIMUM FC RATIO	.00
MAXIMUM TO MINIMUM FC RATIO	8.73 / .00
AVERAGE TO MINIMUM FC RATIO	.90 / .00

APPROVED BY HUDSON, NH
PLANNING BOARD

DATE OF MEETING:_____

_____ SIGNATURE

_____ SIGNATURE

SIGNATURE DATE:_____

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No.	Revision	Date
Designed by: TDD	Drawn by: BRC	Checked by: DMF

Lighting Plan
Commercial Development
Inside Out Painting and Remodeling
100 Lowell Road
Hudson, NH
Assessors Map 198 Lot 147

SFC ENGINEERING

Windham, New Hampshire
Portland, Maine

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Sheet 5 of 9 | Scale: 1" = 20' | Date: 10/2/2024

STATE OF NEW HAMPSHIRE — DANIEL M. FLORES No. 15761 — LICENSED PROFESSIONAL ENGINEER

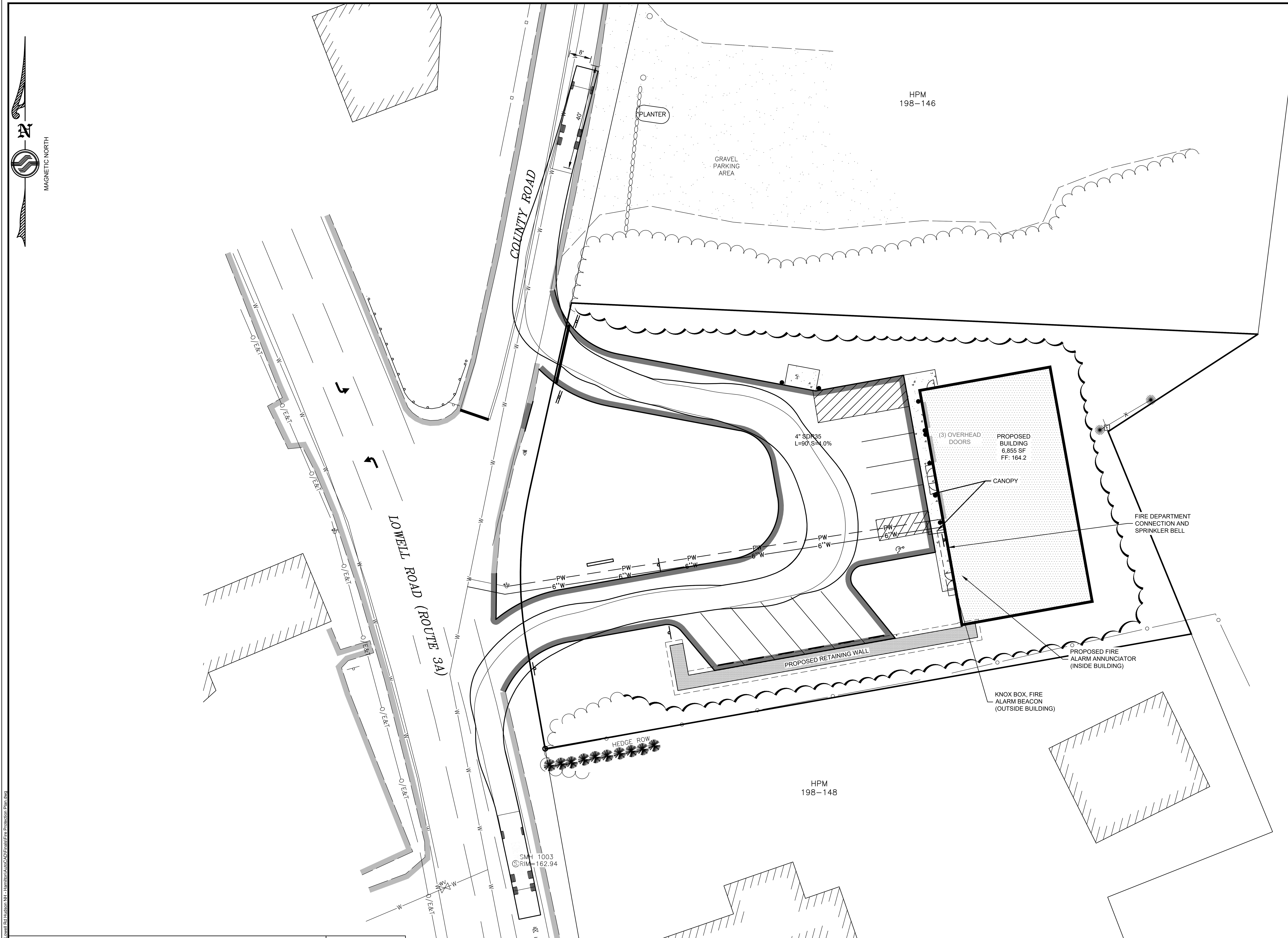
Prepared for:

100 Lowell Road LLC
122 Lowell Road, Suite 3
Hudson, NH 03501

Hudson Planning Board Approval

Zoning Classification: B - Business

Drawing: Lighting Plan
Layout: Lighting Plan - 5



SCALE: 1" = 20'

0 10' 20' 40' 60'

NOTES

THE PURPOSE OF THIS PLAN IS TO AID THE FIRE DEPARTMENT REVIEWER IN DETERMINING COMPLIANCE WITH MAJOR FIRE CODE REQUIREMENTS AS THEY RELATE TO SITE PLANNING. THIS PLAN IS NOT INTENDED TO SPECIFY ANY SYSTEMS DESIGNS OR MATERIALS BUT RATHER IT:

1. IDENTIFIES FIRE DEPARTMENT ACCESS REQUIREMENTS. MANEUVERING SHOWN BASED ON 100 FT LADDER TRUCK.
2. SPECIFIES INTENT TO PROVIDE SPRINKLER AND FIRE ALARM SYSTEMS.
3. SHOWS PROPOSED LOCATIONS OF KNOX BOX, FIRE ALARM ANNUNCIATOR, FIRE ALARM BEACON, FIRE DEPARTMENT CONNECTION, AND SPRINKLER BELL (SUBJECT TO FINAL APPROVAL IN PERMIT PLANS).
4. CALCULATE PRELIMINARY FIRE FLOW REQUIREMENTS BASED UPON ASSUMED TYPE IIB CONSTRUCTION (SPRINKLERED FLOW 600 GPM W/QR OR UNSPRINKLERED 1750 GPM).
5. IDENTIFY NEAREST HYDRANT.

FIRE PROTECTION NOTES

1. FIRE DEPARTMENT ACCESS ROADS ARE TO BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH NFPA 1, CHAPTER 18.
2. FIRE DEPARTMENT ACCESS ROADS WILL EXTEND TO WITHIN 50' OF AT LEAST ONE EXTERIOR DOOR THAT CAN BE OPENED FROM THE OUTSIDE AND PROVIDES ACCESS TO THE INTERIOR OF THE BUILDING (NFPA 1 SECTION 18.2.3.2.1)
3. FIRE DEPARTMENT ACCESS ROADS ARE TO BE PROVIDED SUCH THAT ANY PORTION OF THE FACILITY OR ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY OF THE BUILDING IS LOCATED NOT MORE THAN 150' FROM ACCESS ROADS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY (DIMENSION IS INCREASED TO 450' WHERE THE BUILDING IS PROVIDED WITH AN NFPA 13 COMPLIANT SYSTEM).
4. ACCESS ROAD DIMENSIONS:
   A. MINIMUM UNOBSTRUCTED WIDTH: 20' (NFPA 1 SECTION 18.2.3.5.1.1)
   B. MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE: 13'-6" (NFPA 1 SECTION 18.2.3.5.1.2)
6. ACCESS ROADS ARE TO BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF RESPONDING APPARATUS WITH AN ALL WEATHER DRIVING SURFACE PROVIDED.
7. ACCESS ROADS ARE TO MAINTAIN THE REQUIRED CLEAR WIDTH ALONG TURNS. RADIUS OF TURN IS TO BE APPROVED BY HUDSON FIRE DEPARTMENT.
8. A FIRE HYDRANT IS LOCATED TO THE SOUTH ON LOWELL ROAD AND IS WITHIN 400 FT OF THE BUILDING AS REQUIRED BY NFPA 1 18.5.3(1).
9. THE BUILDING WILL BE PROVIDED WITH AN NFPA 13 SPRINKLER SYSTEM AND NFPA 72 FIRE ALARM, 2019 EDITIONS. BUILDING TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE NH SATE FIRE AND BUILDING CODES INCLUDING BUT NOT LIMITED TO, THE 2018 INTERNATIONAL BUILDING CODE AND THE 2021 EDITIONS OF NFPA 1, THE UNIFORM FIRE CODE AND 101, THE LIFE SAFETY CODE.
10. THE PROPOSED +/- 6,855 FT^2 BUILDING (GROSS AREA, ALL FLOORS) IS A BUILDING OTHER THAN ONE- AND TWO-FAMILY DWELLING. BASED UPON TYPE II(000) CONSTRUCTION, NFPA 1 TABLE 18.4.5.2.1 REQUIRES A FIRE FLOW OF 1750GPM FOR A DURATION OF 2 HOURS. ASSUMING THE BUILDING WILL BE SPRINKLERED WITH QUICK RESPONSE SPRINKLERS, THE FIRE FLOW CAN BE REDUCED BY 75% PER NFPA 1 §18.4.5.3.3.THE DURATION IS A MAXIMUM OF 2 HOURS DUE TO SPRINKLER PROTECTION PER NFPA 1 §18.4.5.3.4. THE MINIMUM FIRE FLOW CANNOT BE LESS THAN 600GPM PER NFPA 1 §16.4.5.3.3. THEREFORE, THE RESULTING FIRE FLOW IS 600GPM. A HYDRANT FLOW TEST WILL BE REQUIRED FOR SPRINKLER DESIGN AND TO CONFIRM THAT THE REQUIRED FIRE FLOW IS AVAILABLE.

No.	Revision	Date
Designed by: TDD	Drawn by: BRC	Checked by: DMF

Fire Protection Plan

Commercial Development
Inside Out Painting and Remodeling
100 Lowell Road
Hudson, NH

Assessors Map 198 Lot 147

SFC ENGINEERING
Windham, New Hampshire
Portland, Maine
(603) 647-8700
www.sfceng.com

Sheet 6 of 9 Scale: 1" = 20' Date: 10/2/2024

STATE OF NEW HAMPSHIRE – DANIEL M. FLORES No. 15761 – LICENSED PROFESSIONAL ENGINEER

Prepared for:

100 Lowell Rd LLC
122 Lowell Road, Suite 3
Hudson, NH 03501

Hudson Planning Board Approval

Zoning Classification: B - Buisness

APPROVED BY HUDSON, NH
PLANNING BOARD

DATE OF MEETING:_______

______________________ SIGNATURE

______________________ SIGNATURE

SIGNATURE DATE:_____________

SIGNATURE DATE:_____________

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECIEVES FINAL APPROVAL

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

Drawing name: K:\667710 Inside Out Painting - 100 Lowell Rd Hudson NH - Hamilton\AutoCAD\Finals\Fire Protection Plan.dwg

TEMPORARY SEEDING SPECIFICATIONS

REFERENCE NH STORMWATER MANUAL: VOLUME 3, REVISION 1.0

A) SITE PREPARATION

1. INSTALL NEEDED EROSION AND SEDIMENT CONTROL MEASURES SUCH AS SILTATION BARRIERS, DIVERSIONS, AND SEDIMENT TRAPS.
2. GRADE AS NEEDED FOR THE ACCESS OF EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
3. RUNOFF SHOULD BE DIVERTED FROM THE SEEDED AREA.
4. ON SLOPES 4:1 OR STEEPER, THE FINAL PREPARATION SHOULD INCLUDE CREATING HORIZONTAL GROOVES PERPENDICULAR TO THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUNOFF.

B) SEEDBED PREPARATION.

1. STONES AND TRASH SHOULD BE REMOVED SO AS NOT TO INTERFERE WITH THE SEEDING AREA.
2. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
3. IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHOULD BE APPLIED DURING THE GROWING SEASON. FERTILIZER SHALL ONLY BE USED BASED ON SOIL TEST RESULTS. FERTILIZER SHALL BE RESTRICTED TO A ZERO PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER. NO FERTILIZER SHALL BE USED WITHIN THE PROTECTIVE WELL RADIUS, AND WITHIN 25 FEET OF A SURFACE WATER BODY. RATE OF APPLICATION SHALL BE PER MANUFACTURER AND SOIL TEST RESULTS.

C) SEEDING:

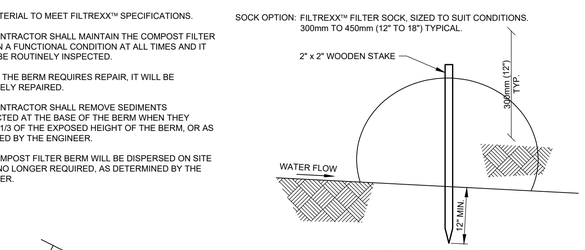
1. SELECT SEED FROM TABLE BELOW.
2. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTIPACKER TYPE SEEDER OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM ¼ TO ½ INCH. HYDROSEEDING THAT INCLUDES MULCH MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10 % WHEN HYDROSEEDING
3. TEMPORARY SEEDING SHOULD TYPICALLY OCCUR PRIOR TO SEPTEMBER 15TH.
4. AREAS SEEDED BETWEEN MAY 15TH AND AUGUST 15TH SHOULD BE COVERED WITH HAY OR STRAW MULCH, ACCORDING TO THE "TEMPORARY AND PERMANENT MULCHING" PRACTICE.
5. VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA SHOULD BE ACHIEVED PRIOR TO OCTOBER 15TH. IF THIS CONDITION IS NOT ACHIEVED, IMPLEMENT OTHER TEMPORARY STABILIZATION MEASURES FOR OVERWINTER PROTECTION.
6. PROVIDE MULCH WHERE IT IS IMPRACTICAL TO INCORPORATE SEED INTO MOIST SOIL. THE SEEDED AREA SHOULD BE MULCHED TO FACILITATE GERMINATION. REFERENCE NH STORMWATER MANUAL: VOLUME 3 FOR TEMPORARY AND PERMANENT MULCHING REQUIREMENTS.

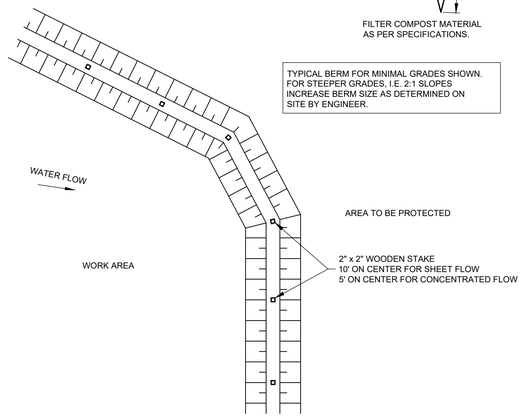
PLANT SELECTION AND SEEDING RATES

SPECIES	PER ACRE BUSHELS (BU) OR POUNDS (LBS)	PER 1,000 SF	REMARKS
WINTER RYE	2 BU OR 112 LBS	2.5 LBS	BEST FOR FALL SEEDING. SEED FROM MAY 15 TO JUNE 15 FOR BEST COVER. SEED TO A DEPTH OF 1 INCH.
OATS	2.5 BU OR 80 LBS	2 LBS	BEST FOR SPRING SEEDINGS. SEED NO LATER THAN MAY 15 FOR SUMMER PROTECTIONS. SEED TO A DEPTH OF 1 INCH.
ANNUAL RYEGRASS	40 LBS	1 LB	GROWS QUICKLY, BUT IS OF SHORT DURATION. USE WHERE APPEARANCES ARE IMPORTANT. SEED EARLY SPRING AND/OR BETWEEN AUGUST 15 AND SEPTEMBER 15. COVER THE SEED WITH NO MORE THAN 0.25 INCH OF SOIL.
PERENNIAL RYEGRASS	30 LBS	0.7 LB	GOOD COVER WHICH IS LONGER LASTING THAN ANNUAL RYEGRASS. SEED BETWEEN APRIL 1 AND JUNE 1 AND/OR BETWEEN AUGUST 15 AND SEPTEMBER 15. MULCHING WILL ALLOW SEEDING THROUGHOUT THE GROWING SEASON. SEED TO A DEPTH OF APPROXIMATELY 0.5 INCH.

NOTES

1. ALL MATERIAL TO MEET FILTREXX™ SPECIFICATIONS.
2. THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTER BERM IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED.
3. WHERE THE BERM REQUIRES REPAIR, IT WILL BE ROUTINELY REPAIRED.
4. THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE BERM WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OF THE BERM, OR AS DIRECTED BY THE ENGINEER.
5. THE COMPOST FILTER BERM WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.





TYPICAL BERM FOR MINIMAL GRADES SHOWN. FOR STEEPER GRADES, I.E. 2:1 SLOPES INCREASE BERM SIZE AS DETERMINED ON SITE BY ENGINEER.

SILT SOCK INSTALLATION DETAIL

NOT TO SCALE

NOTES

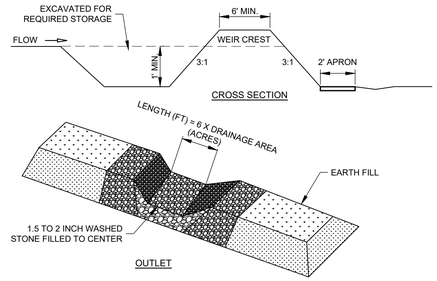
TEMPORARY SEDIMENT TRAPS SHALL COMPLY WITH THE FOLLOWING:

(a) THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE;
(b) THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP SHALL BE LESS THAN 5 ACRES;
(c) THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA;
(d) THE SIDE SLOPES OF THE TRAP SHALL BE 3:1 OR FLATTER, AND SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION;
(e) THE OUTLET OF THE TRAP SHALL BE A MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP AND SHALL DISCHARGE TO A STABILIZED AREA;
(f) THE TRAP SHALL BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED; AND
(g) THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.

SPECIFICATIONS

TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED IN ACCORDANCE WITH NH STORMWATER MANUAL:

(a) SEDIMENT TRAPS SHOULD BE LOCATED SO THAT THEY CAN BE INSTALLED PRIOR TO DISTURBING THE AREA THEY ARE TO PROTECT.
(b) THE MAXIMUM HEIGHT OF THE SEDIMENT TRAP EMBANKMENT SHOULD BE 4 FEET WHEN MEASURED FROM THE LOWEST POINT OF NATURAL GROUND ON THE DOWNSTREAM SIDE OF THE EMBANKMENT.
(c) OUTLETS SHOULD BE DESIGNED SO THAT THE TOP OF THE EMBANKMENT IS A MINIMUM OF 1 FOOT ABOVE THE CREST ELEVATION OF THE OUTLET.
(d) THE OUTLET SHOULD DISCHARGE TO A STABILIZED AREA AND MUST EMPTY ONTO UNDISTURBED GROUND, INTO A WATERCOURSE, STABILIZED CHANNEL OR A STORM SEWER SYSTEM.



TEMPORARY SEDIMENT TRAP

NOT TO SCALE

CONSTRUCTION SEQUENCE

1. INSTALL PERIMETER EROSION CONTROL MEASURES. TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION. EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND SHALL CONFORM TO ALL APPLICABLE SECTIONS OF THE NH STORMWATER MANUAL, VOLUME 3, DATED DECEMBER 2008.
2. CUT AND CLEAR TREES. IDENTIFY TREES TO BE SAVED AND INSTALL PROTECTIVE FENCES AROUND THESE TREES. CUT TREES, CLEAR AND DISPOSE OF DEBRIS.
3. INSTALL OTHER EROSION CONTROL MEASURES. TEMPORARY AND PERMANENT EROSION, SEDIMENT AND DETENTION PRACTICES - INCLUDING PONDS AND SWALES -- SHALL BE INSTALLED PRIOR TO ROUGH GRADING. PERMANENT STORMWATER TREATMENT SYSTEMS ARE TO BE CONSTRUCTED AND SEEDED AS SOON AS PRACTICAL SO THAT VEGETATION MAY BE ESTABLISHED PRIOR TO DIRECTING RUNOFF TO THEM. ADDITIONAL STORMWATER MANAGEMENT PRACTICES SHALL BE IMMEDIATELY INSTALLED WHEN NECESSARY AND APPROPRIATE DURING CONSTRUCTION.
4. PROTECT DRAINAGE STRUCTURES. DURING CONSTRUCTION, ALL DRAINAGE INLETS SHALL BE PROTECTED BY INSTALLING A GEOTEXTILE BARRIER UNDER THE GRATE OR BY INSTALLING A STONE CHECK DAM AROUND THE PERIMETER OF THE GRATE.
5. CLEAR AND GRUB, STRIP ORGANIC SOILS. LOAM SHALL BE STRIPPED FROM THE SITE AS REQUIRED. THE SMALLEST PRACTICAL AREA SHALL BE EXPOSED AT ANY TIME AND SHALL NOT EXCEED ONE ACRE. UNSTABILIZED SOIL SHALL BE TEMPORARILY STABILIZED AS SOON AS PRACTICABLE BUT NO LATER THAN 45 DAYS AFTER INITIAL DISTURBANCE.
6. STABILIZE STOCKPILES. SOIL STOCKPILES SHALL BE LOCATED AND PROTECTED TO MINIMIZE EROSION. INSTALL SILT FENCING AROUND THE BASE OF ALL STOCKPILES ON THE DOWNHILL SIDE.
7. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES. ALL PRACTICES ARE TO BE INSPECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD ACCORDING TO RECOMMENDED SCHEDULED, BUT AT LEAST ONCE PER WEEK, AND DURING RAINFALL EVENTS IN WHICH ½ INCH OF PRECIPITATION OR MORE FALLS WITHIN A 24 HOUR PERIOD. THE BOTTOM OF SEDIMENT BASINS SHALL BE PERIODICALLY CLEANED, WITH SEDIMENT REMOVED TO A SECURE LOCATION. ALL DAMAGED SILT FENCES SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL BE PERIODICALLY REMOVED.
8. GRADE AND GRAVEL AREAS TO BE PAVED. ROADWAYS AND PARKING LOTS SHALL BE GRADED, AND UNDERGROUND UTILITIES SHALL BE INSTALLED, GRAVEL SHALL BE INSTALLED AS SOON AS PRACTICAL. THESE AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE. ALL FILL MATERIAL SHALL BE FREE FROM STUMPS, ROOTS, WOOD, ETC.
9. STABILIZE DISTURBED AREAS. BEGIN SEED AND MULCH OF ALL DISTURBED AREAS AS SOON AS PRACTICAL, BUT NO LATER THAN THREE DAYS AFTER FINAL GRADING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. A MINIMUM OF 6" OF LOAM SHALL BE INSTALLED, WITH SEED, LIME, AND FERTILIZER APPLIED.
10. FINISH SURFACE. INSTALL FINISH SURFACE ON ROADWAYS AND PARKING LOTS.
11. COMPLETE PERMANENT SEEDING AND LANDSCAPING. SPREAD LOAM AND STABILIZE PER PLANS AND SPECIFICATIONS.
12. NO MORE THAN 5 ACRES SHALL BE DISTURBED (NOT STABILIZED) AT ANY TIME.
13. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
    i) BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
    ii) A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
    iii) A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
    iv) EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
14. REMOVE TEMPORARY EROSION CONTROL MEASURES. AFTER CONSTRUCTION IS COMPLETED AND THE AREAS ARE STABILIZED (MINIMUM 85% VEGETATIVE COVER, BASE COURSE GRAVELS INSTALLED, 3" NON-EROSIVE MATERIAL INSTALLED, OR EROSION CONTROL BLANKET INSTALLED) IN THE DISTURBED AREAS, THE AREAS IN AND AROUND THE TEMPORARY EROSION CONTROL SYSTEMS SHALL BE CLEANED UP, WITH CARE BEING TAKEN NOT TO ALLOW THE ACCUMULATION OF SILT TO RUN INTO THE WETLANDS AND / OR PROTECTED AREAS. AFTER CLEAN-UP, THE TEMPORARY EROSION CONTROL SYSTEMS SHALL BE REMOVED AND THE AREA RETURNED AS NEAR AS POSSIBLE TO ITS NATURAL STATE.
15. WINTER CONSTRUCTION NOTES:
    i) ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
    ii) ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
    iii) AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM 3" OF CRUSHED GRAVEL PER (NHDOT ITEM 304.3)
16. MINIMUM REQUIREMENT: THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE THE MINIMUM NECESSARY DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ADEQUATE EROSION CONTROL PRACTICES ARE EMPLOYED TO PREVENT EROSION AND SEDIMENTATION TO ADJACENT PROPERTIES, ROADS, OR DRAINAGE SYSTEMS.

DUST CONTROL NOTES

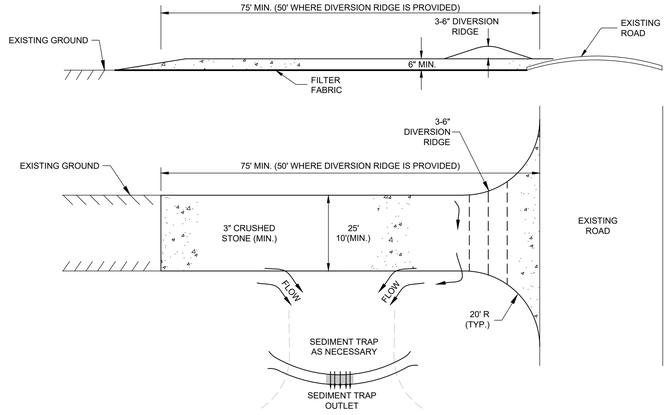
1. STABILIZE SOILS AND ESTABLISH VEGETATION AS SOON AS POSSIBLE FOLLOWING EARTH DISTURBING ACTIVITIES.
2. MOISTEN EXPOSED SOIL SURFACES AS NEEDED AT A RATE OF 300 GALLONS PER ACRE. AVOID EXCESSIVE WATER APPLICATION TO PREVENT RUNOFF AND PONDING.

CONSTRUCTION SPECIFICATIONS

1. STONE FOR A STABILIZED CONSTRUCTION EXIT SHALL BE MINIMUM 3 INCH CRUSHED STONE.
2. THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED EXIT SHALL NOT BE LESS THAN 6 INCHES.
4. THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
6. ALL SURFACE WATER SHALL BE DIRECTED AWAY FROM THE EXIT. IF WATER IS FLOWING TOWARD THE EXIT, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE ADDED.
7. THE PAD SHOULD BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT THE CONTROL PAD BECOMES INEFFECTIVE AND MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
8. NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.

MAINTENANCE

1. WHEN THE CONTROL PAD BECOMES INEFFECTIVE, THE STONE SHOULD BE REMOVED ALONG WITH THE COLLECTED SOIL MATERIAL, REGRADED ON SITE AND STABILIZED. THE EXIT SHOULD THEN BE RECONSTRUCTED.
2. THE CONTRACTOR SHOULD SWEEP THE PAVEMENT AT EXITS WHENEVER SOIL MATERIALS ARE TRACKED ONTO THE ADJACENT PAVEMENT OR TRAVELED WAY.
3. WHEN WHEEL WASHING IS REQUIRED, IT SHOULD BE CONDUCTED ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT-TRAPPING DEVICE. ALL SEDIMENT SHOULD BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.



TEMPORARY GRAVEL CONSTRUCTION EXIT

NOT TO SCALE

APPROVED BY HUDSON, NH
PLANNING BOARD

DATE OF MEETING:_____

_____ SIGNATURE

_____ SIGNATURE

SIGNATURE DATE:_____

SIGNATURE DATE:_____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECIEVES FINAL APPROVAL

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

No.	Revision	Date
Designed by: TDD	Drawn by: BRC	Checked by: DMF

Erosion Control Details

Commercial Development
Inside Out Painting and Remodeling
100 Lowell Road
Hudson, NH

Assessors Map 198 Lot 147

Windham, New Hampshire
Portland, Maine

SFC ENGINEERING

(603) 647-8700
www.sfceng.com

Sheet 7 of 9 | Scale: 1" = 20' | Date: 10/2/2024

STATE OF NEW HAMPSHIRE — DANIEL M. FLORES No. 15761 LICENSED PROFESSIONAL ENGINEER

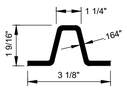
Prepared for:

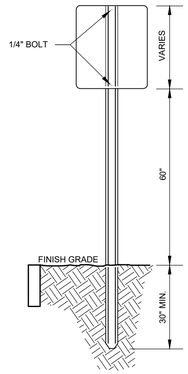
100 Lowell Road LLC
122 Lowell Road, Suite 3
Hudson, NH 03501

Hudson Planning Board Approval

Zoning Classification: B - Business

Drawing: Construction Details
Layout: Erosion Control Details - 7





POST REQUIREMENTS:

LENGTH: P-12, 12'-0"; P-14, 14'-0"; P-16, 16'-0".

WEIGHT PER LINEAR FOOT: 2.50 LBS. (MIN.)

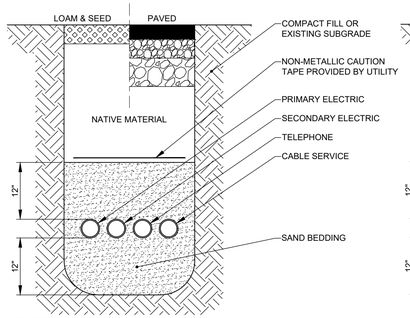
HOLES: 3/8" DIA. 1' C-C FULL LENGTH

STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070-1080).

FINISH: SHALL BE PAINTED WITH TWO COATS OF AN APPROVED MEDIUM GREEN, BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.

SIGN INSTALLATION DETAIL

NOT TO SCALE

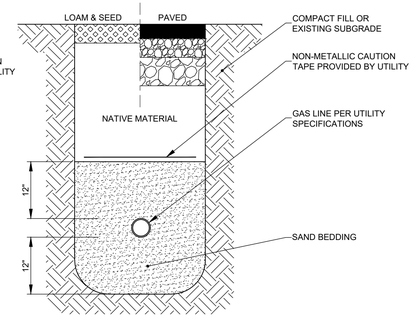


NOTES:

1. ALL FILL MATERIAL TO BE PLACED IN LIFTS NO GREATER THAN 12 INCHES.
2. ALL FILL MATERIAL TO BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY.
3. MINIMUM COVER OF THREE FEET IS REQUIRED FOR ALL CONDUIT PIPES, UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.
4. CONDUIT SIZE, MATERIAL, AND INSTALLATION TO MEET UTILITY COMPANIES STANDARD SPECIFICATIONS.
5. MINIMUM TRENCH WIDTH SHALL ALLOW FOR A MINIMUM OF 6 INCH CLEARANCE FROM TRENCH SIDE WALLS.

UTILITY TRENCH

NOT TO SCALE



NOTES:

1. ALL FILL MATERIAL TO BE PLACED IN LIFTS NO GREATER THAN 12 INCHES.
2. ALL FILL MATERIAL TO BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY.
3. MINIMUM COVER OF 30" IS REQUIRED.
4. SIZE, MATERIAL, AND INSTALLATION TO MEET GAS COMPANIES STANDARD SPECIFICATIONS.
5. MINIMUM TRENCH WIDTH SHALL ALLOW FOR A MINIMUM OF 6 INCH CLEARANCE FROM TRENCH SIDE WALLS.

GAS TRENCH

NOT TO SCALE

TRACE WIRE NOTES:

THE TRACER WIRE SHALL BE INSTALLED ON TOP OF THE BURIED UTILITY CROWN.

THE TRACER WIRE SHALL BE POSITIVELY ATTACHED TO THE NON-METALLIC BURIED UTILITIES BY PLASTIC WIRE TIES OR SIMILAR TYPE OF ATTACHMENT EVERY 10 FEET FOR STRAIGHT RUN OF UTILITY AND AT ALL CHANGES OF DIRECTION. IF TAPE IS USED IT SHALL BE POLYKEN "930-35," PROTECTO-WRAP "310", OR EQUAL.

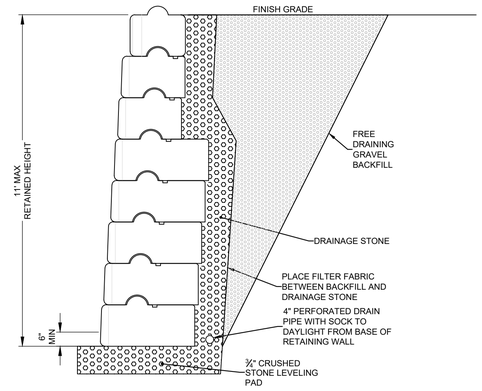
THE TERMINATION ENDS OF THE TRACER WIRE SHALL BE GROUNDED WITH 7 LB. OR LARGER ANODE BAGS WITH THE CONNECTORS HEREIN SPECIFIED.

INSTALL APPROVED CAST IRON VALVE BOXES AT ALL LOCATIONS WHERE THE ENDS OF THE TRACER WIRE ARE EXPOSED ABOVE THE FINISHED GRADE. THE BOXES SHALL CONTAIN A 24" COIL OF WIRE FROM EACH END OF THE TRACER WIRE.

TRACER WIRE SHALL BE CONTINUOUS BETWEEN BOXES AND SHALL BE TESTED FOR CONTINUITY IN THE PRESENCE OF THE INSPECTOR.

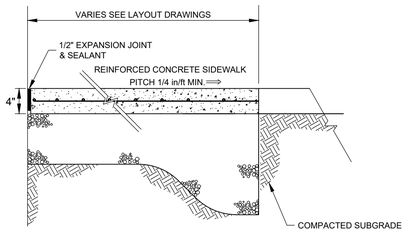
TRACER WIRE SHALL BE MINIMUM NO. 12 AWG, COPPER WIRE OR COPPER CLAD STEEL HIGH STRENGTH WITH A MINIMUM 450 LB. BREAK LOAD WITH A MINIMUM 30 MIL HDPE INSULATION THICKNESS (BLUE IN COLOR FOR USE WITH POTABLE WATER, GREEN FOR USE WITH SEWER).

CONNECTORS SHALL BE COPPERHEAD SNAKEBITE, 3M DBR OR DRY-CON TYPE CONNECTORS FOR SPECIFIED WIRE GAGE AND SUITABLE FOR USE WITH BURIED TRACER WIRE.



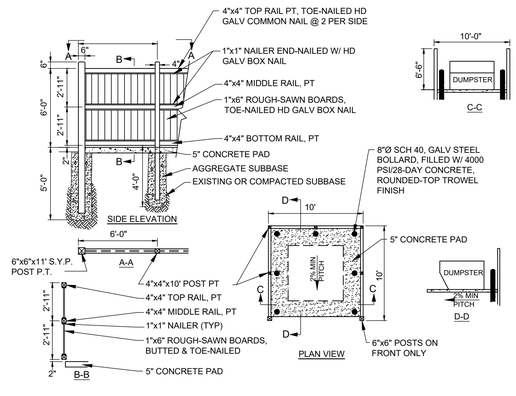
TYPICAL RETAINING WALL SECTION

NOT TO SCALE



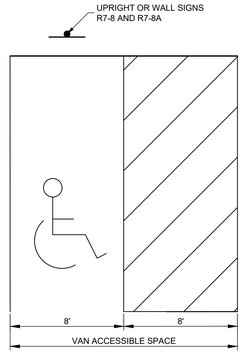
SIDEWALK DETAIL

NOT TO SCALE



DUMPSTER PAD AND ENCLOSURE

NOT TO SCALE

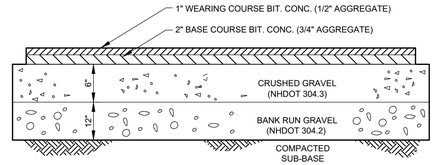


NOTES:

1. ALL DIMENSIONS TO CENTER OF STRIPING.
2. ALL STRIPING SHALL BE 4" SOLID YELLOW OR WHITE PAVEMENT MARKING PAINT.
3. ONE IN EVERY SIX ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE "VAN ACCESSIBLE".
4. SEE SITE DEVELOPMENT PLAN FOR LOCATION AND CONFIGURATION OF ACCESSIBLE SPACES.
5. MAXIMUM 2% SLOPE SHALL BE MAINTAINED ACROSS ENTIRE ACCESSIBLE AREA.

ACCESSIBLE PARKING SPACE

NOT TO SCALE



STANDARD PAVEMENT DETAIL

NOT TO SCALE

No.	Revision	Date
Designed by: TDD	Drawn by: BRC	Checked by: DMF

Construction Details

Commercial Development
Inside Out Painting and Remodeling
100 Lowell Road
Hudson, NH

Assessors Map 198 Lot 147

Windham, New Hampshire
Portland, Maine

SFC ENGINEERING

(603) 647-8700
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Sheet 8 of 9 | Scale: 1" = 20' | Date: 10/2/2024

STATE OF NEW HAMPSHIRE — DANIEL M. FLORES No. 15761 LICENSED PROFESSIONAL ENGINEER

Prepared for:

100 Lowell Road LLC
122 Lowell Road, Suite 3
Hudson, NH 03501

Hudson Planning Board Approval

Zoning Classification: B - Business

APPROVED BY HUDSON, NH PLANNING BOARD

DATE OF MEETING:_____

_____ SIGNATURE

_____ SIGNATURE

SIGNATURE DATE:_____

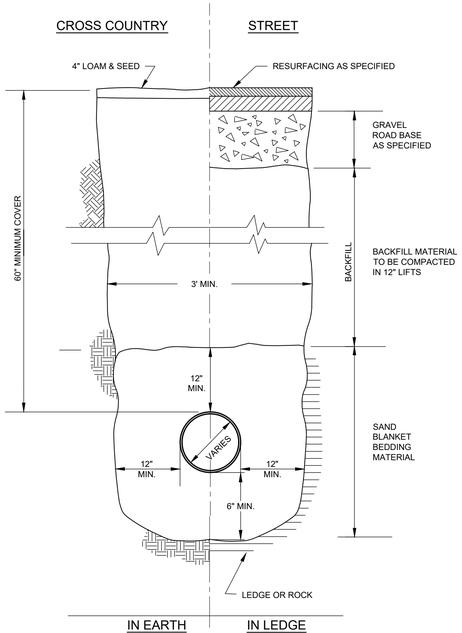
SIGNATURE DATE:_____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECIEVES FINAL APPROVAL

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

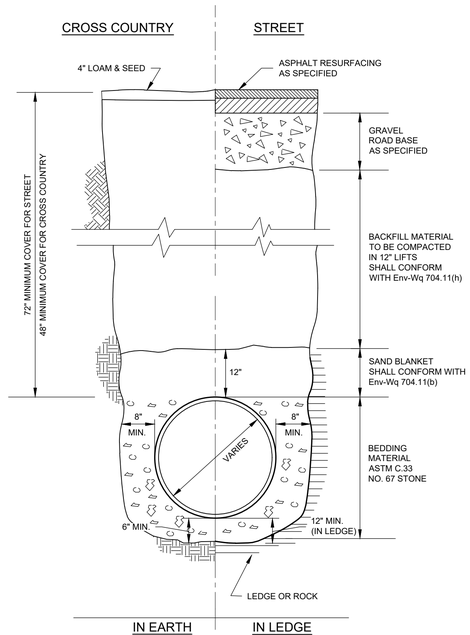
Drawing: Construction Details
Layout: Construction Details - 8

Drawing name: K:\66\2740-Inside Out Painting - 100 Lowell Rd Hudson NH\1-Hamilton\AutoCAD\Finals\Construction Details.dwg



TYPICAL TRENCH SECTION FOR WATER SERVICE

NOT TO SCALE



TYPICAL TRENCH SECTION FOR SANITARY SEWER SERVICE

NOT TO SCALE

SOIL DATA

TP# 1 8/29/2024

0-4"	4"	10YR 2/3 SANDY LOAM MOIST, MASSIVE LOOSE
4-36"	32"	2.5Y 6/4 MEDIUM SAND MOIST, SINGLE GRAIN LOOSE
36-90"	54"	2.5y 6/3 MEDIUM TO COURSE GRAVELY SAND, SINGLE GRAIN LOOSE

ESHWT: 90"
OBS. WATER: N/O
REFUSAL: N/O
ROOTS: 6"
%STONE/BOULDERS: 0/0
RESTRICTIVE LAYER: N/O

SOIL DATA

TP# 2 8/29/2024

0-4"	4"	10YR 4/3 SANDY LOAM MOIST, MASSIVE LOOSE
4-36"	32"	2.5Y 6/4 LOAMY SAND MOIST, SINGLE GRAIN LOOSE
36-84"	48"	2.5y 6/3 MEDIUM TO COURSE GRAVELY SAND, SINGLE GRAIN LOOSE

ESHWT: 84"
OBS. WATER: N/O
REFUSAL: N/O
ROOTS: 10"
%STONE/BOULDERS: 0/0
RESTRICTIVE LAYER: N/O

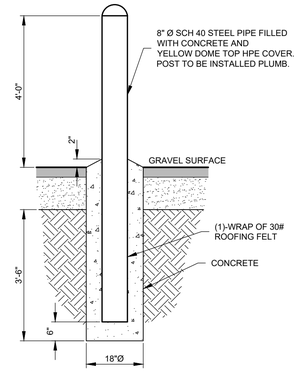
SOIL DATA

TP# 3 8/29/2024

0-4"	4"	10YR 4/3 SANDY LOAM MOIST, MASSIVE LOOSE
4-84"	84"	2.5Y 4/4 LOAMY SAND MOIST, SINGLE GRAIN VERY FRIABLE, MIX FILL WITH BROKEN CONCRETE OG BETWEEN 36-42"

ESHWT: 84"
OBS. WATER: N/O
REFUSAL: N/O
ROOTS: 42"
%STONE/BOULDERS: 0/0
RESTRICTIVE LAYER: N/O

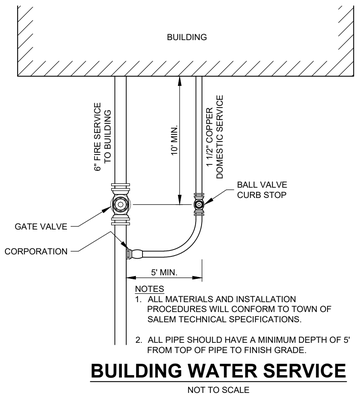
TEST PIT LOGS



NOTE:
SPACE BOLLARDS 6' ON CENTER MAXIMUM.

BOLLARD DETAIL

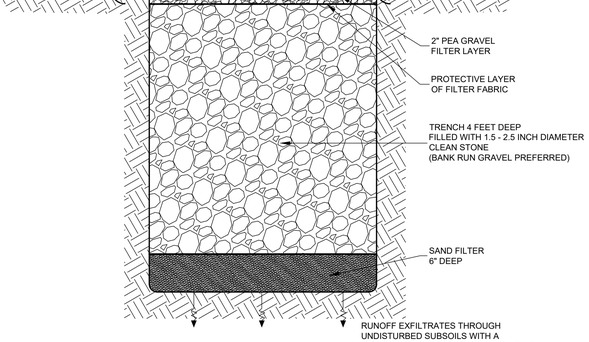
NOT TO SCALE



NOTES
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF SALEM TECHNICAL SPECIFICATIONS.
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.

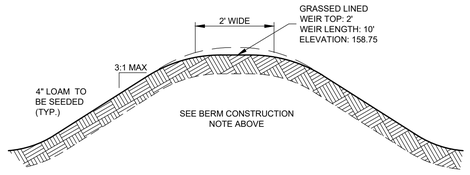
BUILDING WATER SERVICE

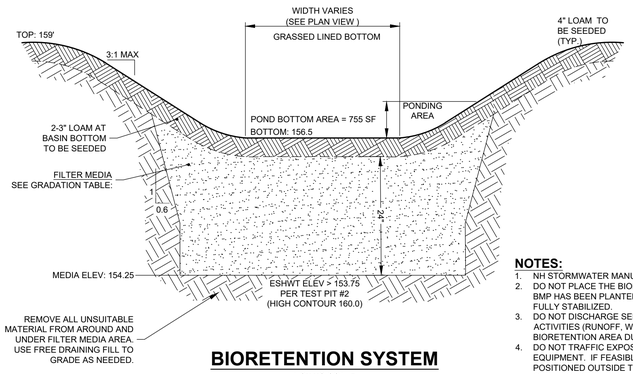
NOT TO SCALE



INFILTRATION TRENCH CROSS SECTION

NOT TO SCALE





BIORETENTION SYSTEM

NOT TO SCALE

BIORETENTION MEDIA GRADATION TABLE

COMPONENT MATERIAL	PERCENT OF MIXTURE	GRADATION OF MATERIAL	
	BY VOLUME	SIEVE NO.	PERCENT BY WEIGHT PASSING STANDARD SIEVE
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH	20 TO 30	200	<5
LOAMY COARSE SAND	70 TO 80	10	85 TO 100
		20	70 TO 100
		60	15 TO 40
		200	8 TO 15

NOTES:
1. NH STORMWATER MANUAL REFERENCED FOR DESIGN CRITERIA
2. DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
3. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
4. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

APPROVED BY HUDSON, NH
PLANNING BOARD

DATE OF MEETING:_____

_____ SIGNATURE

_____ SIGNATURE

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STATE OF NEW HAMPSHIRE
DANIEL M. FLORES
No. 15761
LICENSED
PROFESSIONAL ENGINEER

Prepared for:

100 Lowell Road LLC
122 Lowell Road, Suite 3
Hudson, NH 03501

Hudson Planning Board Approval

Zoning Classification: B - Business

Drawing: Construction Details
Layout: Construction Details - 9

Drawing name: H:\69\749 Inside Out Painting - 149 Lowell Rd Hudson NH - Hamilton\Auto\DAB\Finals\Construction Details.dwg