

BAE SYSTEMS
MINOR SITE PLAN

MSP# 08-24

STAFF REPORT

December 9, 2024

SITE: 65 River Road, Map 251 / Lot 001

ZONING: Industrial (I)

PURPOSE OF PLAN: To depict enhanced physical security measures including perimeter chain link fence, vehicular and pedestrian gates, and installation of a guard shack along main entrance drive.

PLANS UNDER REVIEW:

BAE Enhanced Physical Security Plan MSP# 08-24, Map 251 Lot 001, 65 River Road, Hudson, New Hampshire 03051; prepared by: Symmes Maini & Mckee Associates (SMMA), 1000 Massachusetts Ave, Cambridge, MA 02138; prepared for: BAE Systems, 65 River Road, P.O. Box 868, Hudson, NH 03051; consisting of 17 sheets and no general notes; dated November 8, 2024.

ATTACHMENTS:

- 1) Application dated November 19, 2024 – Attachment “A”
- 2) Department Comments – Attachment “B”
- 3) Site Plan, prepared by SMMA, dated November 8, 2024

APPLICATION TRACKING:

- November 19, 2024 – Application received.
- December 9, 2024 – Special Site Review Committee scheduled.

COMMENTS

BACKGROUND

The property is 12.8 acres and located in the Industrial district. It has a previously approved site plan from 2010. The applicant wishes to construct an extended perimeter fence and access gates around the edge of the property, alongside a guard shack at the primary entrance to the facility.

DEPARTMENT COMMENTS

Fire has submitted the following comments:

1. *Building permits will be required.*
2. *The roadway shall be a minimum of 12 feet wide for inbound and outbound Fire Apparatus traffic.*
3. *Install a Fire Department approved Knox lock on the gates for emergency after hours entry.*

Full comments may be found in **Attachment “B”**.

STAFF COMMENTS

The changes proposed are very minor in nature, with no new uses or extenuating factors. Staff notes that all of the changes fall within the bounds of the property, and do not constitute a meaningful change in the layout or use of the site.

DRAFT MOTIONS

ACCEPT the minor site plan application:

I move to accept the minor site plan application for BAE Enhanced Physical Security Plan MSP# 08-24, Map 251 Lot 001, 65 River Road, Hudson, New Hampshire 03051.

Motion by: _____ Second: _____ Carried/Failed: _____

APPROVE the minor site plan application:

I move to approve the minor site plan for BAE Enhanced Physical Security Plan MSP# 08-24, Map 251 Lot 001, 65 River Road, Hudson, New Hampshire 03051; prepared by: Symmes Maini & Mckee Associates (SMMA), 1000 Massachusetts Ave, Cambridge, MA 02138; prepared for: BAE Systems, 65 River Road, P.O. Box 868, Hudson, NH 03051; consisting of 17 sheets and no general notes; dated November 8, 2024; and:

That the Committee finds that this application complies with the Zoning Ordinances and with the Land Use Regulations for the reasons set forth in the written submissions, together with the testimony and factual representations made by the applicant during the public hearing;

Subject to, and revised per, the following stipulations:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Plan.
2. Prior to the issuance of a certificate of completion, an L.L.S. Certified “as-built” site plan shall be provided to the Town of Hudson Land Use Division confirming that the development conforms to the Plan approved by the Planning Board.
3. Prior to Planning Board endorsement of the Plan, the applicant shall provide a copy of the NHDES Shoreland Permit by Notification.
4. Prior to the Planning Board endorsement of the Plan, it shall be subject to final administrative review by Town Planner and Town Engineer.
5. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M. No exterior construction activities shall be allowed on Sundays.

Motion by: _____ Second: _____ Carried/Failed: _____

11/14/2024

SMMA
1000 Massachusetts Ave.
Cambridge, MA 02138

Town of Hudson
Planning Department / Town Hall
12 School Street
Hudson, NH 03051

all together.
different.

BAE Systems - Enhanced Physical Security / 24116.00
RE: Minor Site Plan Application

Dear Planning Department Staff,

On behalf of the Applicant, BAE Systems, SMMA is pleased to submit the attached Minor Site Plan Application for enhanced physical security at 65 River Road. The Applicant proposes perimeter security measures around their PTP01 building consisting of a chain link fence, vehicular and pedestrian gates, and a guard shack along the driveway to PTP01.

The chain link fence will be 8 ft high consisting of 7 ft high galvanized fence fabric with 1 ft high 3-strand barbed wire outrigger. The main driveway from River Road will be widened to accommodate an 8 ft x 10 ft guard shack and sliding vehicular gates on both in the inbound and outbound lanes. The existing pedestrian/bike lane will be realigned to accommodate the slide gate with a separate pedestrian gate to the east. The secondary access to the campus from Chalifoux Road will be enhanced with both a vehicular swing gate and pedestrian gate. There will be a pedestrian turnstile and gate along the existing walkway between the PTP01 and PTP02 buildings onsite.

The Applicant will coordinate with the appropriate town departments regarding access for maintenance and repair various infrastructure including the fire pump house near the Chalifoux Road entrance. Both the main entrance guard shack and secondary entrance swing gate will be equipped with a Knox box for Fire Department access. The Applicant will submit a Shoreland Permit by Notification (PBN) to NHDES for the fence installation within the 250 ft Shoreland Zone of the Merrimack River.

Enclosed are the Minor Site Plan Application, application fee, and site plan drawings.

Please do not hesitate to reach out to the Applicant 603-885-5220 or SMMA at 617-520-9210 if you have any questions or comments.

Sincerely,



Will Park, PE

Principal / Senior Civil Engineer / SMMA / wpark@smma.com / 617-520-9210

CC: BAE Systems

Enclosures: Minor Site Plan Application, application fee, site plan drawings

smma.com



*Town of Hudson
12 School Street
Hudson, NH 03501*

MINOR SITE PLAN APPLICATION

Revised August 2024

The following information must be filed with the Planning Department *at the time of filing a site plan application*:

1. One (1) original completed application with original signatures.
2. Five (5) 11" X 17" plan sets *folded*.
3. One (1) copy of the project narrative.
4. A list of direct abutters and a list of indirect abutters, and two (2) sets of mailing labels for abutter notifications.
5. One (1) 22" X 34" plan set *folded* shall be brought to the Special Site Review Committee Meeting.
6. All of the above application materials, including plans, shall also be submitted in electronic form as a PDF.
7. ***All plans shall be folded*** and all pertinent data shall be attached to the plans with an elastic band or other enclosure.

Note: Prior to filing an application, it is recommended to schedule an appointment with the Town Planner.

MINOR SITE PLAN APPLICATION

Date of Application: November 8, 2024 Tax Map #: 251 Lot #: 001

Site Address: 65 River Road

Name of Project: BAE Systems - PTP01 Enhanced Physical Security

Zoning District: Industrial (I) General MSP#: _____

(For Town Use Only)

Z.B.A. Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: BAE Systems | Facility Finance/NNH01-6C1 _____

Address: 65 River Road | P.O. Box 868 _____

Address: Nashua, NH 03060 _____

Telephone # _____

Email: _____

PROJECT ENGINEER:

SURVEYOR:

Name: SMMA _____

WSP USA _____

Address: 1000 Massachusetts Avenue _____

10 Al Paul Lane | Suite 103 _____

Address: Cambridge, MA 02138 _____

Merrimack, NH 03054 _____

Telephone # 617-520-9210 _____

603-324-0894 _____

Email: wpark@smma.com _____

david.prince@wsp.com _____

PURPOSE OF PLAN:

Enhanced physical security measures including perimeter chain link fence, vehicular and pedestrian gates, and installation of guard shack along main entrance drive.

(For Town Use Only)

Routing Date: _____ Deadline Date: _____ Meeting Date: _____

_____ I have no comments _____ I have comments (attach to form)

_____ Title: _____ Date: _____

(Initials)

Department:

Zoning: ___ Engineering: ___ Assessor: ___ Police: ___ Fire: ___ DPW: ___ Consultant: ___

MINOR SITE PLAN DATA SHEETPLAN NAME: BAE Systems - PTP01 Enhanced PhysicalPLAN TYPE: SITE PLANLEGAL DESCRIPTION: MAP 251 LOT 001DATE: November 8, 2024-----
Location by Street: 65 River RoadZoning: Industrial (I)Proposed Land Use: N/A - no change to land useExisting Use: IndustrialSurrounding Land Use(s): Residential 1 (R-1), Residential 2 (R-2), General (G-1)Number of Lots Occupied: One (1)Existing Area Covered by Building: +/- 12.8 acresExisting Buildings to be removed: N/A - no buildings to be removedProposed Area Covered by Building: N/A - no change to building coverageOpen Space Proposed: N/A - no change to open spaces proposed, portion of driveway widening onlyOpen Space Required: N/A - no change to open spacesTotal Area: S.F.: _____ Acres: 171.19Area in Wetland: N/A Area Steep Slopes: N/ARequired Lot Size: 30,000 sq. ft.Existing Frontage: N/ARequired Frontage: 150 ft

Building Setbacks:	<u>Required*</u>	<u>Proposed</u>
Front:	<u>50</u>	<u>N/A</u>
Side:	<u>15</u>	<u>N/A</u>
Rear:	<u>15</u>	<u>N/A</u>

MINOR SITE PLAN DATA SHEET

(Continued)

Flood Zone Reference: Portions of site along Merrimack River with Zone AE and Zone X

Width of Driveways: +/- 12 ft wide existing, will be realigned at same width to accomodate guard shack

Number of Curb Cuts: Existing site has curb cut off River Road and Chalifoux Road

Proposed Parking Spaces: N/A - no change to parking

Required Parking Spaces: N/A - no change to parking

Basis of Required Parking (Use): N/A - no change to parking

Dates/Case #/Description/Stipulations
of ZBA, Conservation Commission,
NH Wetlands Board Actions: Applicant will submit a Shoreland Permit by Notification (PBN) to NHDES for the
(Attach stipulations on separate sheet) fence installation within the 250 ft Shoreland Zone of the Merrimack River.

Waiver Requests

<i>Town Code Reference:</i>	<i>Regulation Description:</i>
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

(For Town Use Only)	
Data Sheets Checked By: _____	Date: _____

MINOR SITE PLAN APPLICATION AUTHORIZATION

I hereby apply for *Minor Site Plan Review* and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the *Minor Site Plan* specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Planner, the Town Engineer, and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: BAE Systems Inc. Date: 11-11-24

Print Name of Owner: BAE Systems Inc. (POC: Tom Motta 603-540-5592 thomas.motta@baesystems.us)

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: _____ Date: _____

Print Name of Developer: _____

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The individual in charge of the project must notify the Code Enforcement Officer/Building Inspector within two (2) working days of any change.

WAIVER REQUEST FORM

Name of Subdivision/Site Plan: _____

Street Address: _____

I _____ hereby request that the Planning Board waive the requirements of item _____ of the Hudson Land Use Regulations in reference to a plan presented by _____ (name of surveyor and engineer) dated _____ for property tax map(s) _____ and lot(s) _____ in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Land Use Regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

Reason(s) for granting this waiver, relative to not being contrary to the spirit and intent of the Land Use Regulations: (if additional space is needed please attach the appropriate documentation hereto):

Signed:

Applicant or Authorized Agent

SCHEDULE OF FEES**A. REVIEW FEES:**

1. <u>Minor Site Plan Use</u>	<u>Project Size/Fee</u>	
Multi-Family	\$105.00/unit for 3-50 units \$78.50/unit for each additional unit over 50	\$ _____
Commercial/Semi Public/Civic or Recreational	\$157.00/1,000 sq. ft. for first 100,000 sq.ft. (bldg. area): \$78.50/1,000 sq.ft. thereafter.	\$ <u>157.00</u>
Industrial	\$150.00/1,000 sq.ft for first 100,000 sq.ft. (bldg. area); \$78.50/1,000 sq.ft thereafter.	\$ _____
No Buildings	\$30.00 per 1,000 sq.ft. of proposed developed area	\$ _____

CONSULTANT REVIEW FEE: (If Applicable - Separate Check)

Total _____ acres @ \$600.00 per acre, or \$1,250.00,
whichever is greater. \$ _____

This is an estimate for cost of consultant review. The fee is expected to cover the amount. A complex project may require additional funds. A simple project may result in a refund.

LEGAL FEE:

The applicant shall be charged attorney costs billed to the Town for the Town's attorney review of any application plan set documents.

B. POSTAGE:

<u>54</u> Direct Abutters, Applicant, Professionals, etc. as required by RSA 676:4.1.d @\$5.58 (or Current Certified Mail Rate)	\$ <u>301.32</u>
_____ Indirect Abutters (property owners within 200 feet) @\$0.73 (or Current First Class Rate)	\$ _____

C. TAX MAP UPDATING FEE: (FLAT FEE if Applicable) \$ N/A

TOTAL \$ 458.32

SCHEDULE OF FEES
(Continued)

(For Town Use)	
AMOUNT RECEIVED: \$ _____	DATE RECEIVED: _____
RECEIPT NO.: _____	RECEIVED BY: _____

NOTE: fees below apply only upon plan approval, not collected at time of application.

F. RECORDING FEES:

*****The applicant shall be responsible for the recording of the approved plan, and all documents as required by an approval, at the Hillsborough County Registry of Deeds (HCRD), located at 19 Temple Street, Nashua, NH 03061. Additional fees associated with recording can be found at HCRD.*****

G. COST ALLOCATION PROCEDURE AMOUNT CONTRIBUTION AND OTHER IMPACT FEE PAYMENTS:

To be determined by the Planning Board at time of plan approval and shall be paid by the applicant at the time of submittal of the Certificate of Occupancy Permit requests.

*****The applicant shall be responsible for all fees incurred by the town for processing and review of the applicant’s application, plan and related materials.*****

Dubowik, Brooke

From: Twardosky, Jason
Sent: Monday, November 25, 2024 1:25 PM
To: Dubowik, Brooke
Subject: RE: Dept. Sign Off - MSP# 08-24 BAE Systems Enhanced Security

No comments, everything is out of our ROW.

MINOR SITE PLAN APPLICATION

Date of Application: November 8, 2024 Tax Map #: 251 Lot #: 001

Site Address: 65 River Road

Name of Project: BAE Systems - PTP01 Enhanced Physical Security

Zoning District: Industrial (I) General MSP#: _____
(For Town Use Only)

Z.B.A. Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: BAE Systems | Facility Finance/NNH01-6C1

Address: 65 River Road | P.O. Box 868

Address: Nashua, NH 03060

Telephone # _____

Email: _____

PROJECT ENGINEER:

SURVEYOR:

Name: SMMA

WSP USA

Address: 1000 Massachusetts Avenue

10 Al Paul Lane | Suite 103

Address: Cambridge, MA 02138

Merrimack, NH 03054

Telephone # 617-520-9210

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Email: wpark@smma.com

david.prince@wsp.com

PURPOSE OF PLAN:

Enhanced physical security measures including perimeter chain link fence, vehicular and pedestrian gates, and installation of guard shack along main entrance drive.

(For Town Use Only)

Routing Date: _____ Deadline Date: _____ Meeting Date: _____

I have no comments I have comments (attach to form)

E2P Title: Town Engineer Date: 11/25/24
(Initials)

Department: _____

Zoning: ___ Engineering: Assessor: ___ Police: ___ Fire: ___ DPW: ___ Consultant: ___

MINOR SITE PLAN APPLICATION

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Zoning District: Industrial (I) General MSP#: _____
(For Town Use Only)
Z.B.A. Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: BAE Systems | Facility Finance/NNH01-6C1
Address: 65 River Road | P.O. Box 868
Address: Nashua, NH 03060
Telephone # _____
Email: _____

PROJECT ENGINEER:

SURVEYOR:

Name: SMMA WSP USA
Address: 1000 Massachusetts Avenue 10 Al Paul Lane | Suite 103
Address: Cambridge, MA 02138 Merrimack, NH 03054
Telephone # 617-520-9210 603-324-0894
Email: wpark@smma.com david.prince@wsp.com

PURPOSE OF PLAN:

Enhanced physical security measures including perimeter chain link fence, vehicular and pedestrian gates, and installation of guard shack along main entrance drive.

(For Town Use Only)

Routing Date: _____ Deadline Date: _____ Meeting Date: _____

_____ I have no comments I have comments (attach to form)

DRH Title: Fire Marshal Date: 11/25/24
(Initials)

Department: _____

Zoning: ___ Engineering: ___ Assessor: ___ Police: ___ Fire: DPW: ___ Consultant: ___



TOWN OF HUDSON

FIRE DEPARTMENT

INSPECTIONAL SERVICES DIVISION



12 SCHOOL STREET, HUDSON, NEW HAMPSHIRE 03051

Emergency 911
Business 603-886-6005
Fax 603-594-1142

Scott Tice
Chief of Department

TO: Acting Town Planner

FR: David Hebert
Fire Marshal

DT: 11/25/24

RE: 65 River Rd

- 1) Building permits will be required
- 2) The roadway shall be a minimum of 12 feet wide for inbound and outbound Fire Apparatus traffic
- 3) Install a Fire Department approved knock lock on the gates for emergency after hours entry

David Hebert
Fire Marshal

MINOR SITE PLAN APPLICATION

Date of Application: November 8, 2024 Tax Map #: 251 Lot #: 001

Site Address: 65 River Road

Name of Project: BAE Systems - PTP01 Enhanced Physical Security

Zoning District: Industrial (I) General MSP#: _____
(For Town Use Only)

Z.B.A. Action: _____

PROPERTY OWNER: **DEVELOPER:**

Name: BAE Systems | Facility Finance/NNH01-6C1 _____

Address: 65 River Road | P.O. Box 868 _____

Address: Nashua, NH 03060 _____

Telephone # _____

Email: _____

PROJECT ENGINEER: **SURVEYOR:**

Name: SMMA WSP USA

Address: 1000 Massachusetts Avenue 10 Al Paul Lane | Suite 103

Address: Cambridge, MA 02138 Merrimack, NH 03054

Telephone # 617-520-9210 603-324-0894

Email: wpark@smma.com david.prince@wsp.com

PURPOSE OF PLAN:

Enhanced physical security measures including perimeter chain link fence, vehicular and pedestrian gates, and installation of guard shack along main entrance drive.

(For Town Use Only)		
Routing Date: _____	Deadline Date: _____	Meeting Date: _____
<input checked="" type="checkbox"/> I have no comments <input type="checkbox"/> I have comments (attach to form)		
SCM _____	Title: <u>Captain Steve McElhinney</u>	Date: <u>11/25/2024</u>
(Initials)		
Department: _____		
Zoning: ___ Engineering: ___ Assessor: ___ Police: <input checked="" type="checkbox"/> Fire: ___ DPW: ___ Consultant: ___		



**PTP01 ENHANCED PHYSICAL SECURITY
(BAE S.O.W. 24-070)**

**65 RIVER ROAD
HUDSON NH, 03051**

Minor Site Plan Application 11/08/2024 24116

PROJECT TEAM

CLIENT:	BAE SYSTEMS THOMAS MOTTA 603.459.9642	ARCHITECT & ENGINEER:	SYMMES MAINI & MCKEE ASSOCIATES 1000 MASSACHUSETTS AVE, CAMBRIDGE, MA 02138 JESSICA SMITH 617.547.5400
		CONSTRUCTION MANAGER:	CONSTRUCTION MANAGEMENT & BUILDERS, INC. 85 SAM FONZO DRIVE BEVERLY, MA 01915

INDEX OF DRAWINGS

SYMBOL LEGEND: ● CURRENT ISSUE ○ PREVIOUSLY ISSUED

SHEET NUMBER	SHEET NAME	11/08/2024 - Early Package No. 1	11/08/2024 - Early Package No. 2	11/08/2024 - Early Package No. 4
GENERAL				
G-001	COVER SHEET AND INDEX OF DRAWINGS	○	○	●
CIVIL				
C-100	EXISTING CONDITIONS OVERALL PLAN	○	○	●
C-101	EXISTING CONDITIONS PLAN A	○	○	●
C-102	EXISTING CONDITIONS PLAN B	○	○	●
C-103	EXISTING CONDITIONS PLAN C	○	○	●
C-104	EXISTING CONDITIONS PLAN D	○	○	●
C-120	SITE IMPROVEMENTS OVERALL PLAN	○	○	●
C-121	SITE IMPROVEMENTS PLAN A	○	○	●
C-122	SITE IMPROVEMENTS PLAN B	○	○	●
C-123	SITE IMPROVEMENTS PLAN C	○	○	●
C-124	SITE IMPROVEMENTS PLAN D	○	○	●
C-501	DETAILS I	○	○	●
C-502	DETAILS II	○	○	●
C-503	DETAILS III	○	○	●
C-504	DETAILS IV	○	○	●
C-601	ENLARGEMENTS PLAN I	○	○	●
C-602	ENLARGEMENTS PLAN II	○	○	●
ARCHITECTURAL				
A-101	CODE, CONSTRUCTION PLANS, AND ELEVATIONS		●	
MANUFACTURER (PREPARED BY GUARDIAN BOOTH)				
S-1	FLOOR PLAN, ROOF PLAN, FLOOR FRAMING		●	



11/08/2024	MINOR SITE PLAN APPLICATION
MARK DATE:	DESCRIPTION:
ISSUE LOG	
△ = CLOUDED CHANGE	

NOT FOR CONSTRUCTION

SCALE	1" = 80'
DRAWN BY	MF
CHECK BY	WWP
PROJ.ARCH.ENGR.	
PROJ.MRG.	JVS
JOB NO.	24116
© SYMMES, MAINI & MCKEE ASSOCIATES, INC. 2024	

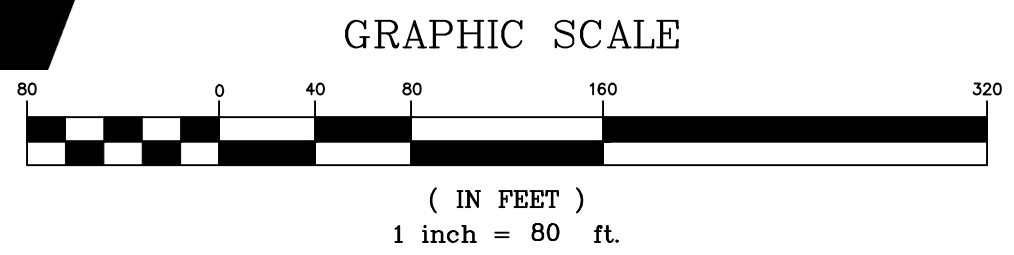
EXISTING CONDITIONS
OVERALL PLAN

C-100



F
E
D
C
B
A

1 2 3 4 5 6 7



11/08/2024	MINOR SITE PLAN APPLICATION
MARK DATE:	DESCRIPTION:
ISSUE LOG	
△ = CLOUDED CHANGE	

NOT FOR CONSTRUCTION

SCALE	1" = 40'
DRAWN BY	MF
CHECK BY	WWP
PROJ.ARCH.ENGR.	
PROJ.MRG.	JVS
JOB NO.	24116
© SYMMES, MAINI & MCKEE ASSOCIATES, INC. 2024	

**EXISTING CONDITIONS
PLAN C**

C-103



MATCH LINE

F

E

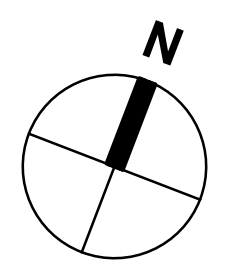
D

C

B

A

MATCH LINE



GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

1 2 3 4 5 6 7



**PTP01 ENHANCED
 PHYSICAL SECURITY**
 65 RIVER ROAD
 HUDSON, NH 03051

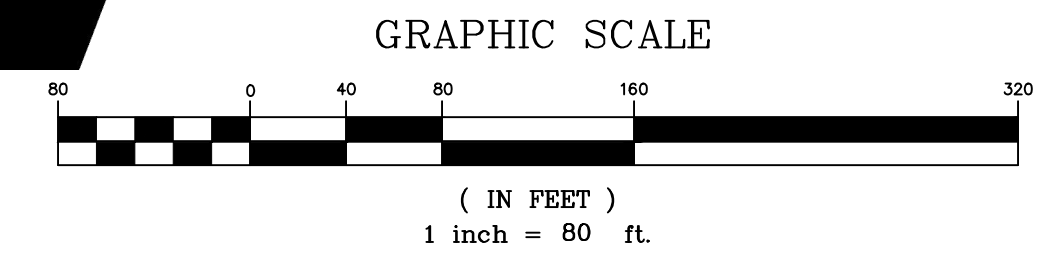
11/08/2024	MINOR SITE PLAN APPLICATION
MARK DATE:	DESCRIPTION:
ISSUE LOG	
△ = CLOUDED CHANGE	

NOT FOR CONSTRUCTION

SCALE	1" = 80'
DRAWN BY	MF
CHECK BY	WWP
PROJ. ARCH. ENGR.	
PROJ. MRG.	JVS
JOB NO.	24116
© SYMMES, MAINI & MCKEE ASSOCIATES, INC. 2024	

**SITE IMPROVEMENTS
 OVERALL PLAN**

C-120



A
B
C
D
E
F

1 2 3 4 5 6 7

BENCHMARK 1
 MAG NAIL SET AT
 END OF PARKING STRIPE
 ELEV. 132.63'

CHAIRNOX ROAD
 MAP/LOT 246/010

BAE SYSTEMS
 BK/PG 9742/281.5
 65 RIVER ROAD
 MAP/LOT 251/001

MATCH LINE

MATCH LINE

MATCH LINE

11/08/2024	MINOR SITE PLAN APPLICATION	
MARK:	DATE:	DESCRIPTION:
ISSUE LOG		
△ = CLOUDED CHANGE		

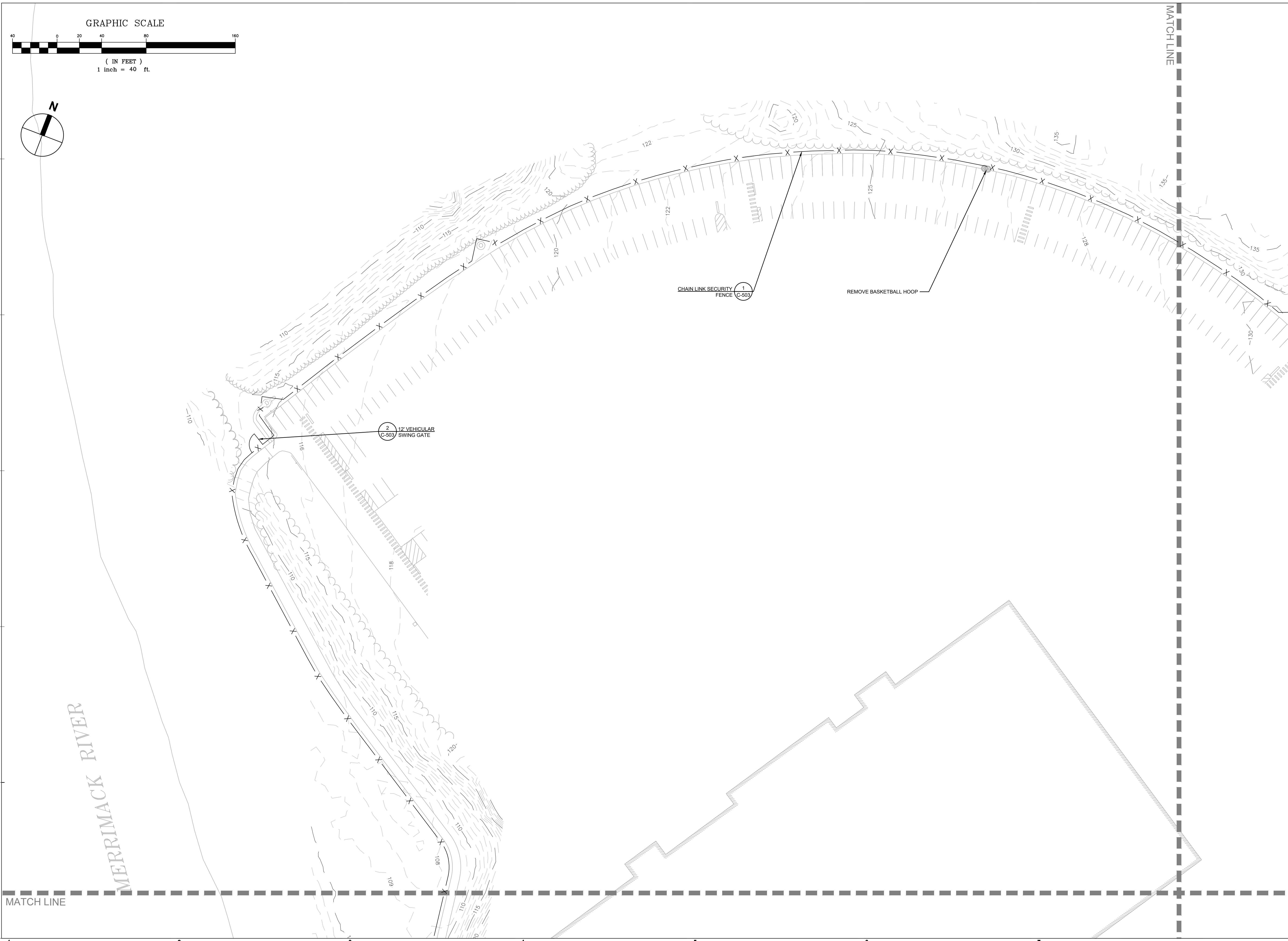
NOT FOR CONSTRUCTION

SCALE	1" = 40'
DRAWN BY	MF
CHECK BY	WWP
PROJ.ARCH./ENGR.	
PROJ.MRG.	JVS
JOB NO.	24116

© SYMMES, MAINI & MCKEE ASSOCIATES, INC. 2024

**SITE IMPROVEMENTS
PLAN A**

C-121





**PTP01 ENHANCED
 PHYSICAL SECURITY**
 65 RIVER ROAD
 HUDSON, NH 03051

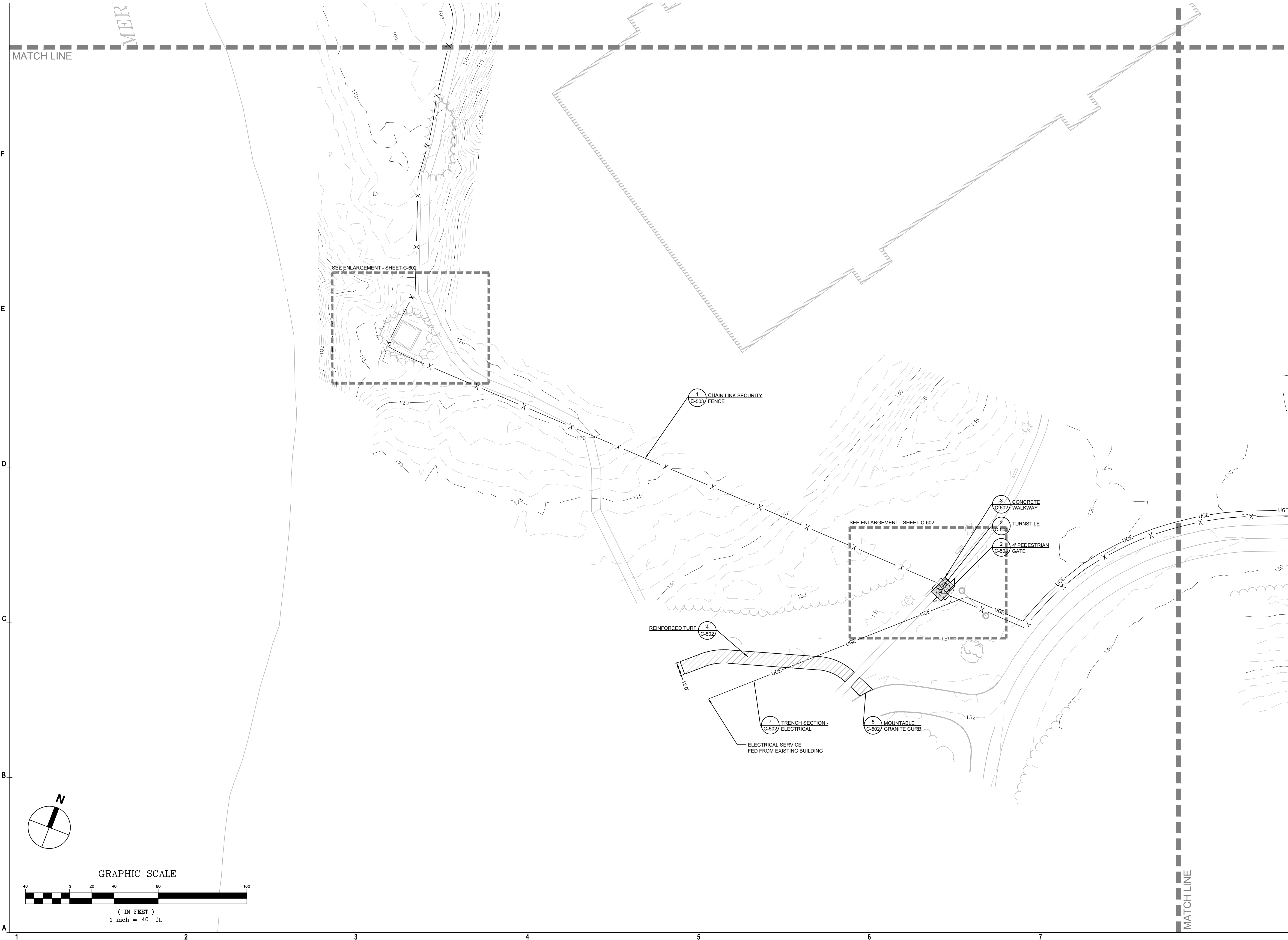
MARK	DATE	DESCRIPTION
11/08/2024	11/08/2024	MINOR SITE PLAN APPLICATION
		ISSUE LOG
		△ = CLOUDED CHANGE

NOT FOR CONSTRUCTION

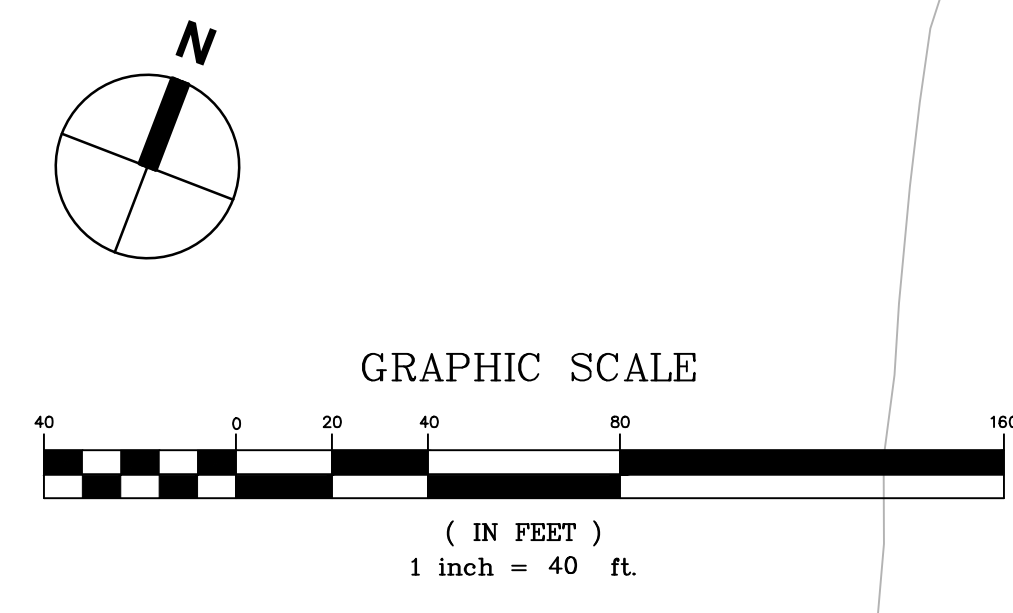
SCALE	1" = 40'
DRAWN BY	MF
CHECK BY	WWP
PROJ.ARCH./ENGR.	
PROJ. MGR.	JVS
JOB NO.	24116
© SYMMES, MAINI & MCKEE ASSOCIATES, INC. 2024	

**SITE IMPROVEMENTS
 PLAN C**

C-123



F
E
D
C
B
A





**PTP01 ENHANCED
PHYSICAL SECURITY**
65 RIVER ROAD
HUDSON, NH 03051

11/08/2024	MINOR SITE PLAN APPLICATION
MARK DATE:	DESCRIPTION:
ISSUE LOG	
△ = CLOUDED CHANGE	

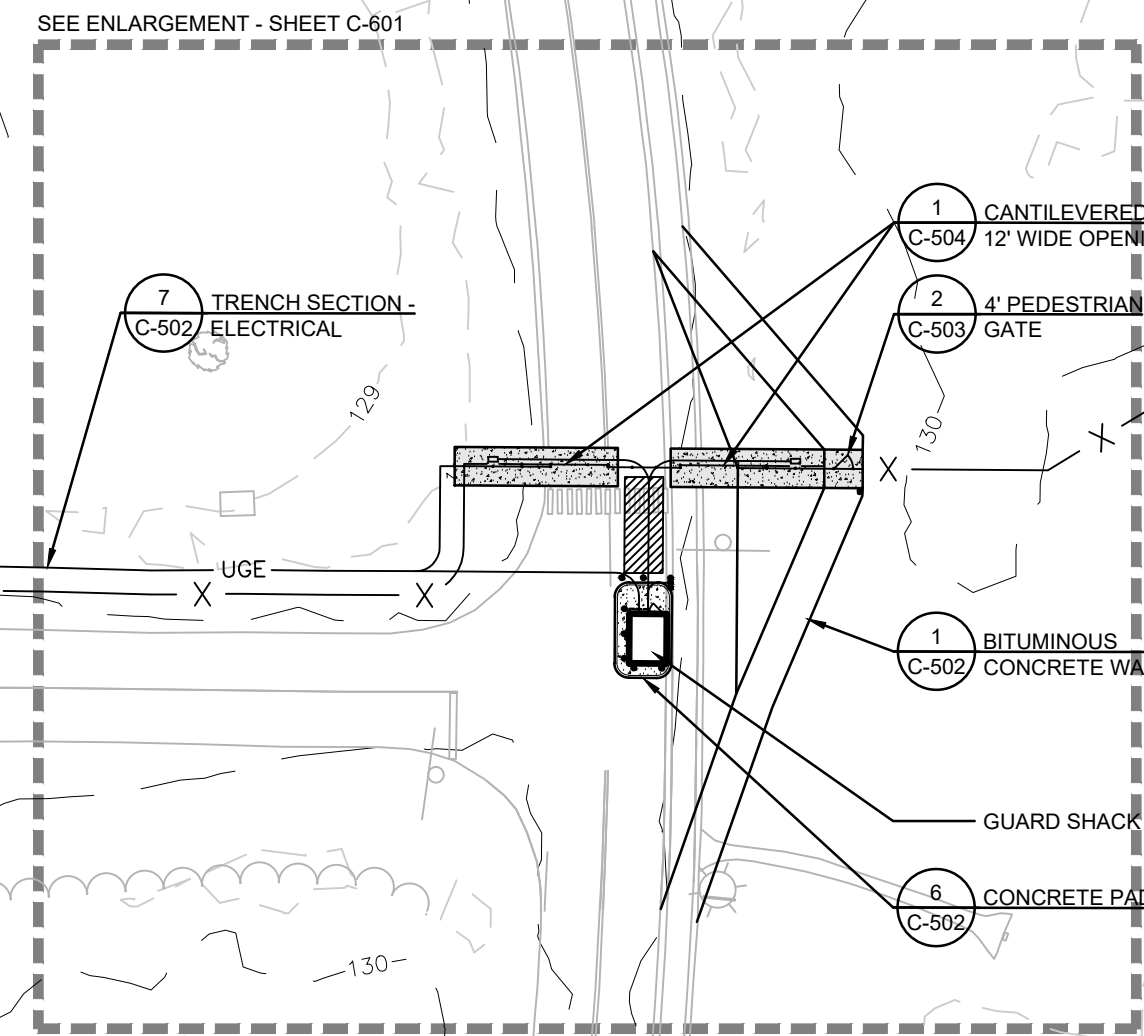
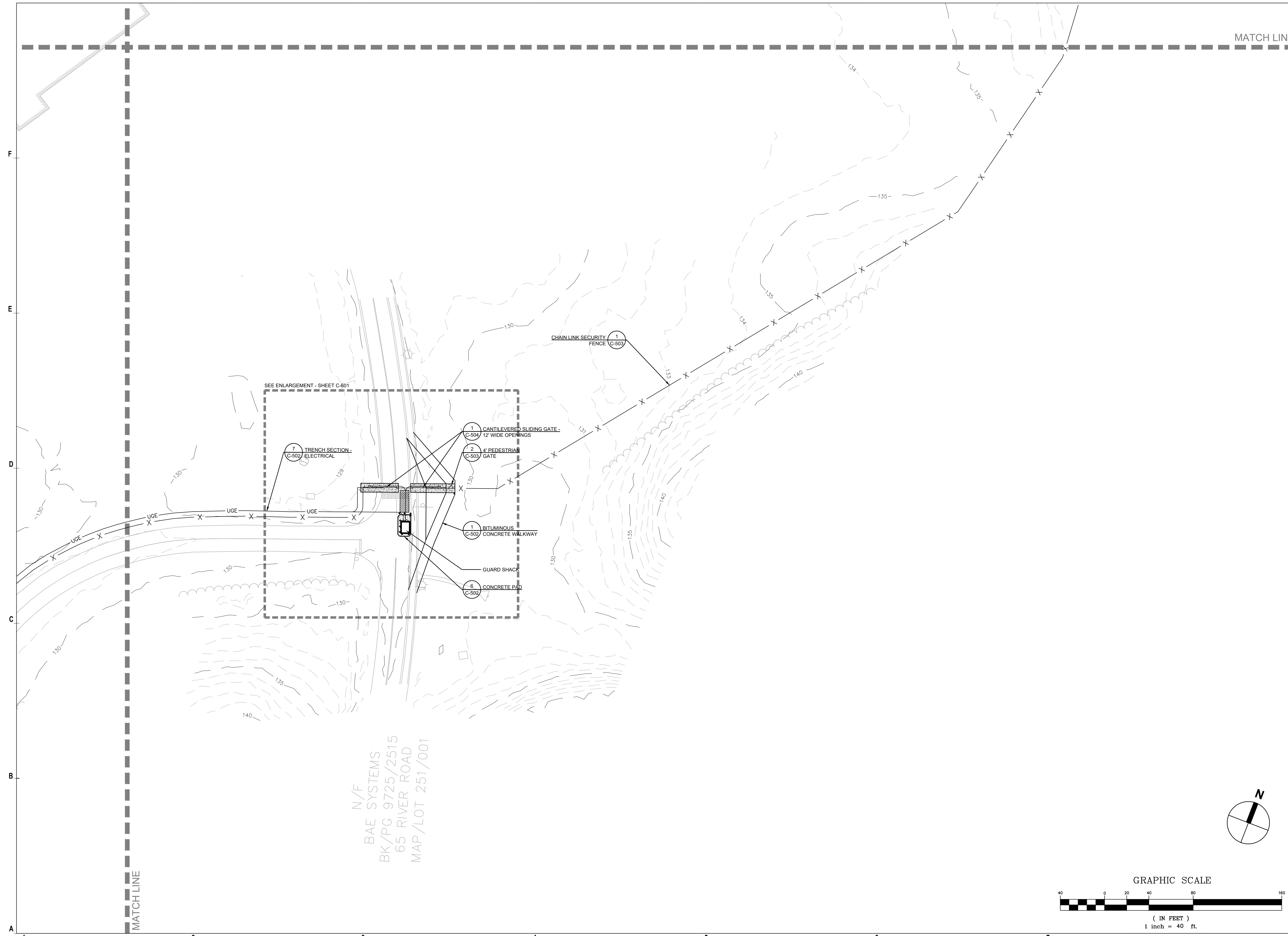
NOT FOR CONSTRUCTION

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CHECK BY	WWP
PROJ. ARCH./ENGR.	
PROJ. MRG.	JVS
JOB NO.	24116
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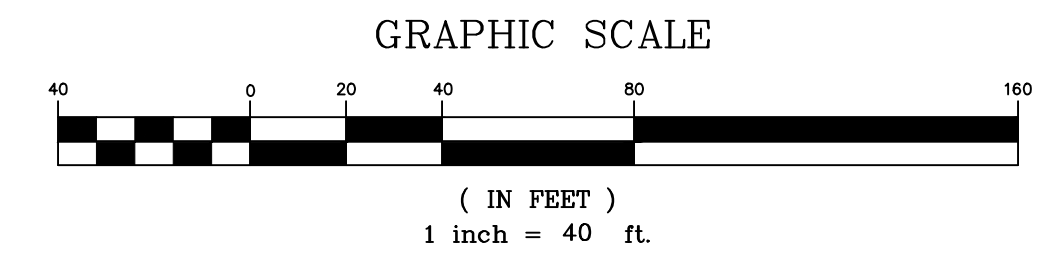
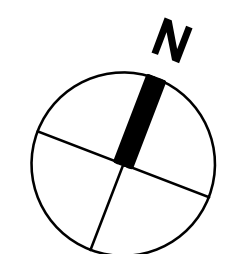
**SITE IMPROVEMENTS
PLAN D**

C-124

MATCH LINE



N/F
BAE SYSTEMS
BK/PG 9725/2515
65 RIVER ROAD
MAP/LOT 251/001



F
E
D
C
B
A

MATCH LINE

1 2 3 4 5 6 7

SHEET OF

11/08/2024	MINOR SITE PLAN APPLICATION
MARK DATE:	DESCRIPTION:
ISSUE LOG	
△ = CLOUDED CHANGE	

NOT FOR CONSTRUCTION

SCALE	NTS
DRAWN BY	MF
CHECK BY	WWP
PROJ. ARCH./ENGR.	
PROJ. MGR.	JVS
JOB NO.	24116
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DETAILS I

C-501

F

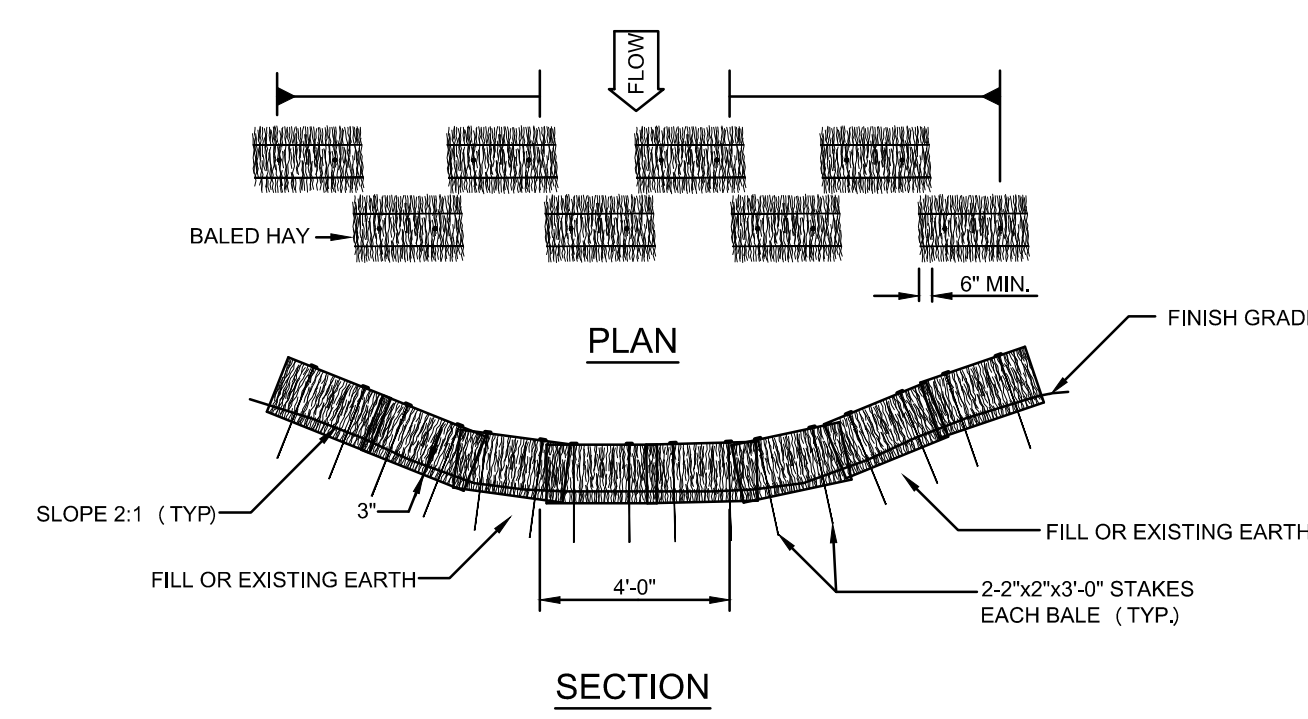
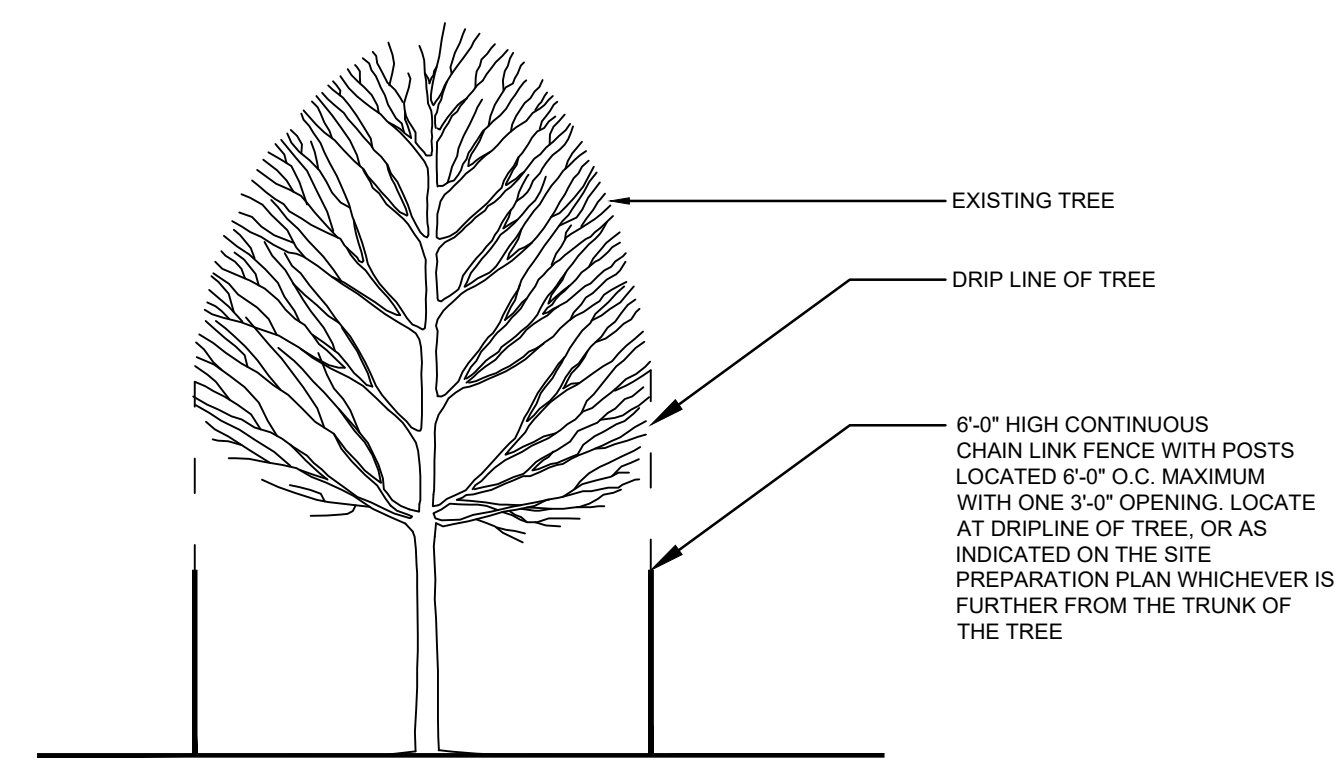
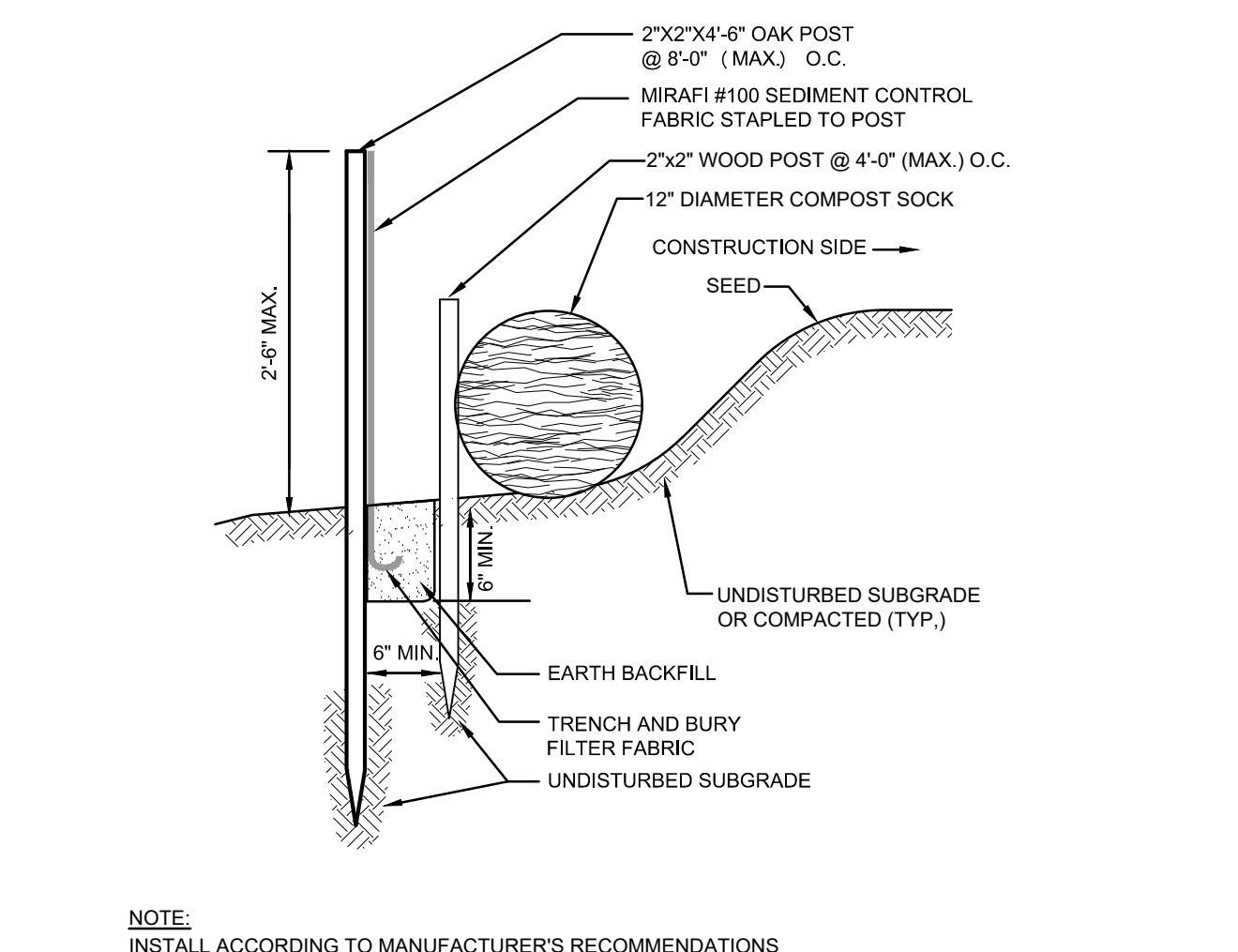
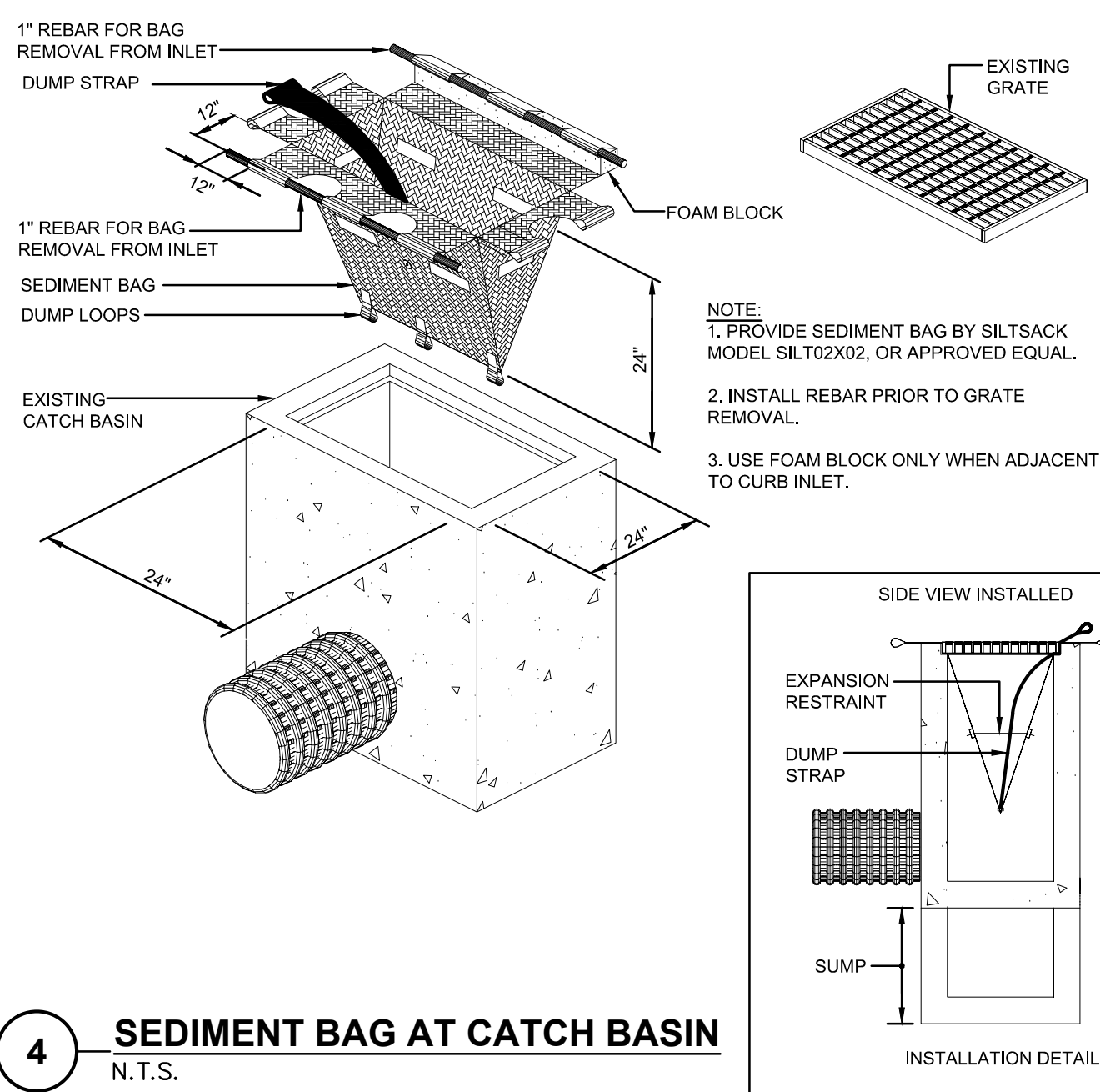
E

D

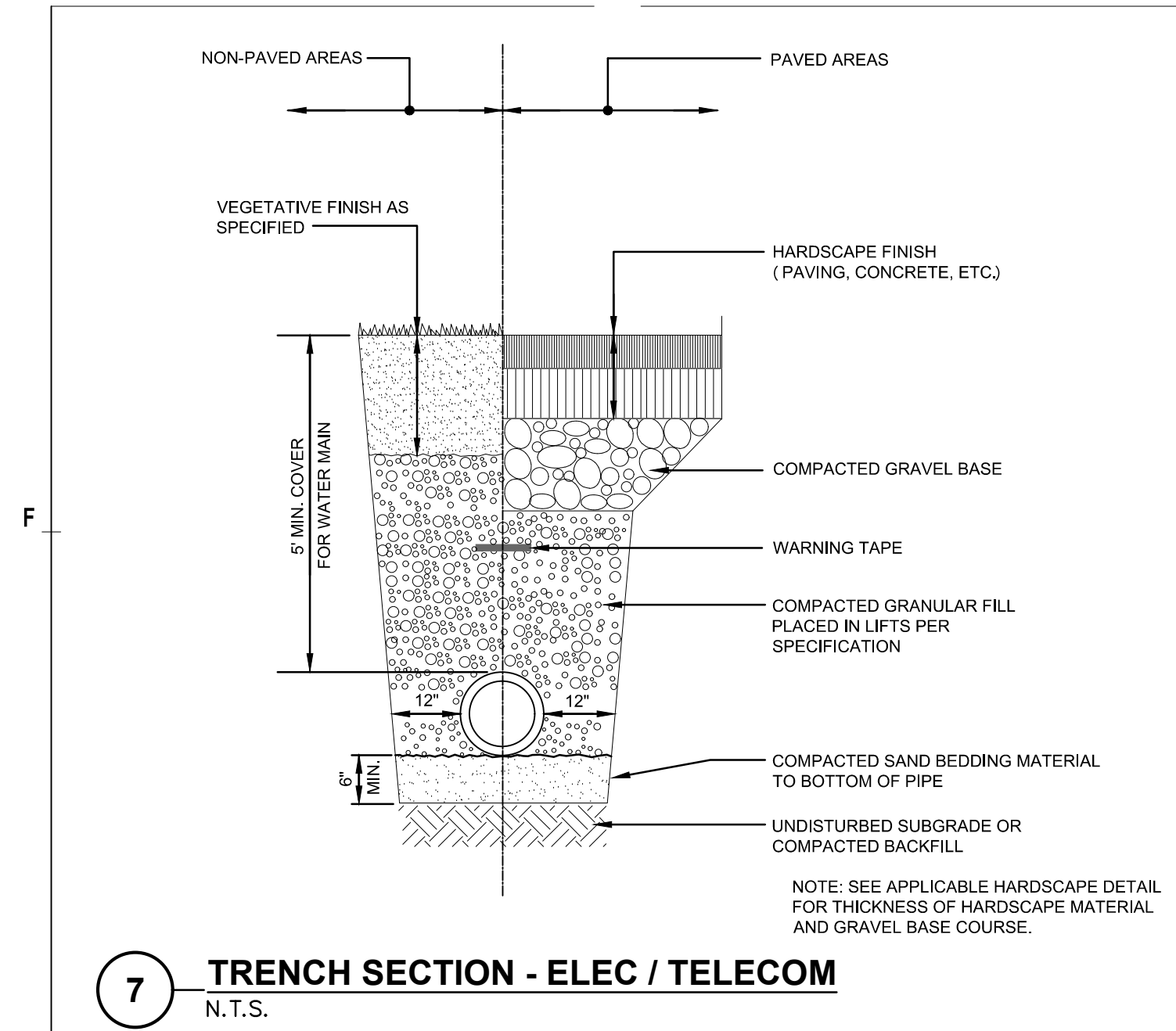
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B

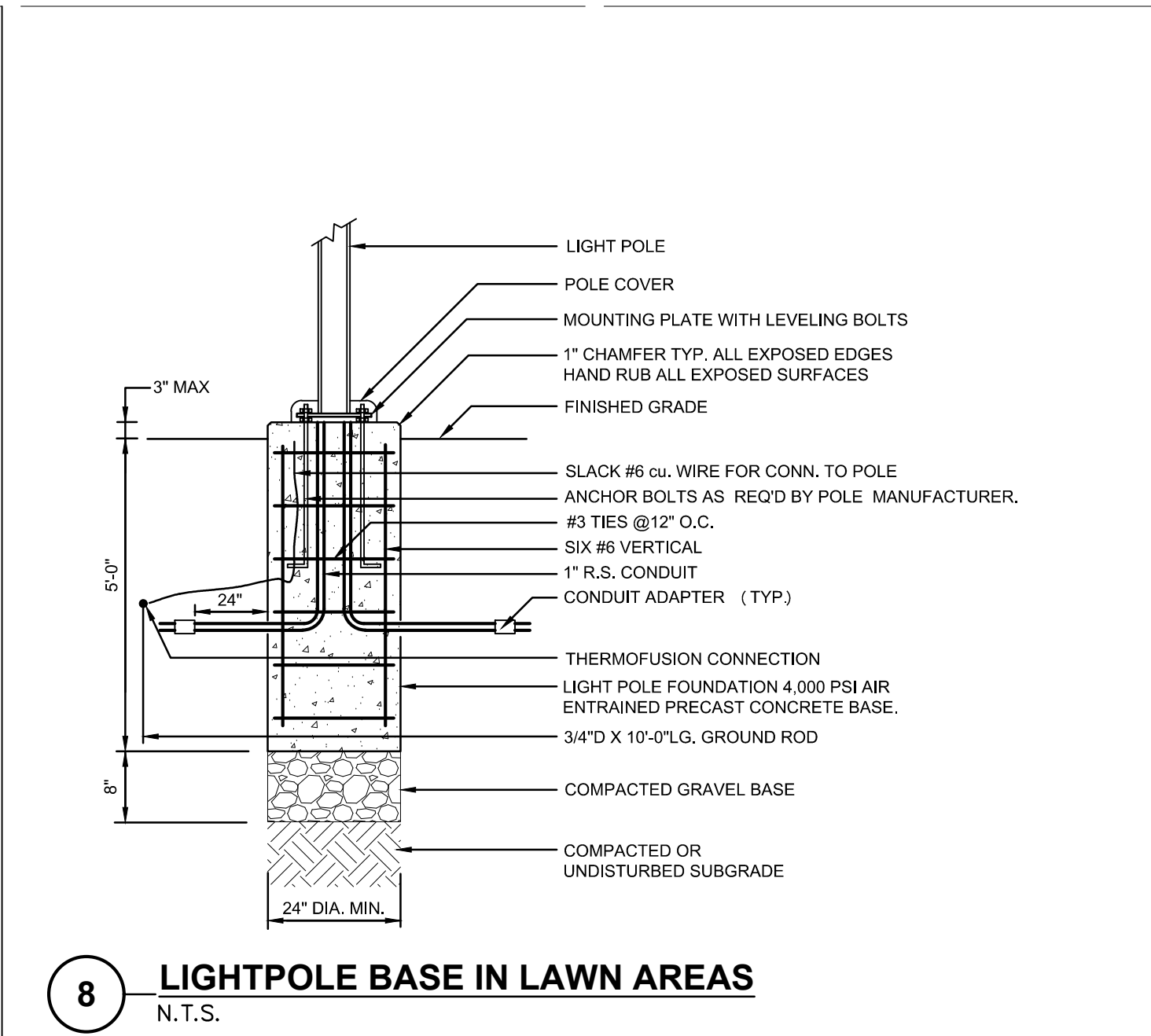
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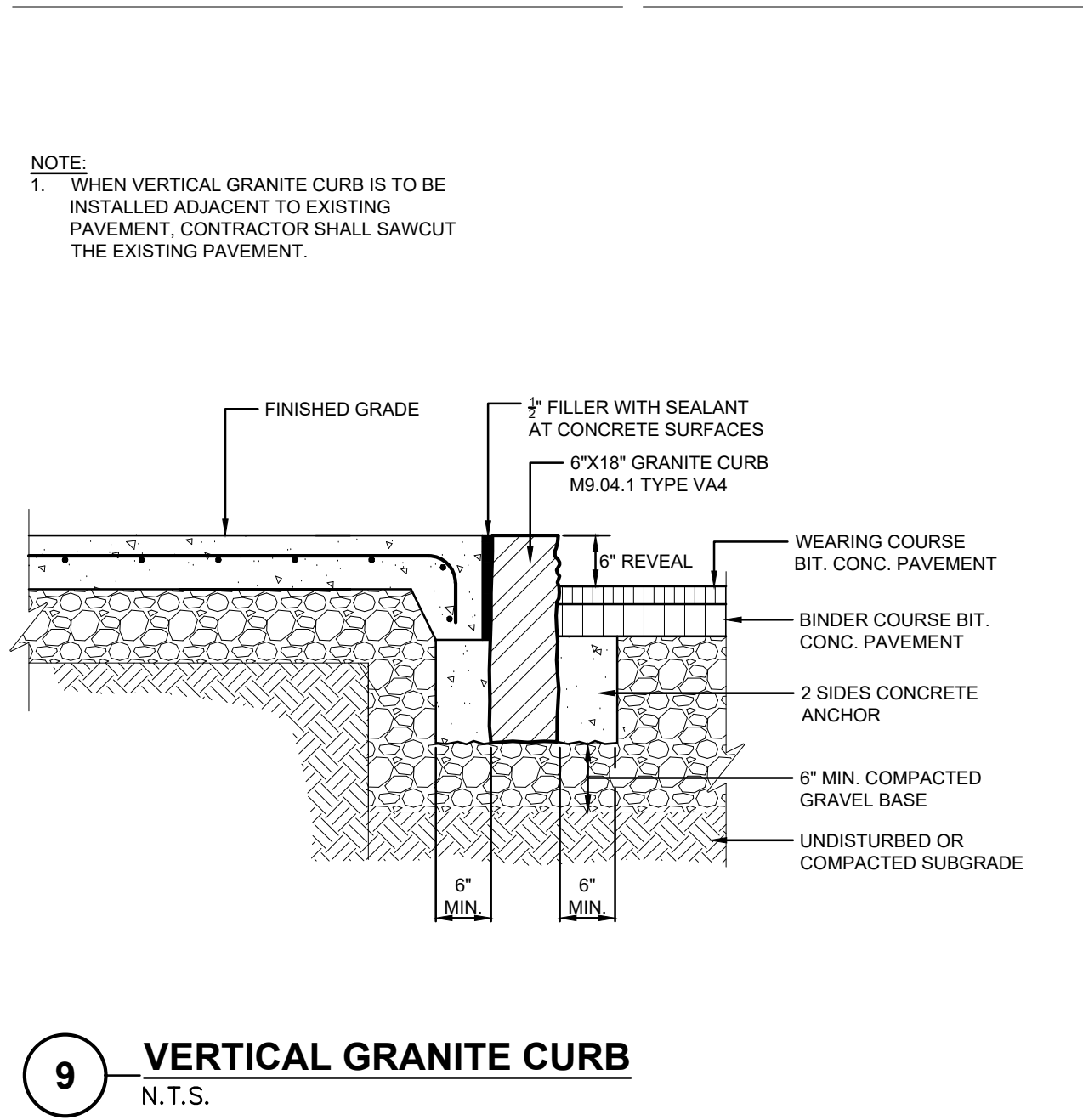
NOT FOR CONSTRUCTION



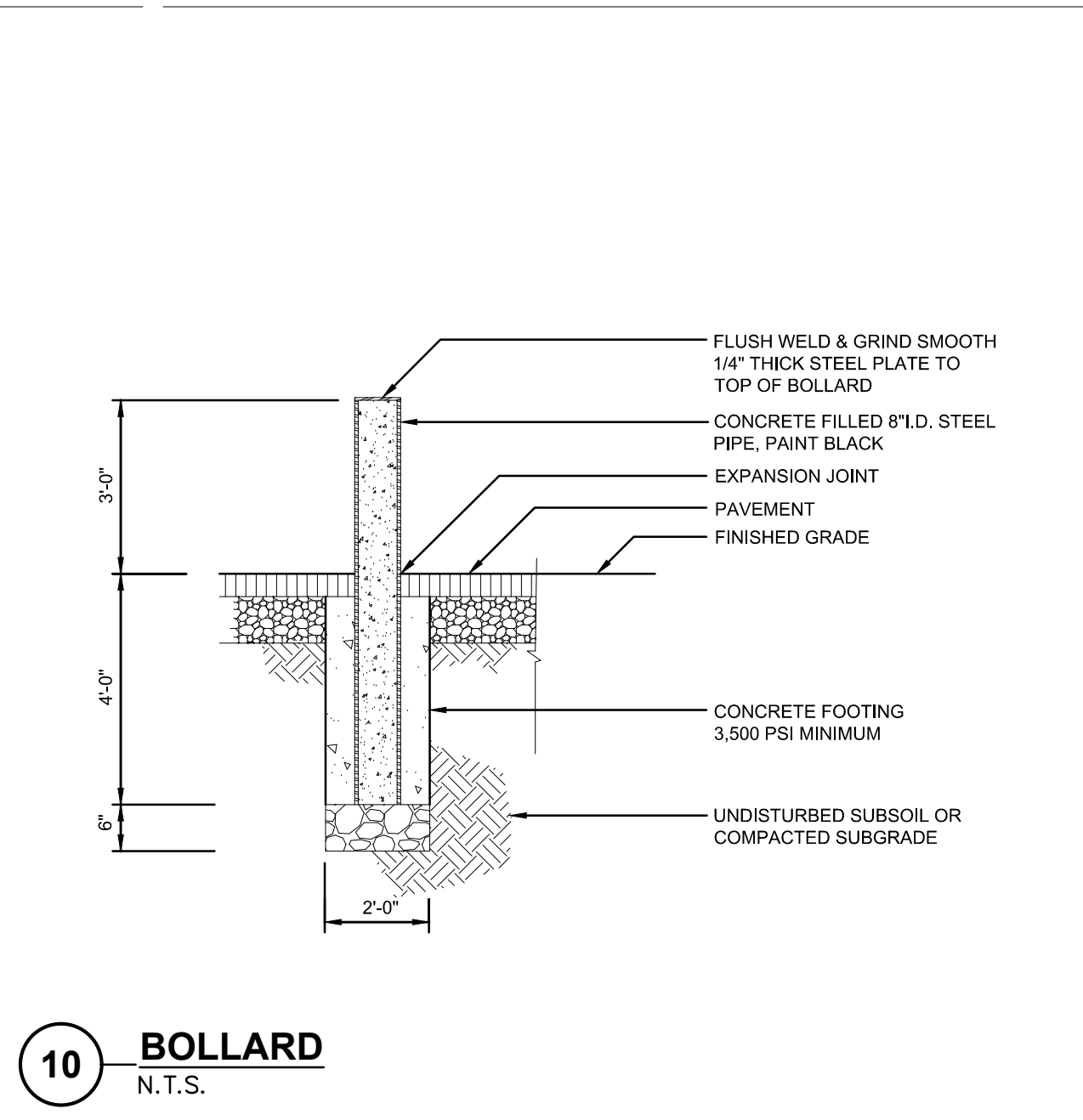
7 TRENCH SECTION - ELEC / TELECOM
 N.T.S.



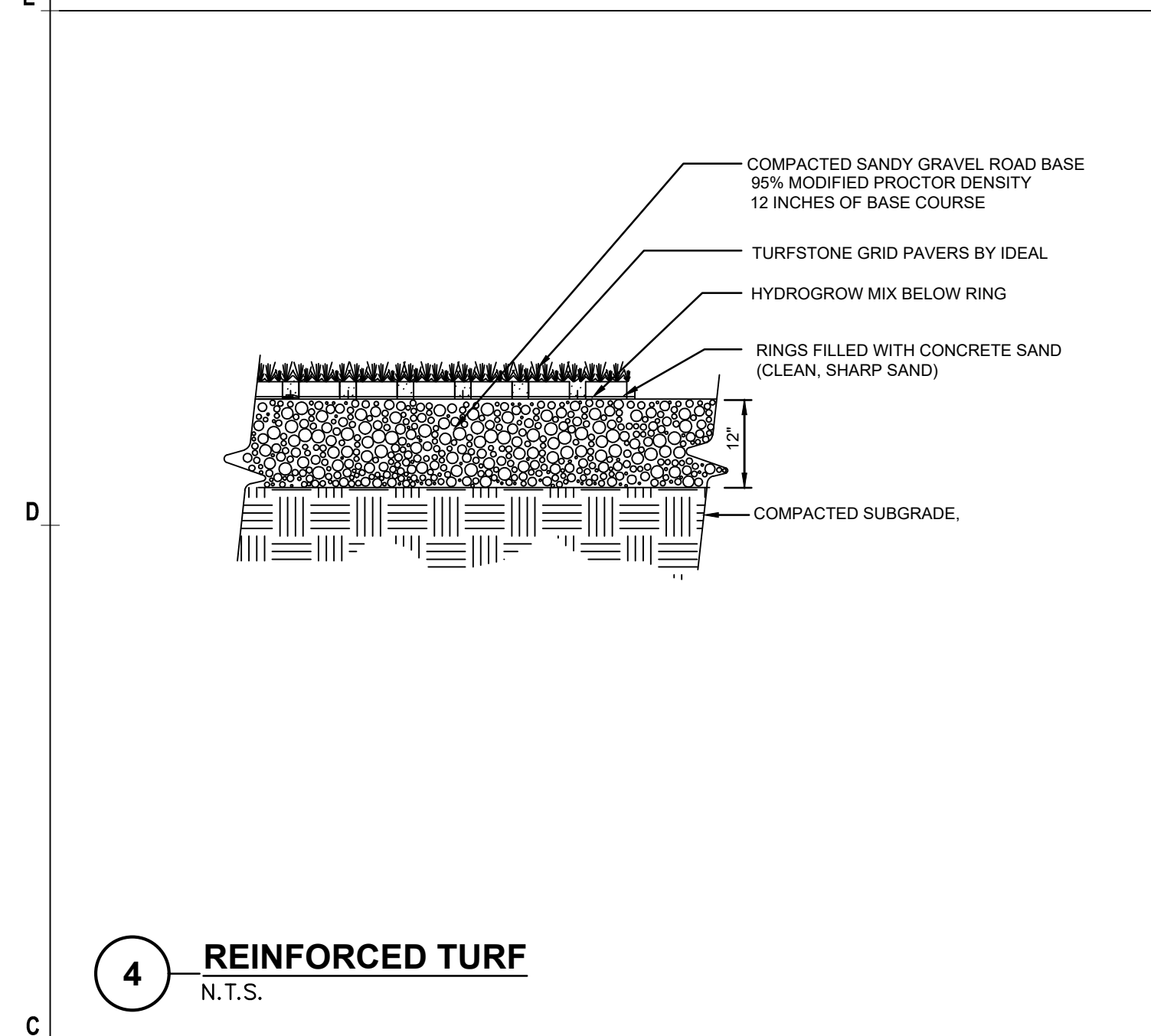
8 LIGHTPOLE BASE IN LAWN AREAS
 N.T.S.



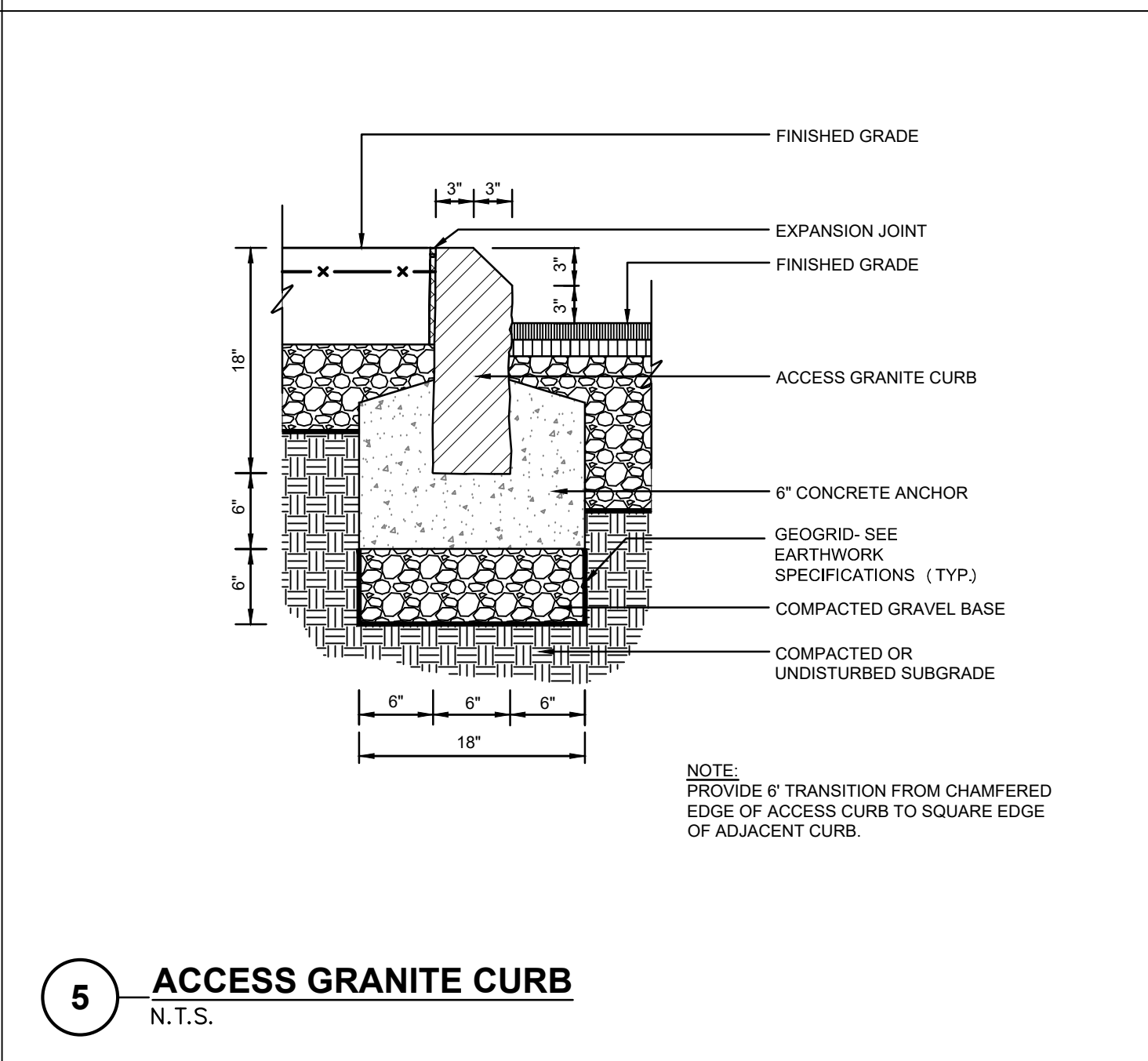
9 VERTICAL GRANITE CURB
 N.T.S.



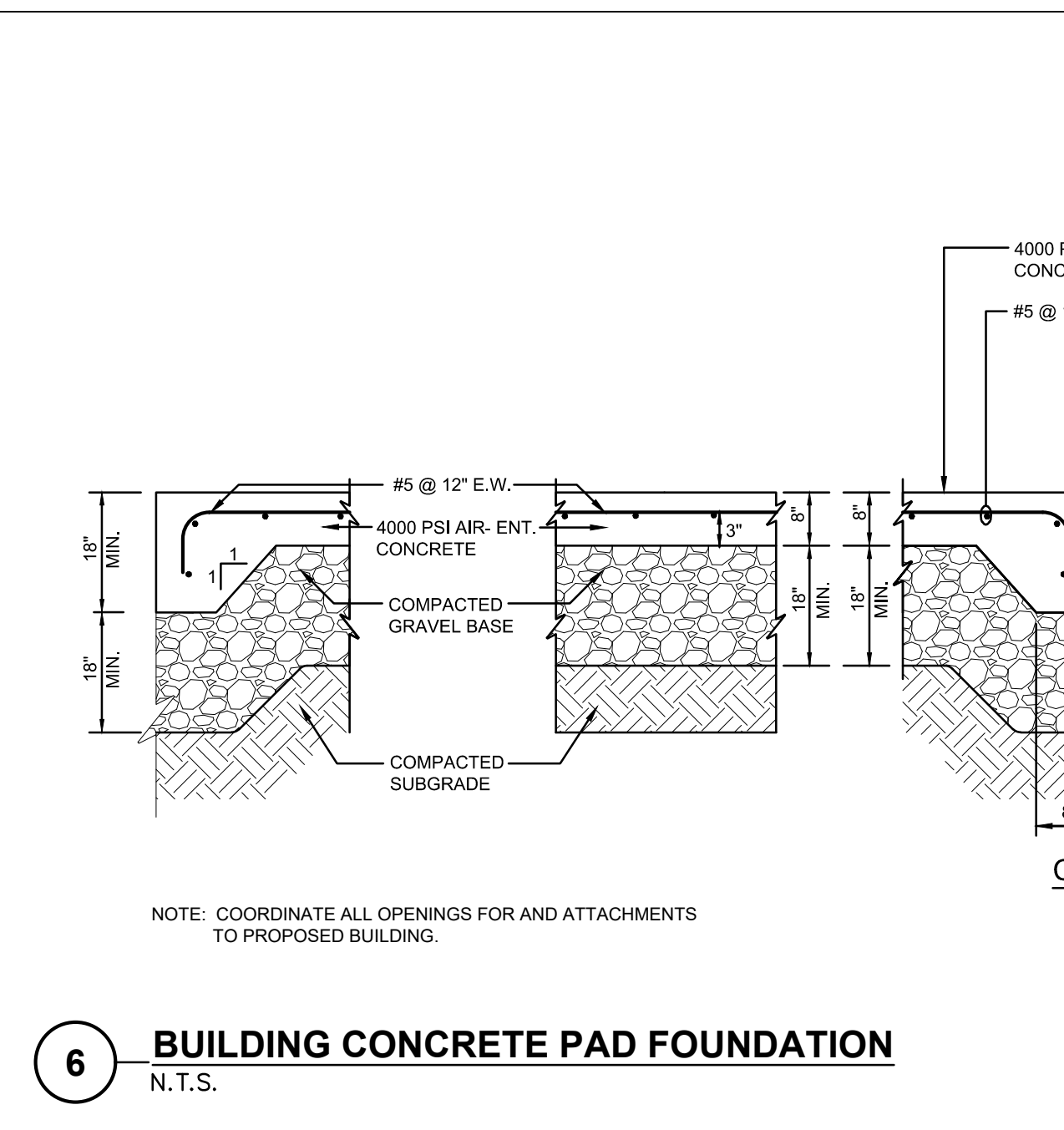
10 BOLLARD
 N.T.S.



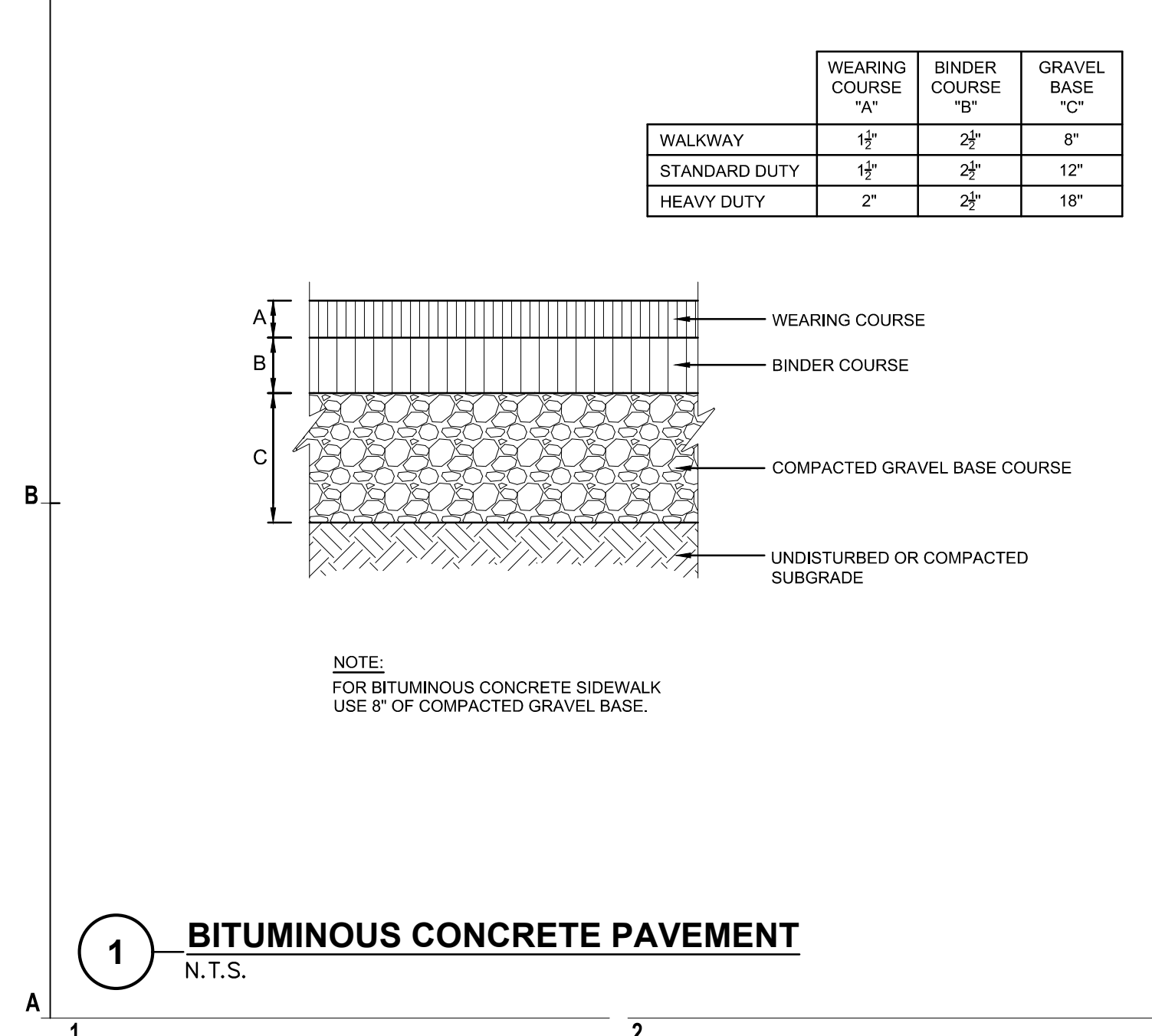
4 REINFORCED TURF
 N.T.S.



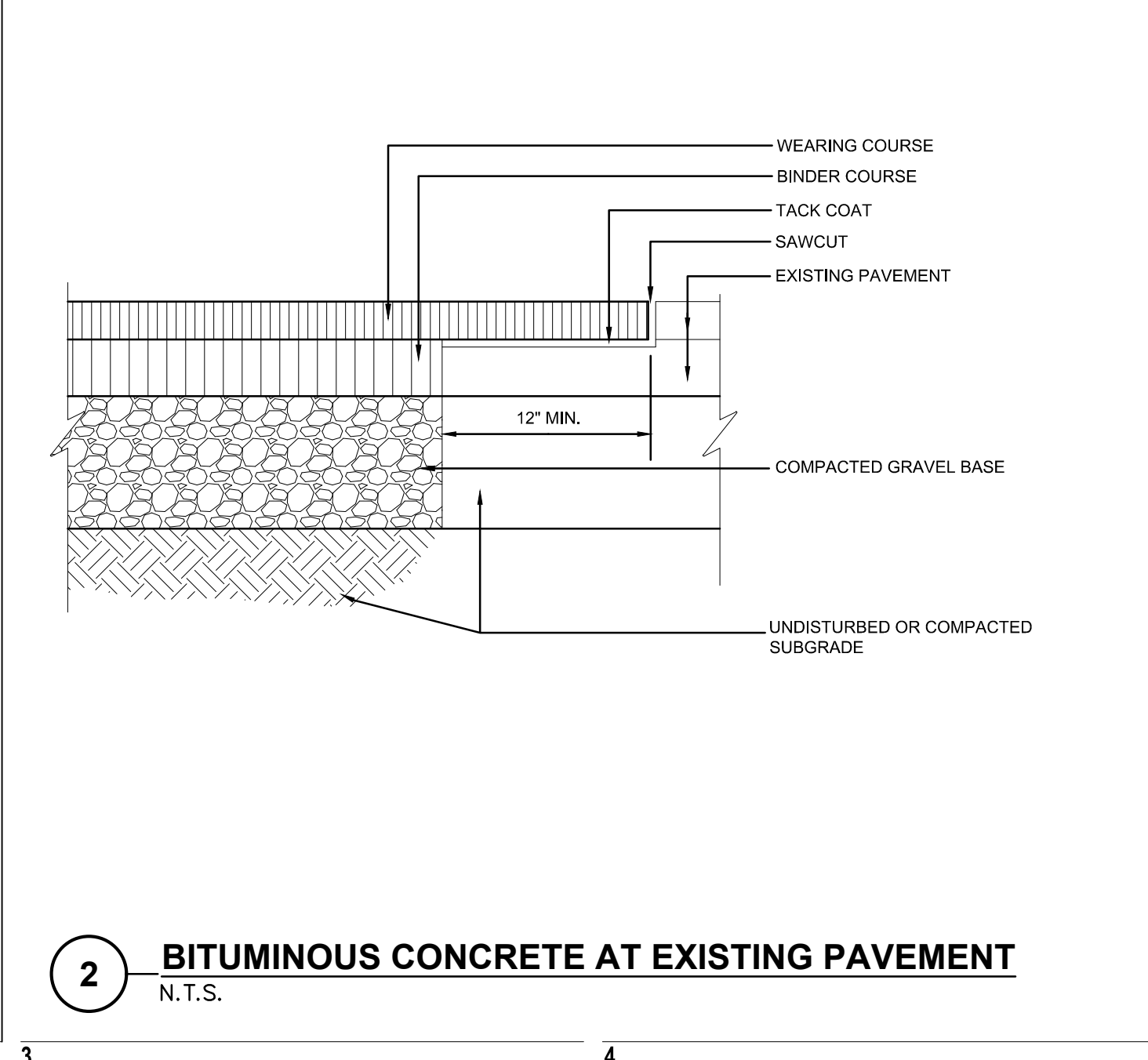
5 ACCESS GRANITE CURB
 N.T.S.



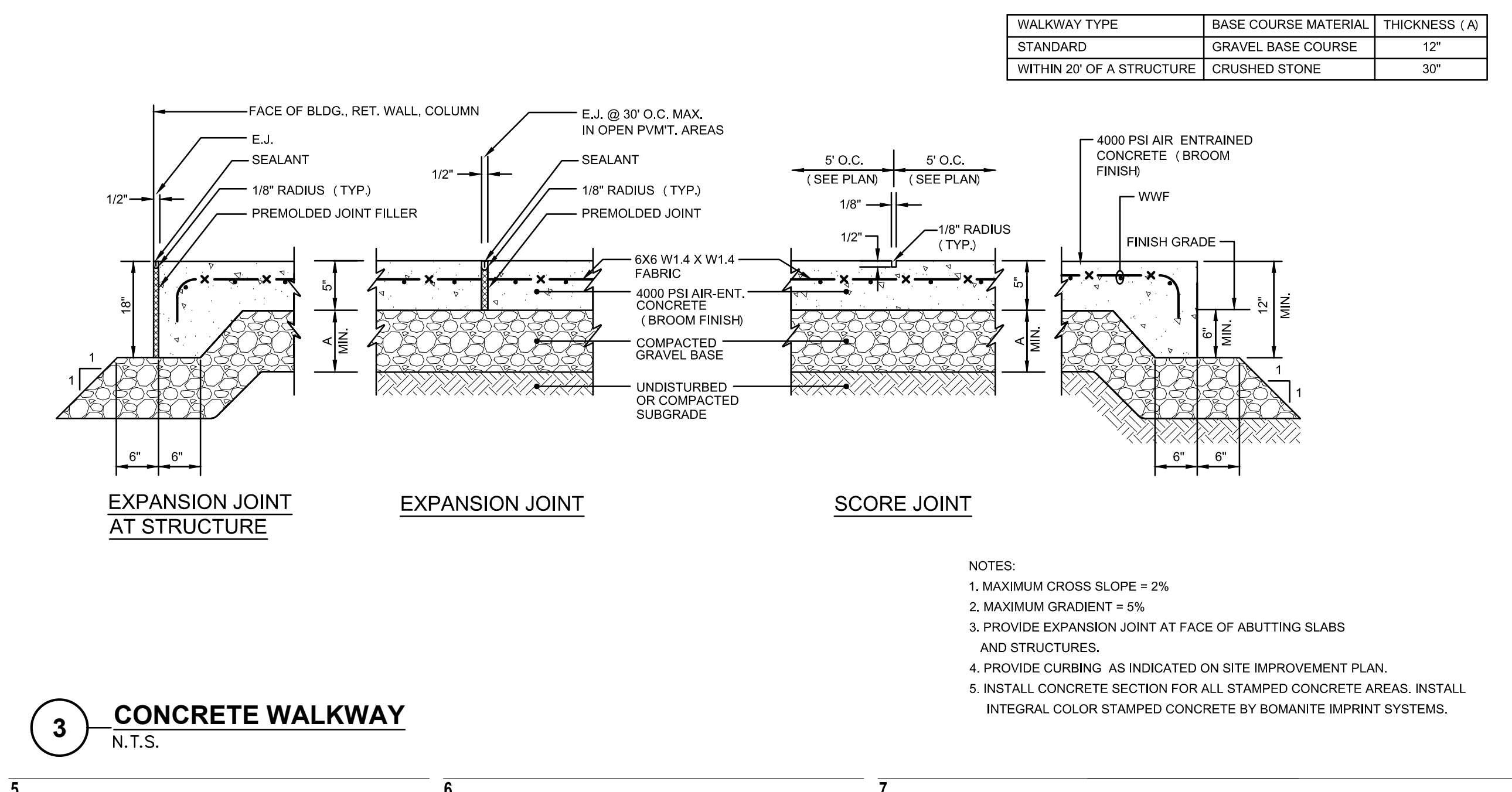
6 BUILDING CONCRETE PAD FOUNDATION
 N.T.S.



1 BITUMINOUS CONCRETE PAVEMENT
 N.T.S.

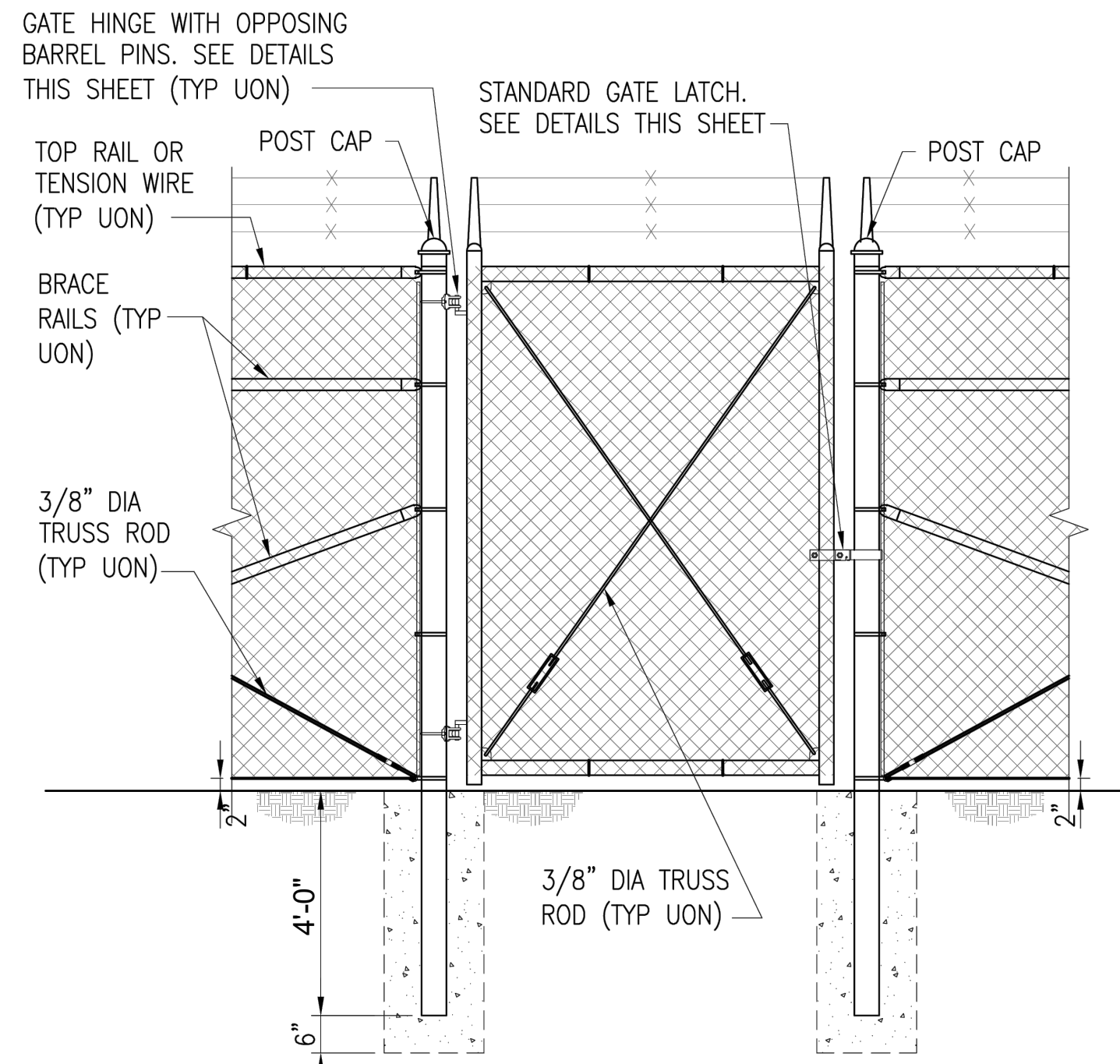


2 BITUMINOUS CONCRETE AT EXISTING PAVEMENT
 N.T.S.

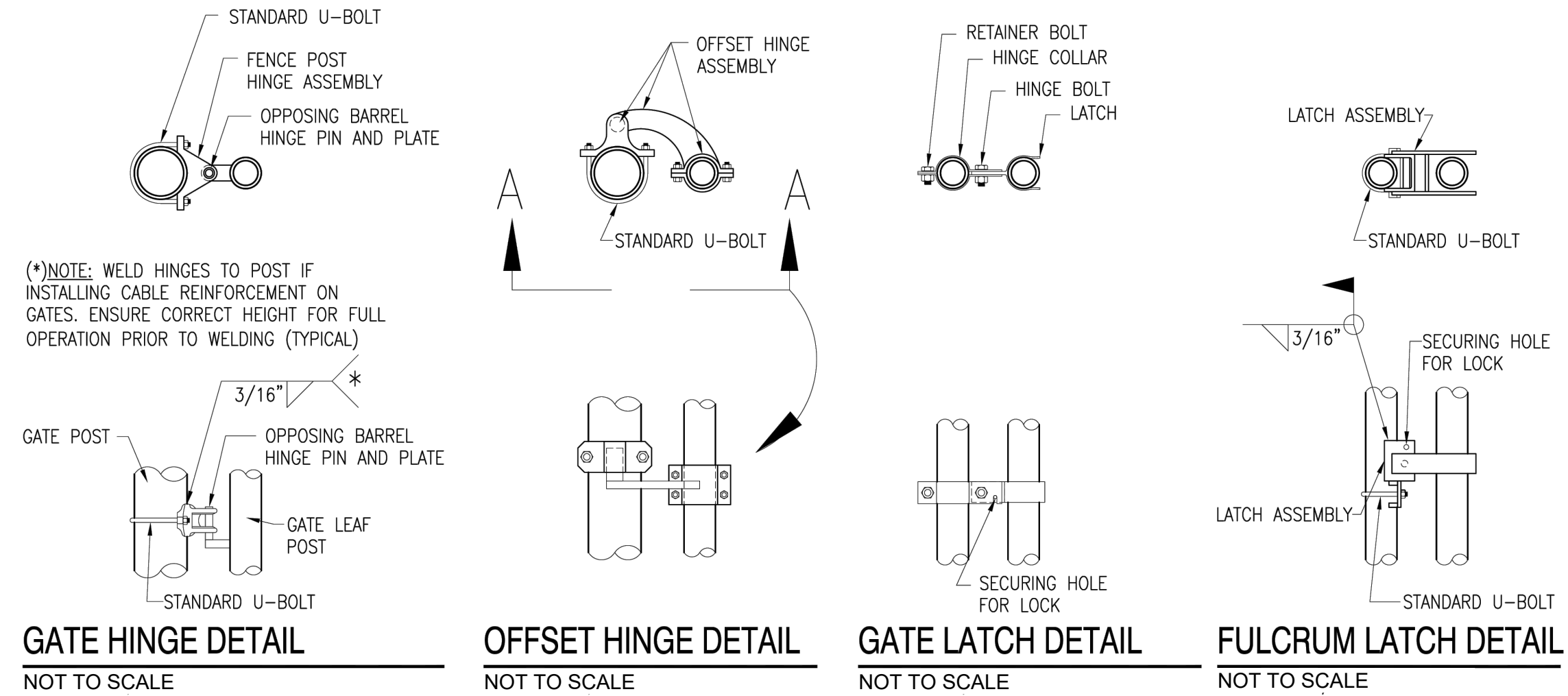


3 CONCRETE WALKWAY
 N.T.S.

- NOTES:
 1. MAXIMUM CROSS SLOPE = 2%
 2. MAXIMUM GRADIENT = 5%
 3. PROVIDE EXPANSION JOINT AT FACE OF ABUTTING SLABS AND STRUCTURES.
 4. PROVIDE CURBING AS INDICATED ON SITE IMPROVEMENT PLAN.
 5. INSTALL CONCRETE SECTION FOR ALL STAMPED CONCRETE AREAS. INSTALL INTEGRAL COLOR STAMPED CONCRETE BY BOMANITE IMPRINT SYSTEMS.



TYPICAL FENCE SINGLE SWING GATE ELEVATION
 NOT TO SCALE



SINGLE OR DOUBLE LEAF GATES		
NOM HEIGHT (H)	UPRIGHT HT (U)	FRAME HT (F)
NOM HT INCLUDING BARBED WIRE	ACTUAL DIM	ACTUAL DIM
8'-0" [2438MM]	7'-10" [2388MM]	6'-8 1/2" [2045MM]

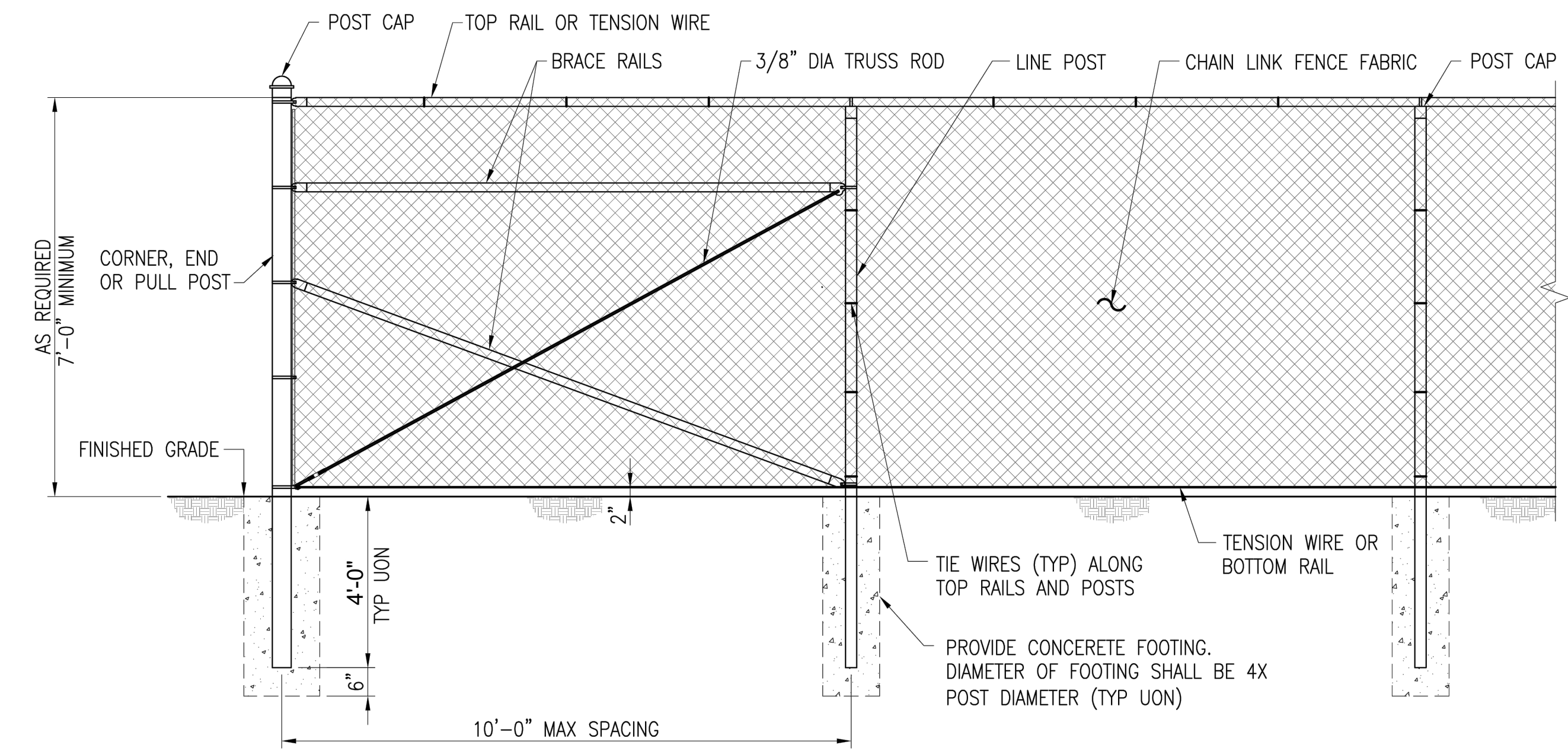
SINGLE LEAF GATES		
OPENING	GATE POSTS	HINGE SPACE (S)
FACE TO FACE	SQUARE & ROUND SIZES	POST TO UPRIGHT
3'-0" [914MM]	2.5" [63.5MM] SQ x 3/16" TH OR	FOR SQUARE & ROUND GATE POSTS: 2 1/4" [57MM]
6'-0" [1829MM]	2.875" [73MM] OD	FOR SQUARE & ROUND GATE POSTS: 2 1/4" [57MM]
6'-0" [1829MM]	4" [102MM] SQ x 3/16" TH OR	FOR SQUARE & ROUND GATE POSTS: 2 1/4" [57MM]
12'-0" [3657MM]	4" [102MM] OD	FOR SQUARE & ROUND GATE POSTS: 2 1/4" [57MM]
12'-0" [3657MM]	6" [153MM] SQ x 3/16" TH OR	FOR SQUARE & ROUND GATE POSTS: 2 1/4" [57MM]
19'-0" [5790MM]	6.625" [168MM] OD	FOR SQUARE & ROUND GATE POSTS: 2 1/4" [57MM]
19'-0" [5790MM]	8" [203MM] SQ x 1/4" TH OR	FOR SQUARE & ROUND GATE POSTS: 2 1/4" [57MM]
23'-0" [7010MM]	8.625" [219MM] OD	FOR SQUARE & ROUND GATE POSTS: 2 1/4" [57MM]

GATE POSTS & FOUNDATIONS: GATE POST SIZE AND ASSOCIATED FOOTING DIAMETER TO BE DETERMINED BY MANUFACTURER, BASED ON LEAF WEIGHT & DIMENSION, BUT NOT LESS THAN DIAMETER SHOWN ON THESE DRAWINGS. MINIMUM FOOTING DIAMETERS (TO BE FILLED W/4000 PSI CONC): 40" Ø FOR 8" POST; 36" Ø FOR 6" POST; 24" Ø FOR 4" POST; OTHER SIZES TO BE DESIGNED BY MFR OR KTR. NO FOOTING WIDTH SHALL BE LESS THAN 4(X) THE POST WIDTH.

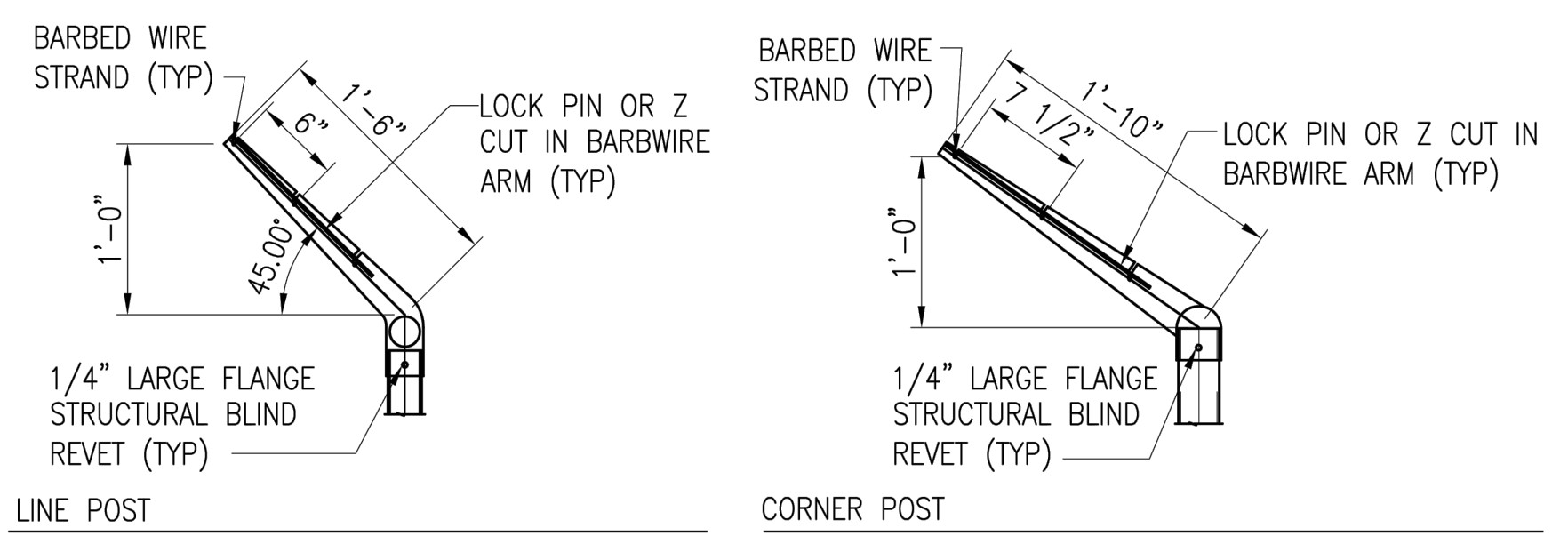
NOTE: IF GATE HINGES ARE NOT OPPOSING (AS SHOWN ABOVE) OR LEAF IS NOT LOCKED MECHANICALLY TO THE HINGES, WELD AN ANGLE, PLATE, OR BLOCK ABOVE HINGE TO RESTRICT LEAF FROM BEING REMOVED OR LIFTED OFF. RESTRICTION SHALL NOT HINDER OPERATION OF GATE.

PROJECT NOTES:
 REFER TO SITE PLANS FOR SWING GATE LOCATIONS AND TYPES.
 PROVIDE 4'-0" WIDE OPENING FOR PEDESTRIAN SWING GATES.
 PROVIDE 12'-0" WIDE OPENING FOR VEHICULAR SWING GATES.

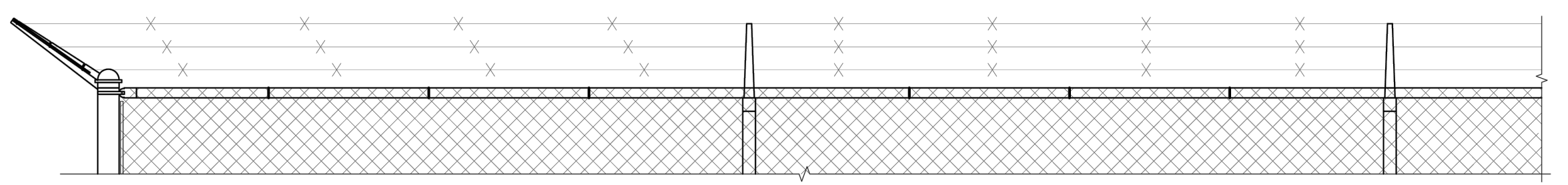
2 SWING GATE
 N.T.S.



TYPICAL FENCE AND CORNER PANEL ELEVATION
 NOT TO SCALE



SINGLE EXTENSION ARM DETAILS
 NOT TO SCALE



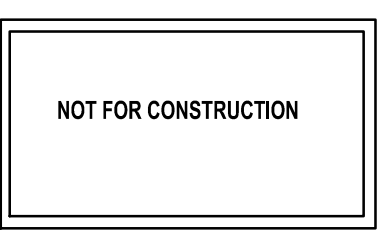
TYPICAL 3 STRAND BARBED WIRE AND SINGLE EXTENSION ARM CONFIGURATION
 NOT TO SCALE

1 7' CHAIN LINK SECURITY FENCE WITH BARBED WIRE
 N.T.S.



PTP01 ENHANCED PHYSICAL SECURITY
 65 RIVER ROAD
 HUDSON, NH 03051

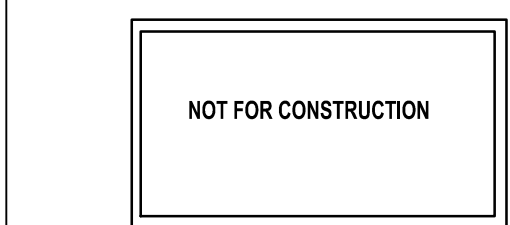
11/08/2024 MINOR SITE PLAN APPLICATION
 MARK DATE DESCRIPTION
 ISSUE LOG
 △ = CLOUDED CHANGE



SCALE _____ NTS
 DRAWN BY _____ MF
 CHECK BY _____ WWP
 PROJ.Arch.ENGR. _____
 PROJ.MRG. _____ JVS
 JOB NO. _____ 24116
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DETAILS III

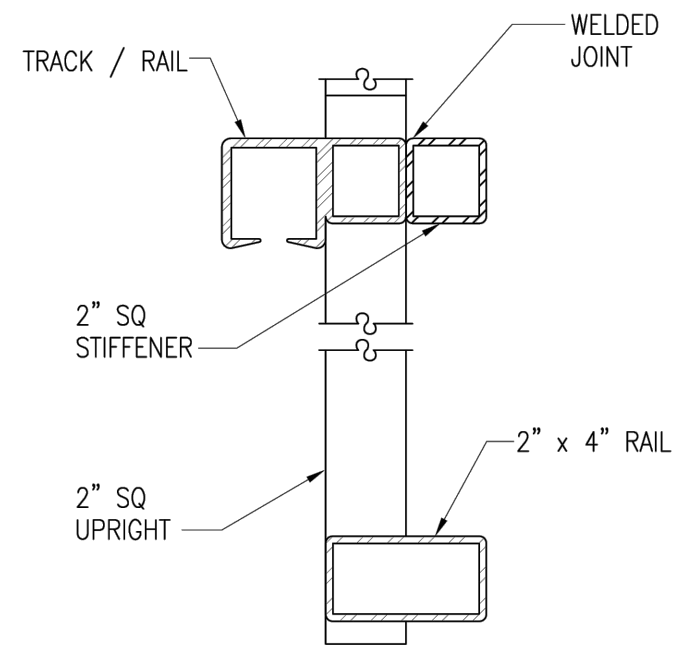
C-503



SCALE	N.T.S.
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JOB NO.	24116

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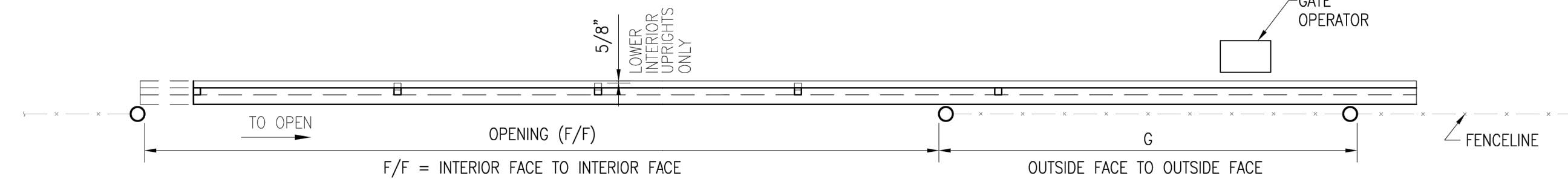
DETAILS IV



SECTION (TYP)

NOT TO SCALE
 UFC-703 | UFC-703

PROJECT NOTES:
 REFER TO SLIDING GATE LAYOUT DIMENSIONS ON SHEET C-601 ENLARGEMENT PLAN I.
 SLIDING GATES TO HAVE 12' WIDE OPENING WITH 18' GATE LENGTHS.

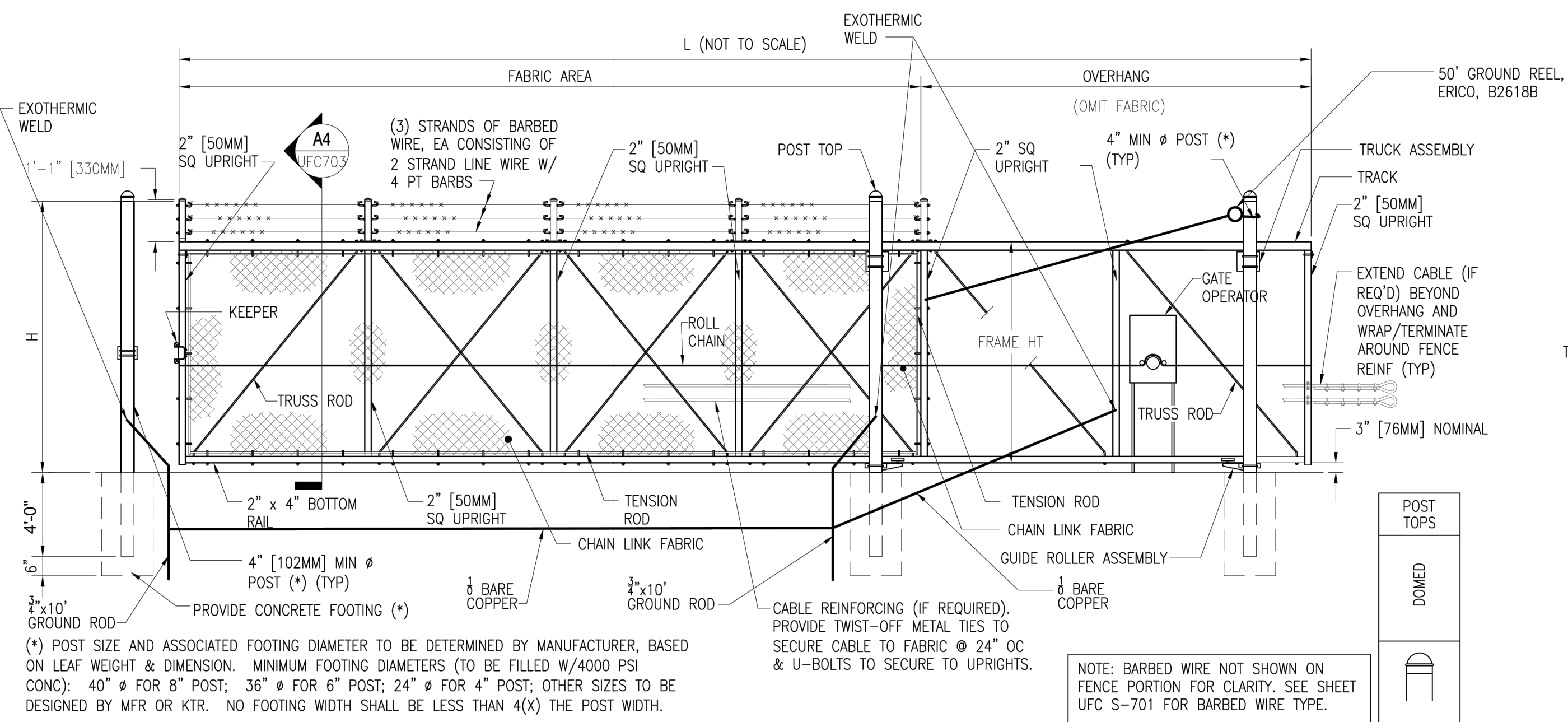


GATE PLAN

NOT TO SCALE
 UFC-703 | C1 CIVIL DWGS | UFC-703

SAMPLING OF SIZES:

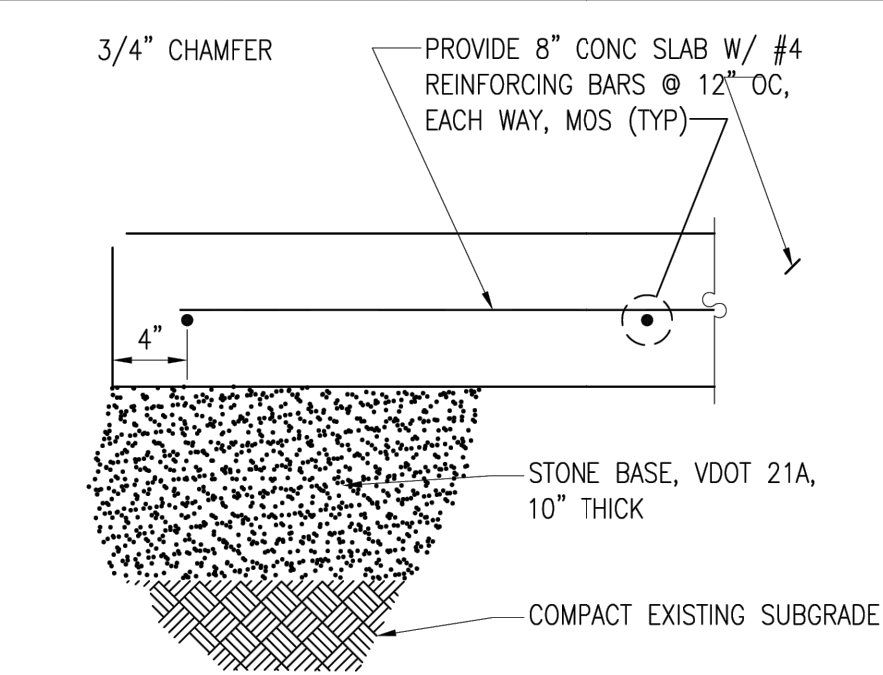
OPENING (F/F)	NOMINAL HEIGHT (H)	LENGTH (L)	GATE POSTS (G)	BAYS / OVERHANG
37'-0"	8'-0"	53'-3"	16'-0"	5 (FABRIC) / 2 (W/O)
30'-0"	8'-0"	42'-3"	12'-0"	4 (FABRIC) / 2 (W/O)
24'-0"	8'-0"	36'-3"	12'-0"	3 (FABRIC) / 2 (W/O)



TYPICAL SINGLE CANTILEVERED SLIDING GATE ELEVATION- (4) BAYS SHOWN

NOT TO SCALE
 WITH ROUND POSTS & WITH BARBED WIRE
 UFC-703 | A1 | UFC-703

1 CANTILEVERED SLIDING GATE
 N.T.S.



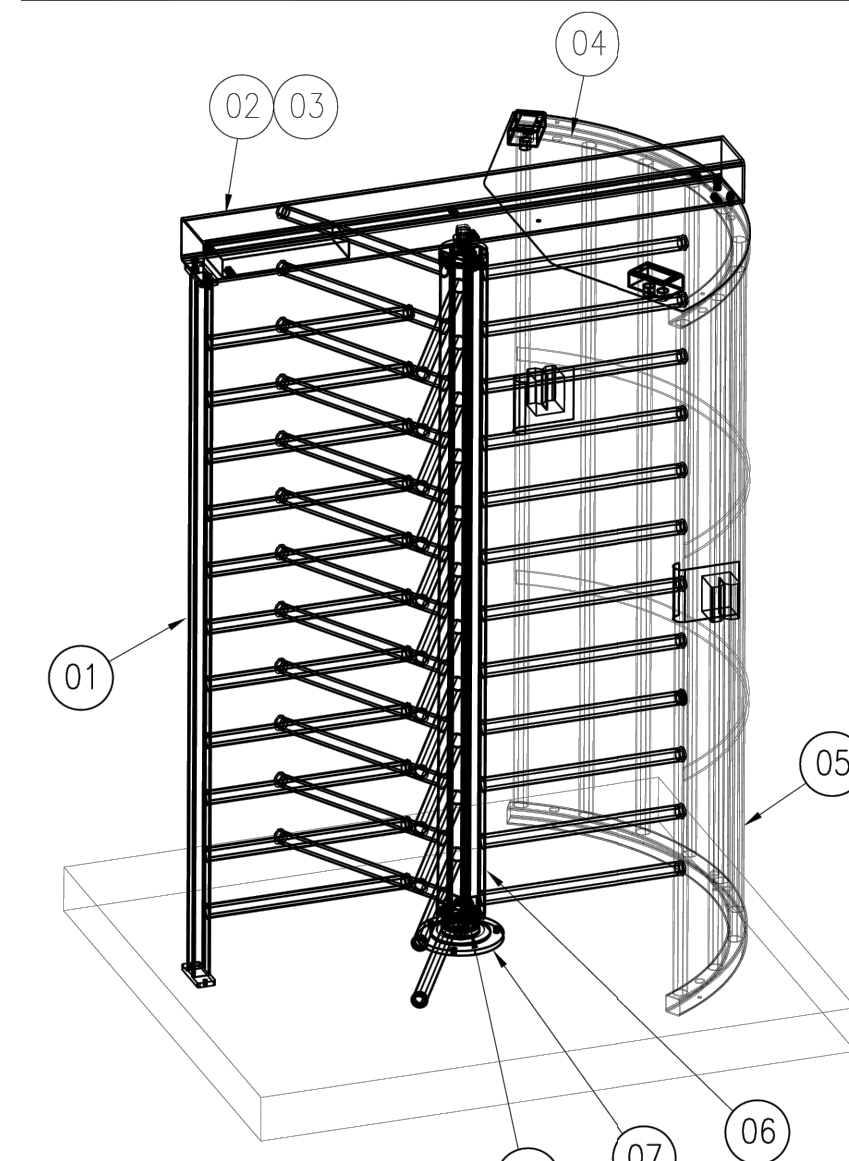
TURNSTILE MOUNTING SLAB

NOT TO SCALE
 UFC-705 | C2 | UFC-705

TURNSTILE NOTES:

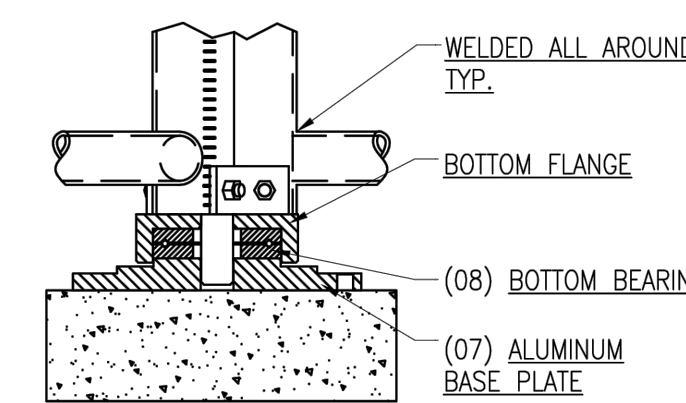
- TURNSTILE SHALL BE COMPOSED OF CARBON STEEL. ALL MATERIALS SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A123.
- TURNSTILE SHALL HAVE BI-DIRECTIONAL CONTROLS: IN THE CASE OF A POWER FAILURE, OUTBOUND TRAFFIC SHALL BE SET TO "FAIL SAFE"; THE INBOUND TRAFFIC WILL HAVE A "FAIL LOCK" MECHANISM (UNLESS OTHERWISE DIRECTED BY THE ACTIVITY VIA THE CONTRACTING OFFICER).
- PROVIDE CARD READER MOUNTING PLATES FOR BOTH SIDES (INBOUND & OUTBOUND) OF TURNSTILE. CARD READER WILL BE INSTALLED BY THE ACTIVITY AT A LATER DATE.
- BRACE BARRIER POST AT TOP TO ADJACENT VERTICAL SURFACE.
- ALLOW 5 INCH CLEARANCE ABOVE TOP OF TURNSTILE TO REMOVE LIFT-OFF TYPE TOP COVER.
- CONCRETE MOUNTING SLAB MUST BE LEVEL WITHIN 1/4". SEE DETAIL C2 THIS SHEET FOR CONC MOUNTING PAD.
- CONTRACTOR SHALL PROVIDE AN ELECTRICAL 3-ROTOR FULL HEIGHT TURNSTILE AS MANUFACTURED BY TOMSED, MODEL TH1-100ECP(3), OR APPROVED EQUAL.
- TURNSTILE SHALL HAVE FINISH TO MATCH ADJACENT FENCEWORK: POWDER COATED BLACK FOR ORNAMENTAL FENCE AND GALVANIZED FOR CHAIN-LINK.
- INSTALL 3 STRANDS BARBED WIRE OR CONCERTINA WIRE OVER TOP CHANNEL OF TURNSTILE (BETWEEN ADJACENT FENCE POSTS) TO HINDER SCALING UNIT.

TURNSTILE SKETCHES:



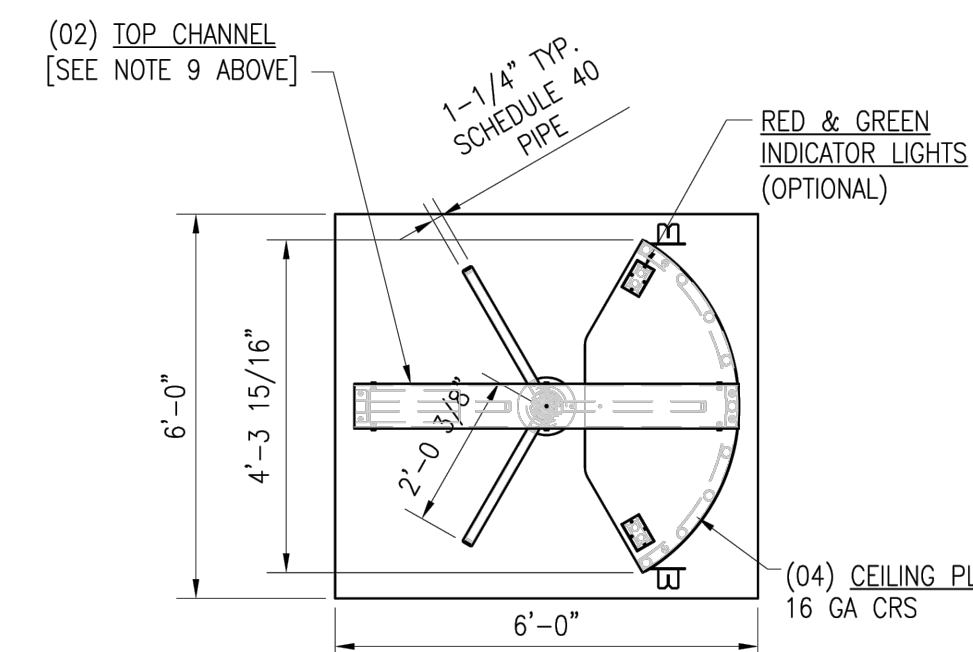
ISOMETRIC

NOT TO SCALE



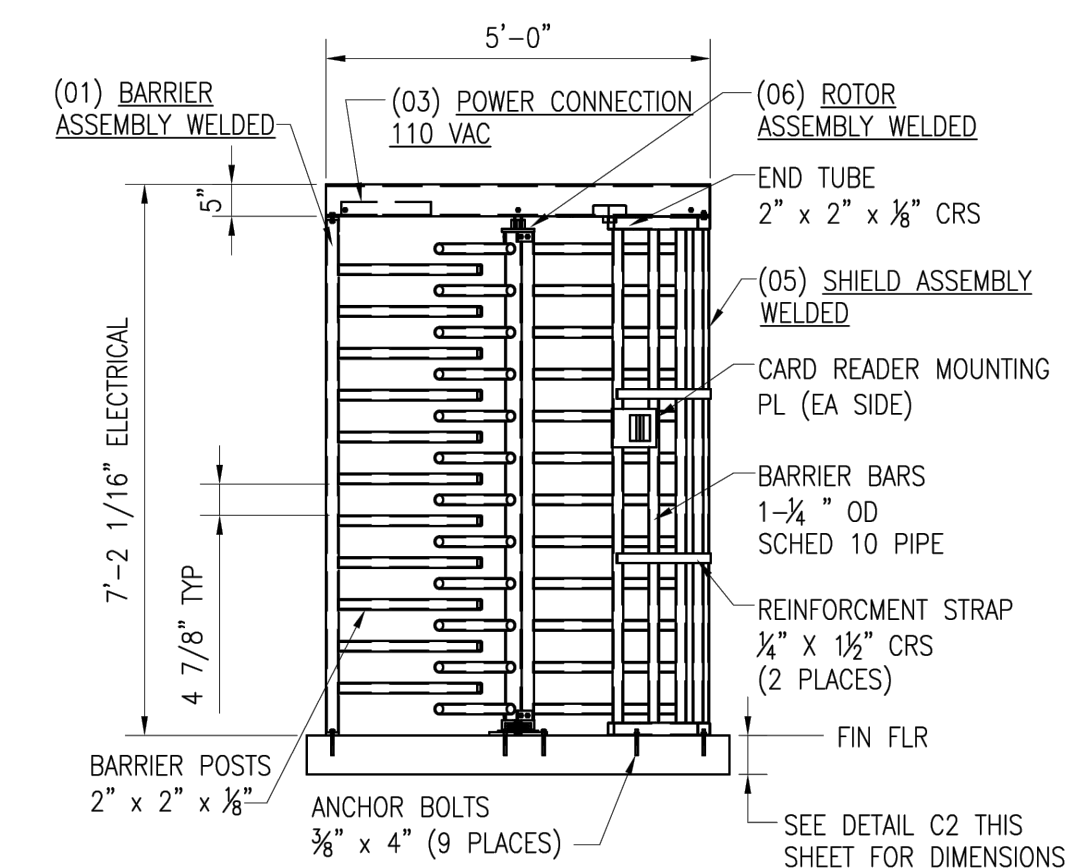
BOTTOM BEARING DETAIL

NOT TO SCALE



PLAN VIEW

NOT TO SCALE



ELEVATION VIEW

NOT TO SCALE

2 TURNSTILE
 N.T.S.

SE NOT



**PTP01 ENHANCED
 PHYSICAL SECURITY**
 65 RIVER ROAD
 HUDSON, NH 03051

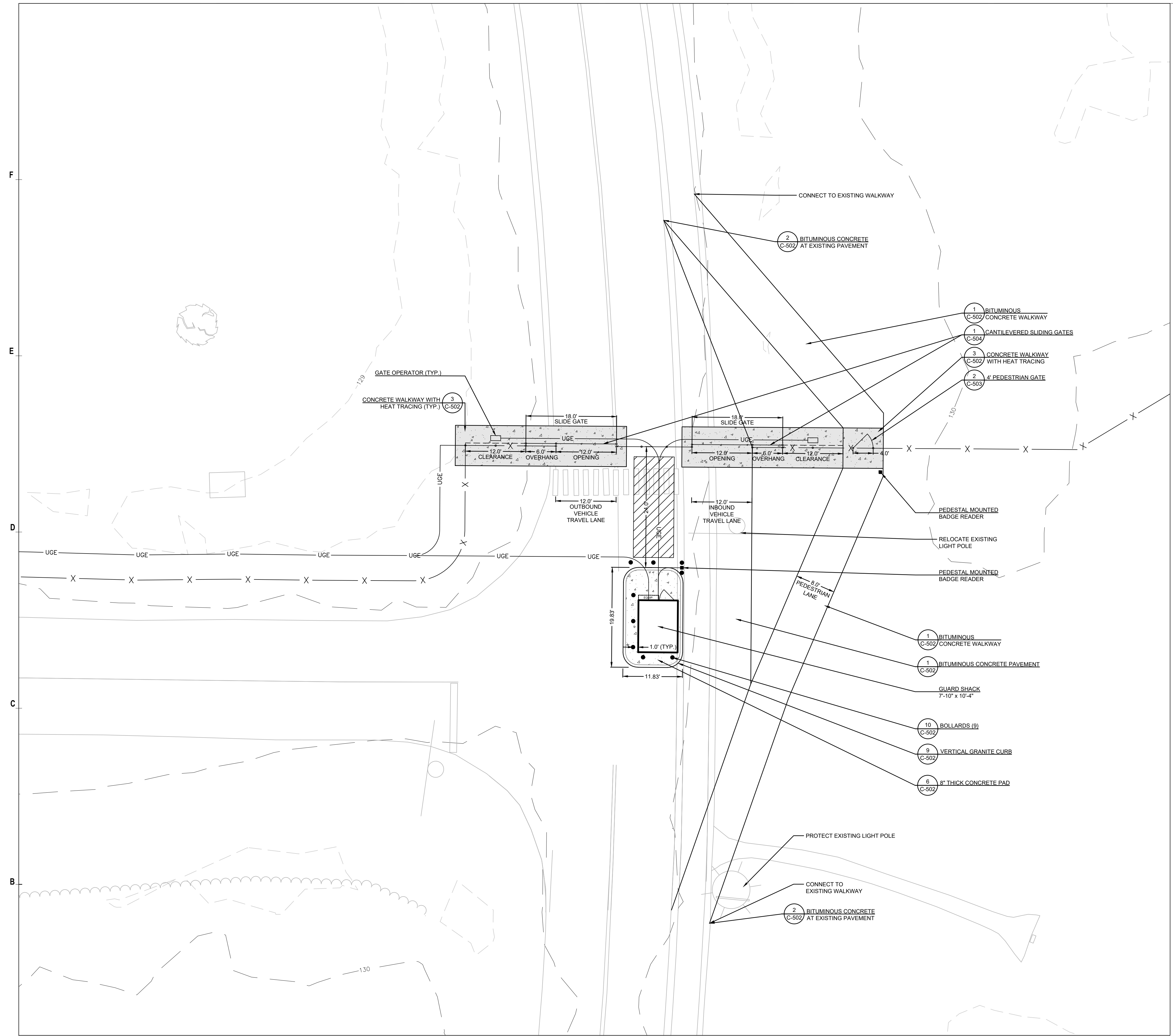
MARK	DATE	DESCRIPTION
11/08/2024	11/08/2024	MINOR SITE PLAN APPLICATION
		ISSUE LOG
		△ = CLOUDED CHANGE

NOT FOR CONSTRUCTION

SCALE	1" = 10'
DRAWN BY	MF
CHECK BY	WWP
PROJ. ARCH./ENGR.	
PROJ. MRG.	JVS
JOB NO.	24116
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**ENLARGEMENTS
 PLAN I**

C-601



PRIMARY ENTRANCE - VEHICULAR AND PEDESTRIAN GATES

A 1" = 10' 1 2 3 4 5 6 7

