

HUDSON LOGISTICS CENTER SITE PLAN & WETLANDS CONDITIONAL USE APPLICATIONS

RECEIVED

LOWELL ROAD
MAP 239, LOT 1

MAY 19 2020

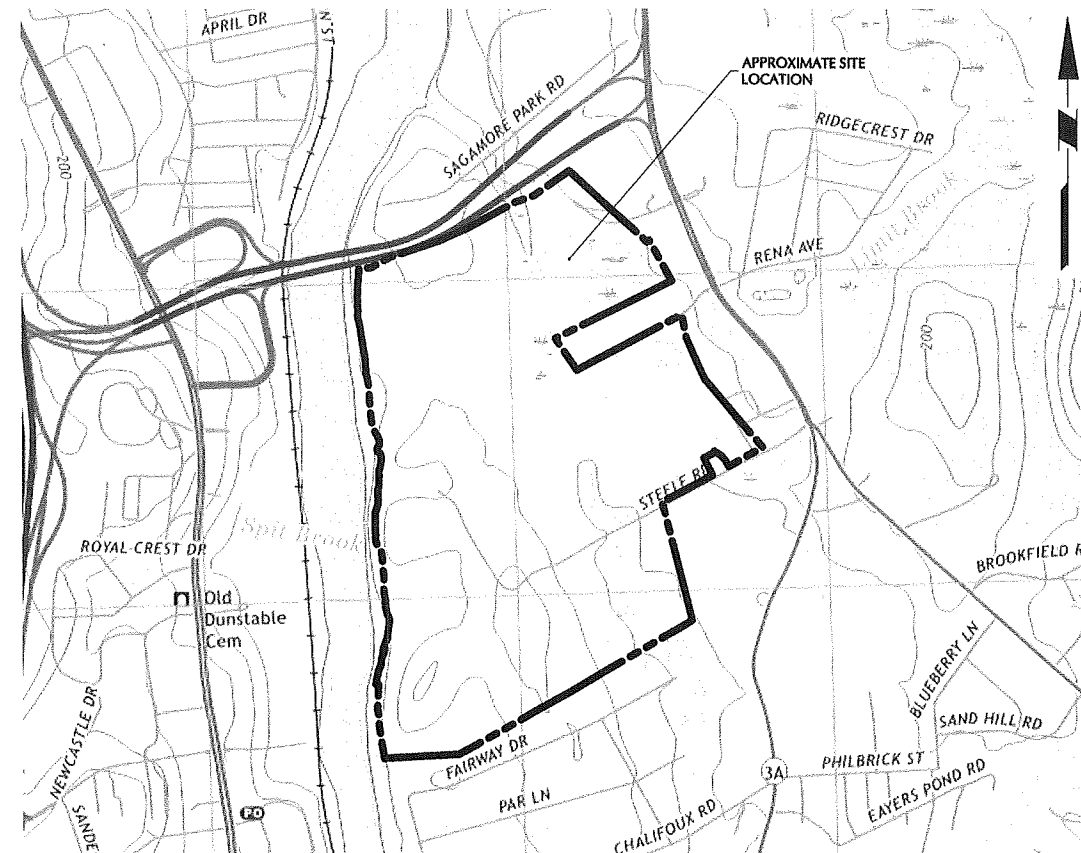
TOWN OF HUDSON, HILLSBOROUGH COUNTY, NEW HAMPSHIRE

TOWN OF HUDSON
PLANNING DEPARTMENT

ABUTTING PROPERTY OWNERS WITHIN 100'

MAP	LOT	PROPERTY OWNER	PROPERTY LOCATION	MAP	LOT	PROPERTY OWNER	PROPERTY LOCATION
228	1	MRJ REALTY TRUST 261 LOWELL ROAD HUDSON, NH 03051	261 LOWELL ROAD	245	13	JOHN KING 21 FAIRWAY DRIVE HUDSON, NH 03051	21 FAIRWAY DRIVE
246	38	SCOTT M UBELE 7 FAIRWAY DRIVE HUDSON, NH 03051	7 FAIRWAY DRIVE	246	36	SURRI D SAKATI 11 FAIRWAY DRIVE HUDSON, NH 03051	11 FAIRWAY DRIVE
245	17	TIMOTHY A MONK 13 FAIRWAY DRIVE HUDSON, NH 03051	13 FAIRWAY DRIVE	246	39	CHRISTOPHER D MULLIGAN 5 FAIRWAY DRIVE HUDSON, NH 03051	5 FAIRWAY DRIVE
240	13	VINCENT F BRACCIO 27 RIVER ROAD HUDSON, NH 03051	27 RIVER ROAD	240	5	BRIAN C NOONE 10 EAGLE DRIVE HUDSON, NH 03051	10 EAGLE DRIVE
240	1	JOANNE E WALSH 2 EAGLE DRIVE HUDSON, NH 03051	2 EAGLE DRIVE	246	41	SCOTT J WADE 1 FAIRWAY DRIVE HUDSON, NH 03051	1 FAIRWAY DRIVE
245	14	LEONARD J LEONE 19 FAIRWAY DRIVE HUDSON, NH 03051	19 FAIRWAY DRIVE	240	2	JAMES M DOBENS 4 EAGLE DRIVE HUDSON, NH 03051	4 EAGLE DRIVE
240	13-1	DWARKAMAI, INC 1167 LAKEWOOD CIRCLE NAPERVILLE, IL 60540	33 RIVER ROAD	234	5	GREENMEADOW GOLF CLUB INC 55 MARSH ROAD HUDSON, NH 03051	11 STEELE ROAD
234	1	STEELE FARM, LLC 2 FRIEL GOLF ROAD HUDSON, NH 03051	9 RIVER ROAD	245	5	RICHARD R LEBOURDAIS 23 FAIRWAY DRIVE HUDSON, NH 03051	23 FAIRWAY DRIVE
240	4	JONATHAN FONTAINE 8 EAGLE DRIVE HUDSON, NH 03051	8 EAGLE DRIVE	234	9	PETER R GOYETTE 2 DRACUT ROAD HUDSON, NH 03051	6 LINDA STREET
246	40	WILLIAM H MARSCH 3 FAIRWAY DRIVE HUDSON, NH 03051	3 FAIRWAY DRIVE	234	11	SEAN P STEVENS 10 LINDA STREET HUDSON, NH 03051	10 LINDA STREET
234	35	267 LOWELL ROAD HUDSON, LLC 200 US ROUTE ONE SUITE 200 SCARBOROUGH, ME 04070	267 LOWELL ROAD	234	34	THOMAS P FRIEL 55 MARSH ROAD HUDSON, NH 03051	273 LOWELL ROAD
228	4	SAM'S RE BUSINESS TRUST PO BOX 8050 MS 0555 BENTONVILLE, AR 72716	7 WAL-MART BOULEVARD	234	6	GREENMEADOW GOLF CLUB INC 55 MARSH ROAD HUDSON, NH 03051	15 STEELE ROAD
246	37	DAVID R GOSSELIN 9 FAIRWAY DRIVE HUDSON, NH 03051	9 FAIRWAY DRIVE	234	8	J SCOTT DESROCHES 296 DERRY ROAD HUDSON, NH 03051	4 LINDA STREET
240	6	JOSEPH M DIPILATO 12 EAGLE DRIVE HUDSON, NH 03051	12 EAGLE DRIVE	234	7	KENNETH MURPHY 2 LINDA STREET HUDSON, NH 03051	2 LINDA STREET
245	16	PHILLIP G VOLK 15 FAIRWAY DRIVE HUDSON, NH 03051	15 FAIRWAY DRIVE	234	10	DAVID R DUNN 8 LINDA STREET HUDSON, NH 03051	8 LINDA STREET
240	3	CRAIG C PROULX 6 EAGLE DRIVE HUDSON, NH 03051	6 EAGLE DRIVE	245	15	ROBERT COSTELLO 17 FAIRWAY DRIVE HUDSON, NH 03051	17 FAIRWAY DRIVE

RELEASE DATES	
DATE	ISSUED FOR
04-21-2020	SITE PLAN APPLICATION SUBMISSION
05-21-2020	SUPPLEMENTAL PLANNING & ZONING SUBMISSION



MAP REFERENCE: USGS NASHUA SOUTH QUADRANGLE MAP 2018 (7.5-MINUTE SERIES)

LOCATION MAP

SCALE: 1" = 1000'

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVAL BLOCK
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF THE PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

NOTE: DRAWING INDEX LOCATED ON SHEET CS001

OWNER
GREENMEADOW GOLF CLUB, INC.
C/O THOMAS FRIEL
55 MARSH ROAD
HUDSON, NH 03051

APPLICANT
HILLWOOD
C/O JUSTIN DUNN
5050 W. TILGHMAN STREET
SUITE 435
ALLENTOWN, PA 18104
(410) 596-3665

ARCHITECT
WARE MALCOMB
C/O MARK BARTOLONE
4683 CHABOT DRIVE #300
PLEASANTON, CA 94588
(925) 244-9620

**CIVIL ENGINEER, TRAFFIC ENGINEER,
ENVIRONMENTAL ENGINEER, GEOTECHNICAL
ENGINEER & LANDSCAPE ARCHITECT**
LANGAN ENGINEERING & ENVIRONMENTAL
SERVICES, INC
C/O NATHAN KIRSCHNER
888 BOYLSTON STREET
BOSTON, MA 02116
(617) 824-9100

LAND SURVEYOR
HAYNER/SWANSON, INC.
C/O JAMES PETROPULOS
3 CONGRESS STREET
NASHUA, NH 03062
(603) 883-2057

WETLANDS & NATURAL RESOURCES
GOVE ENVIRONMENTAL SERVICES
C/O BRENDAN QUIGLEY
8 CONTINENTAL DRIVE, BLDG 2, UNIT H
EXETER, NH 03833
(603) 778-0644

FOR PERMITTING ONLY, NOT FOR CONSTRUCTION

LANGAN

CIVIL DRAWING INDEX

SHEET NUMBER	DRAWING TITLE	DATE	LAST REVISED
CS001	COVER SHEET	04-21-2020	05-21-2020
CS001	SHEET INDEX	04-21-2020	05-21-2020
CS002	MASTER LEGEND & NOTES	04-21-2020	05-21-2020
3867L SUB	TOPOGRAPHIC SUBDIVISION PLAN	04-21-2020	
3867L SUB	TOPOGRAPHIC SUBDIVISION PLAN	04-21-2020	
3867L SUB	TOPOGRAPHIC SUBDIVISION PLAN	04-21-2020	
3867L SUB	TOPOGRAPHIC SUBDIVISION PLAN	04-21-2020	
3867L SUB	TOPOGRAPHIC SUBDIVISION PLAN	04-21-2020	
3867L SUB	TOPOGRAPHIC SUBDIVISION PLAN	04-21-2020	
3867L SUB	TOPOGRAPHIC SUBDIVISION PLAN	04-21-2020	
CS100	OVERALL SITE PLAN	04-21-2020	
CS101	SITE PLAN I	04-21-2020	
CS102	SITE PLAN II	04-21-2020	
CS103	SITE PLAN III	04-21-2020	
CS104	SITE PLAN IV	04-21-2020	
CS105	SITE PLAN V	04-21-2020	
CS106	SITE PLAN VI	04-21-2020	
CS107	SITE PLAN VII	04-21-2020	
CS108	SITE PLAN VIII	04-21-2020	
CS109	SITE PLAN IX	04-21-2020	
CS110	SITE PLAN X	04-21-2020	
CS111	SITE PLAN XI	04-21-2020	
CS112	SITE PLAN XII	04-21-2020	
CS113	SITE PLAN XIII	04-21-2020	
CS114	SITE PLAN XIV	04-21-2020	
CS115	SITE PLAN XV	04-21-2020	
CS116	SITE PLAN XVI	04-21-2020	
CS117	SITE PLAN XVII	04-21-2020	
CS118	SITE PLAN XVIII	04-21-2020	
CS119	SITE PLAN XIX	04-21-2020	
CS120	SITE PLAN XX	04-21-2020	
CS121	SITE PLAN XXI	04-21-2020	
CS122	SITE PLAN XXII	04-21-2020	
CS123	SITE PLAN XXIII	04-21-2020	
CS124	SITE PLAN XXIV	04-21-2020	
CS125	SITE PLAN XXV	04-21-2020	
CS126	SITE PLAN XXVI	04-21-2020	
CS127	SITE PLAN XXVII	04-21-2020	
CS128	SITE PLAN XXVIII	04-21-2020	
CS129	SITE PLAN XXIX	04-21-2020	
CS501	SITE DETAILS I	04-21-2020	
CS502	SITE DETAILS II	04-21-2020	
CS503	SITE DETAILS III	04-21-2020	
CS504	SITE DETAILS IV	04-21-2020	
CG100	OVERALL GRADING & DRAINAGE PLAN	04-21-2020	05-21-2020
CG102	GRADING & DRAINAGE PLAN II	04-21-2020	05-21-2020
CG103	GRADING & DRAINAGE PLAN III	04-21-2020	05-21-2020
CG104	GRADING & DRAINAGE PLAN IV	04-21-2020	05-21-2020
CG105	GRADING & DRAINAGE PLAN V	04-21-2020	05-21-2020
CG106	GRADING & DRAINAGE PLAN VI	04-21-2020	05-21-2020
CG110	GRADING & DRAINAGE PLAN X	04-21-2020	05-21-2020
CG111	GRADING & DRAINAGE PLAN XI	04-21-2020	05-21-2020
CG112	GRADING & DRAINAGE PLAN XII	04-21-2020	05-21-2020
CG116	GRADING & DRAINAGE PLAN XVI	04-21-2020	05-21-2020
CG117	GRADING & DRAINAGE PLAN XVII	04-21-2020	05-21-2020
CG118	GRADING & DRAINAGE PLAN XVIII	04-21-2020	05-21-2020
CG119	GRADING & DRAINAGE PLAN XIX	04-21-2020	05-21-2020
CG120	GRADING & DRAINAGE PLAN XX	04-21-2020	05-21-2020
CG121	GRADING & DRAINAGE PLAN XXI	04-21-2020	05-21-2020
CG122	GRADING & DRAINAGE PLAN XXII	04-21-2020	05-21-2020
CG123	GRADING & DRAINAGE PLAN XXIII	04-21-2020	05-21-2020
CG124	GRADING & DRAINAGE PLAN XXIV	04-21-2020	05-21-2020
CG125	GRADING & DRAINAGE PLAN XXV	04-21-2020	05-21-2020
CG126	GRADING & DRAINAGE PLAN XXVI	04-21-2020	05-21-2020
CG127	GRADING & DRAINAGE PLAN XXVII	04-21-2020	05-21-2020
CG128	GRADING & DRAINAGE PLAN XXVIII	04-21-2020	05-21-2020
CG129	GRADING & DRAINAGE PLAN XXIX	04-21-2020	05-21-2020
CG501	GRADING & DRAINAGE DETAILS I	04-21-2020	05-21-2020
CG502	GRADING & DRAINAGE DETAILS II	04-21-2020	05-21-2020
CG503	GRADING & DRAINAGE DETAILS III	04-21-2020	05-21-2020
FG01	WETLAND IMPACT PLAN	04-15-2020	05-21-2020
CU100	OVERALL UTILITY PLAN	04-21-2020	
CU104	UTILITY PLAN IV	04-21-2020	
CU105	UTILITY PLAN V	04-21-2020	
CU110	UTILITY PLAN X	04-21-2020	

ARCHITECTURAL DRAWING INDEX

SHEET NUMBER	DRAWING TITLE	DATE	LAST REVISED
A0.0	BUILDING 1 - COVER SHEET	04-21-2020	
A1.0	BUILDING 1 - OVERALL FLOOR PLAN - GROUND LEVEL	04-21-2020	
A1.8	BUILDING 1 - PARTIAL FLOOR PLAN - GROUND LEVEL - ZONE H	04-21-2020	
A4.1	BUILDING 1 - EAST BUILDING ELEVATION	04-21-2020	
A4.2	BUILDING 1 - NORTH BUILDING ELEVATION	04-21-2020	
A4.3	BUILDING 1 - WEST BUILDING ELEVATION	04-21-2020	
A4.4	BUILDING 1 - SOUTH BUILDING ELEVATION	04-21-2020	
A1.0	BUILDING 2 - OVERALL FLOOR PLAN - GROUND LEVEL	04-21-2020	
A1.8	BUILDING 2 - PARTIAL FLOOR PLAN - GROUND LEVEL - ZONE H	04-21-2020	
A4.1	BUILDING 2 - EAST BUILDING ELEVATION	04-21-2020	
A4.2	BUILDING 2 - NORTH BUILDING ELEVATION	04-21-2020	
A4.3	BUILDING 2 - WEST BUILDING ELEVATION	04-21-2020	
A4.4	BUILDING 2 - SOUTH BUILDING ELEVATION	04-21-2020	
A1.0	BUILDING 3 - OVERALL FLOOR PLAN - GROUND LEVEL	04-21-2020	
A4.1	BUILDING 3 - EAST BUILDING ELEVATION	04-21-2020	
A4.2	BUILDING 3 - NORTH/SOUTH BUILDING ELEVATION	04-21-2020	
A4.3	BUILDING 3 - WEST BUILDING ELEVATION	04-21-2020	

SHEET NUMBER	DRAWING TITLE	DATE	LAST REVISED
CU111	UTILITY PLAN XI	04-21-2020	
CU116	UTILITY PLAN XVI	04-21-2020	
CU117	UTILITY PLAN XVII	04-21-2020	
CU118	UTILITY PLAN XVIII	04-21-2020	
CU119	UTILITY PLAN XIX	04-21-2020	
CU121	UTILITY PLAN XXI	04-21-2020	
CU122	UTILITY PLAN XXII	04-21-2020	
CU123	UTILITY PLAN XXIII	04-21-2020	
CU126	UTILITY PLAN XXVI	04-21-2020	
CU127	UTILITY PLAN XXVII	04-21-2020	
CU128	UTILITY PLAN XXVIII	04-21-2020	
CUS01	UTILITY DETAILS I	04-21-2020	
CUS02	UTILITY DETAILS II	04-21-2020	
CUS03	UTILITY DETAILS III	04-21-2020	
CE101	SOIL EROSION & SEDIMENT CONTROL PLAN I (PHASE 1)	04-21-2020	05-21-2020
CE102	SOIL EROSION & SEDIMENT CONTROL PLAN II (PHASE 1)	04-21-2020	05-21-2020
CE103	SOIL EROSION & SEDIMENT CONTROL PLAN III (PHASE 1)	04-21-2020	05-21-2020
CE104	SOIL EROSION & SEDIMENT CONTROL PLAN IV (PHASE 1)	04-21-2020	05-21-2020
CE201	SOIL EROSION & SEDIMENT CONTROL PLAN I (PHASE 2)	04-21-2020	05-21-2020
CE202	SOIL EROSION & SEDIMENT CONTROL PLAN II (PHASE 2)	04-21-2020	05-21-2020
CE203	SOIL EROSION & SEDIMENT CONTROL PLAN III (PHASE 2)	04-21-2020	05-21-2020
CE204	SOIL EROSION & SEDIMENT CONTROL PLAN IV (PHASE 2)	04-21-2020	05-21-2020
CE301	SOIL EROSION & SEDIMENT CONTROL PLAN I (PHASE 3)	04-21-2020	05-21-2020
CE302	SOIL EROSION & SEDIMENT CONTROL PLAN II (PHASE 3)	04-21-2020	05-21-2020
CE303	SOIL EROSION & SEDIMENT CONTROL PLAN III (PHASE 3)	04-21-2020	05-21-2020
CE304	SOIL EROSION & SEDIMENT CONTROL PLAN IV (PHASE 3)	04-21-2020	05-21-2020
CE501	SOIL EROSION & SEDIMENT CONTROL DETAILS I	04-21-2020	05-21-2020
CE502	SOIL EROSION & SEDIMENT CONTROL DETAILS II	04-21-2020	05-21-2020
LL100	OVERALL LIGHTING PLAN	04-21-2020	
LL103	LIGHTING PLAN III	04-21-2020	
LL104	LIGHTING PLAN IV	04-21-2020	
LL105	LIGHTING PLAN V	04-21-2020	
LL106	LIGHTING PLAN VI	04-21-2020	
LL110	LIGHTING PLAN X	04-21-2020	
LL111	LIGHTING PLAN XI	04-21-2020	
LL112	LIGHTING PLAN XII	04-21-2020	
LL116	LIGHTING PLAN XVI	04-21-2020	
LL117	LIGHTING PLAN XVII	04-21-2020	
LL118	LIGHTING PLAN XVIII	04-21-2020	
LL119	LIGHTING PLAN XIX	04-21-2020	
LL120	LIGHTING PLAN XX	04-21-2020	
LL121	LIGHTING PLAN XXI	04-21-2020	
LL122	LIGHTING PLAN XXII	04-21-2020	
LL123	LIGHTING PLAN XXIII	04-21-2020	
LL125	LIGHTING PLAN XXV	04-21-2020	
LL126	LIGHTING PLAN XXVI	04-21-2020	
LL127	LIGHTING PLAN XXVII	04-21-2020	
LL128	LIGHTING PLAN XXVIII	04-21-2020	
LL129	LIGHTING PLAN XXIX	04-21-2020	
LL501	LIGHTING NOTES & DETAILS I	04-21-2020	
LL502	LIGHTING NOTES & DETAILS II	04-21-2020	
LP100	OVERALL PLANTING PLAN	04-21-2020	
LP103	LANDSCAPE PLANTING PLAN III	04-21-2020	
LP104	LANDSCAPE PLANTING PLAN IV	04-21-2020	
LP105	LANDSCAPE PLANTING PLAN V	04-21-2020	
LP106	LANDSCAPE PLANTING PLAN VI	04-21-2020	
LP110	LANDSCAPE PLANTING PLAN X	04-21-2020	
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LP127	LANDSCAPE PLANTING PLAN XXVII	04-21-2020	
LP128	LANDSCAPE PLANTING PLAN XXVIII	04-21-2020	
LP129	LANDSCAPE PLANTING PLAN XXIX	04-21-2020	
LP501	LANDSCAPE NOTES & DETAILS I	04-21-2020	

05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.
Revisions		
		
LANGAN Langan Engineering and Environmental Services, Inc. 888 Boylston Street, Ste 510 Boston, MA 02199 T: 617.824.9100 F: 617.824.9101 www.langan.com		
Project		
HUDSON LOGISTICS CENTER MAP No. 239, LOT No. 1		
HUDSON NEW HAMPSHIRE		
Drawing Title		
SHEET INDEX		
Project No.	Drawing No.	
151010101	CS001	
Date		
04-21-2020		
Drawn By		
CLR		
Checked By		
NLK		

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Project No. 151010101

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CONTRACTOR NOTES

- 1. THESE PLANS REPRESENT THE OVERALL SITEWORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS...

ACCESSIBILITY NOTES

- 1. WALKWAYS ALONG ACCESSIBLE ROUTES NOT TO EXCEED 5% RUNNING SLOPE OR 2% CROSS SLOPE. 2. ALL ADA PARKING SPACES AND PASSENGER LOADING ZONES SHALL NOT EXCEED 2% IN ANY DIRECTION.

UTILITY NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF THE DOMESTIC AND FIRE SERVICE LINE CONNECTIONS TO EXISTING MAINS. 2. TEST PITS ARE TO BE PERFORMED PRIOR TO INSTALLATION OF DOMESTIC AND FIRE SERVICE LINE CONNECTIONS TO CONFIRM THE SIZE AND MATERIAL OF THE MAIN.

GENERAL NOTES

- 1. PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY HAYNER/SWANSON, INC. 2. WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. BETWEEN NOVEMBER 2017 AND APRIL 2020 UTILIZING THE FOLLOWING STANDARDS...

DEMOLITION NOTES

- 1. THE CONTRACTOR SHALL INSPECT THE SITE THOROUGHLY AND FIELD-VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. SOME UNDERGROUND UTILITIES MAY BE LOCATED DIFFERENTLY THAN SHOWN ON THIS PLAN. IN ADDITION, THERE MAY BE EXISTING UNDERGROUND UTILITIES PRESENT THAT ARE NOT SHOWN ON THIS PLAN...

SIGN LEGEND

STOP sign, BUMP sign, RESERVED PARKING signs, SPEED LIMIT 5 and 10 signs, ONE WAY sign, DO NOT ENTER sign. Includes MUTCD codes and dimensions for each sign.

LEGEND

Legend table with columns for EXISTING and PROPOSED. Lists various lines and features such as PROPERTY LINE, SETBACK LINE, ON-SITE WETLANDS, OFF-SITE WETLANDS, WETLAND BUFFER LINE, RIVERFRONT OFFSET LINE, BUILDING LINE, DOOR LOCATION, etc.

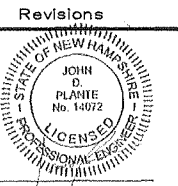
CURB TRANSITION NOTES

- 1. CURB RADII ARE 4' UNLESS OTHERWISE NOTED. 2. PROVIDE 4' MINIMUM TRANSITION PIECE WHERE CURBING HEIGHT VARIES.

GRADING & DRAINAGE NOTES

- 1. ALL PROPOSED CMP STORM DRAINAGE PIPING TO BE ALUMINIZED. 2. ALL PROPOSED STORM DRAINAGE PIPING TO UTILIZE WATER-TIGHT JOINTS. 3. LOCATIONS AND ELEVATIONS OF ROOF LEADERS SHOULD BE COORDINATED WITH ARCHITECTURAL & MEP DRAWINGS PRIOR TO CONSTRUCTION.

Revision table with columns: Date, Description, No. Includes one revision for SUPPLEMENTAL P&Z SUBMISSION.



LANGAN

Langan Engineering and Environmental Services, Inc. 888 Boylston Street, Ste 510 Boston, MA 02199

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HUDSON LOGISTICS CENTER

MAP No. 239, LOT No. 1

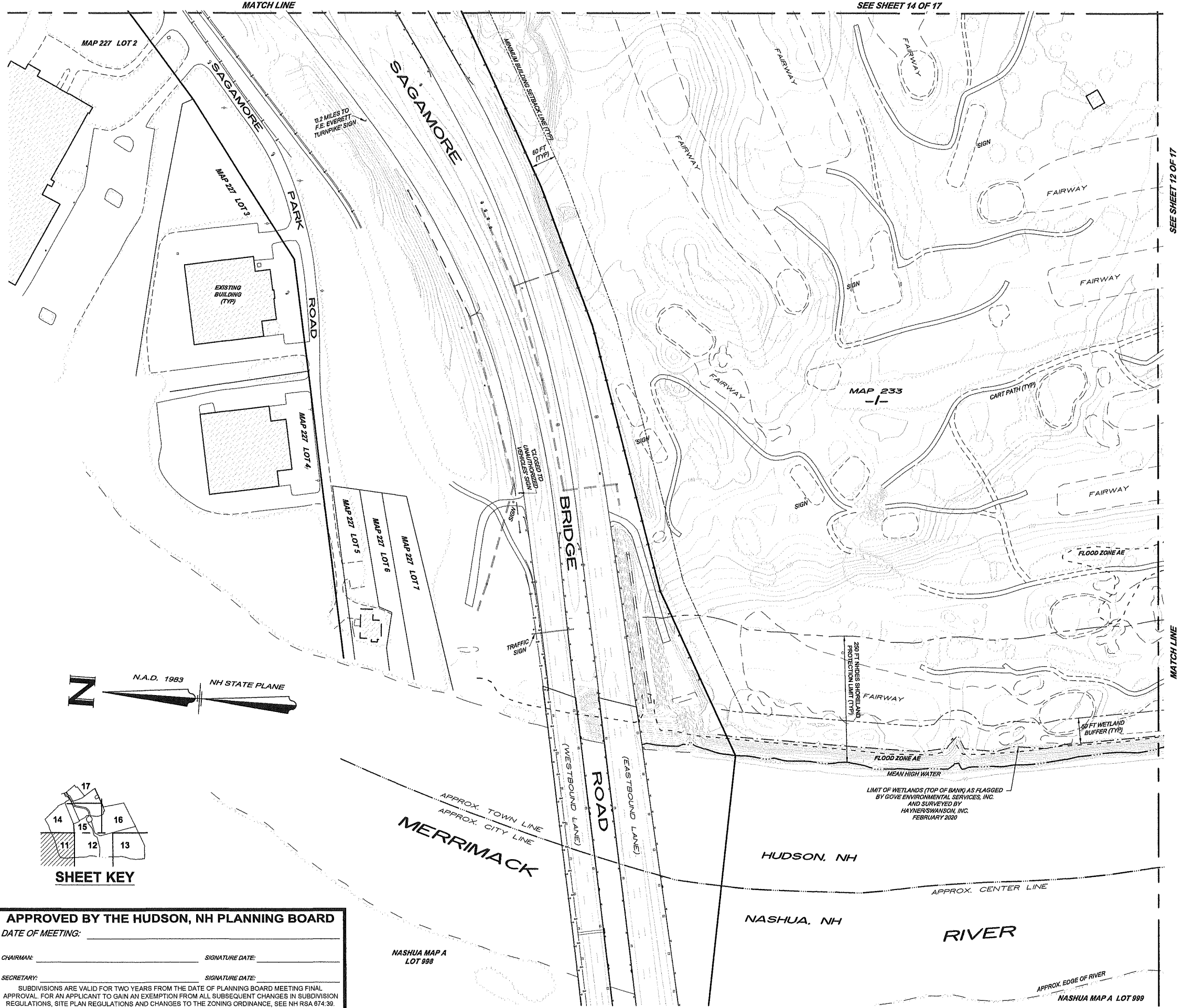
HUDSON NEW HAMPSHIRE

Drawing Title

MASTER LEGEND & NOTES

Project information table including Project No. 151010101, Date 04-21-2020, Drawn By CLR, Checked By NLK, and Drawing No. CS002.

FOR PERMITTING ONLY, NOT FOR CONSTRUCTION



- NOTES:**
- THE EXISTING TOPOGRAPHY, AS SHOWN ON THE PLANS, IS BASED ON AERIAL PHOTO MAPPING IN 2001 AND LIMITED FIELD TOPOGRAPHY MADE ON THE GROUND BETWEEN MARCH 2004 AND FEBRUARY 2020.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
 - SURVEY CONTROL DATA:
 HORIZONTAL DATUM: NAD83(1986)
 HORIZONTAL PROJECTION: NH STATE PLANE
 VERTICAL DATUM: NGVD29 (FORMERLY KNOWN AS USGS DATUM)
 UNITS: US SURVEY FEET
 HORIZONTAL AND VERTICAL DATUMS WERE VERIFIED USING G.P.S. (KEYNET NETWORK) WITH OBSERVATIONS ON SITE AND ON NGS (FORMERLY USGS) "DISK D-26" LOCATED ON THE NORTHERLY SIDE OF NH ROUTE 101A, APPROXIMATELY 4.5 MILES WEST OF THE NASHUA LIBRARY.

LEGEND

	EXISTING GROUND CONTOUR		TBM 1
	STORM DRAIN & CATCH BASIN		BUILDING SETBACK LINE
	STORM DRAIN & MANHOLE		WETLAND FLAGGING LIMIT
	STORM DRAIN & HEADWALL		WETLAND BUFFER LINE
	STORM DRAIN & END SECTION		WIRE FENCE
	SANITARY SEWER & MANHOLE		CHAINLINK FENCE
	WATER MAIN & HYDRANT		CURBING
	WATER MAIN & GATE VALVE		GUARDRAIL
	GAS LINE & GATE VALVE		CONCRETE
	UTILITY POLE WITH GUY SUPPORT		RIPRAP / STONE
	STREET LIGHT		RETAINING WALL
	OVERHEAD ELECTRIC & TELEPHONE		CONIFEROUS TREE
	UNDERGROUND ELECT/TEL & MANHOLES		DECIDUOUS TREE
	SIGN		
	TREE LINE		

811 DigSafe
 MA, ME, NH, RI, VT
 CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION
 DIAL 811
 DIGSAFE
 1-888-344-7233

UTILITY NOTE
 THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

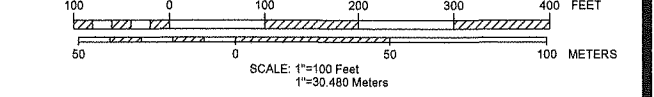
No.	DATE	REVISION	BY

TOPOGRAPHIC SUBDIVISION PLAN
 (MAP 234, LOTS 5, 34 & 35 AND MAP 239, LOT 1)
HUDSON LOGISTICS CENTER
 LOWELL AND STEELE ROADS
 HUDSON, NEW HAMPSHIRE

PREPARED FOR: **LANGAN**
 888 BOYLSTON STREET BOSTON, MASSACHUSETTS 02116 (617) 824-9100

RECORD OWNERS:
GREENMEADOW GOLF CLUB, INC.,
THOMAS P. FRIEL & PHILIP J. FRIEL, III
 55 MARSH ROAD HUDSON, NEW HAMPSHIRE 03051 (603) 882-8893

and **267 LOWELL RD HUDSON, LLC**
 c/o RAM MNGT CO., LLC 200 US RTE 1, STE 200 SCARBOROUGH, ME 04070

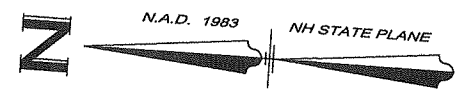
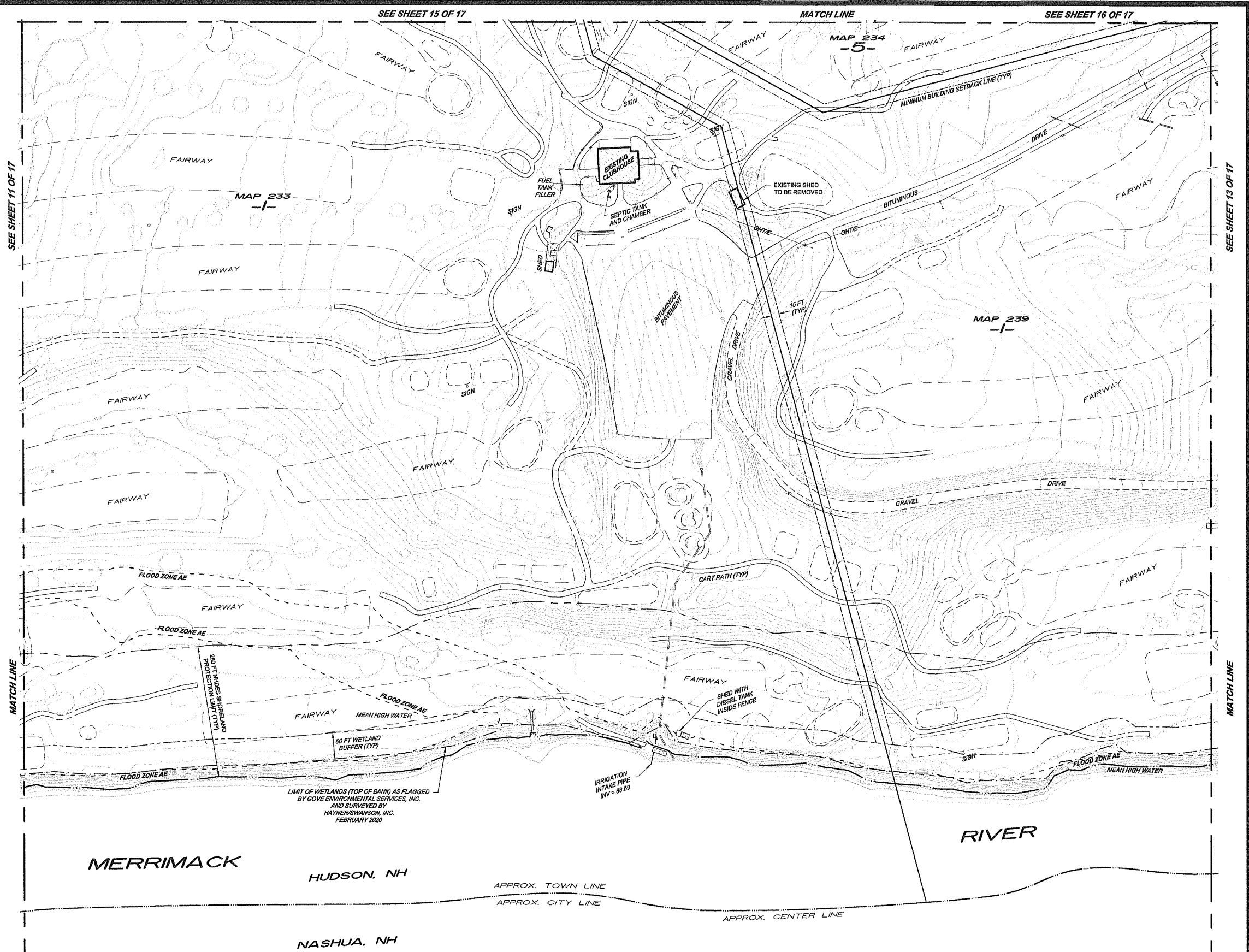


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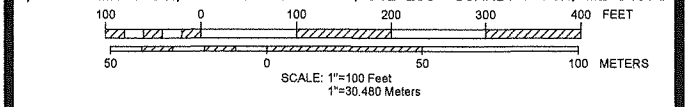


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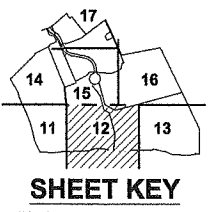
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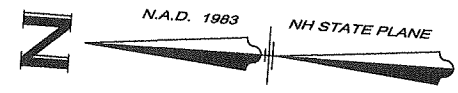
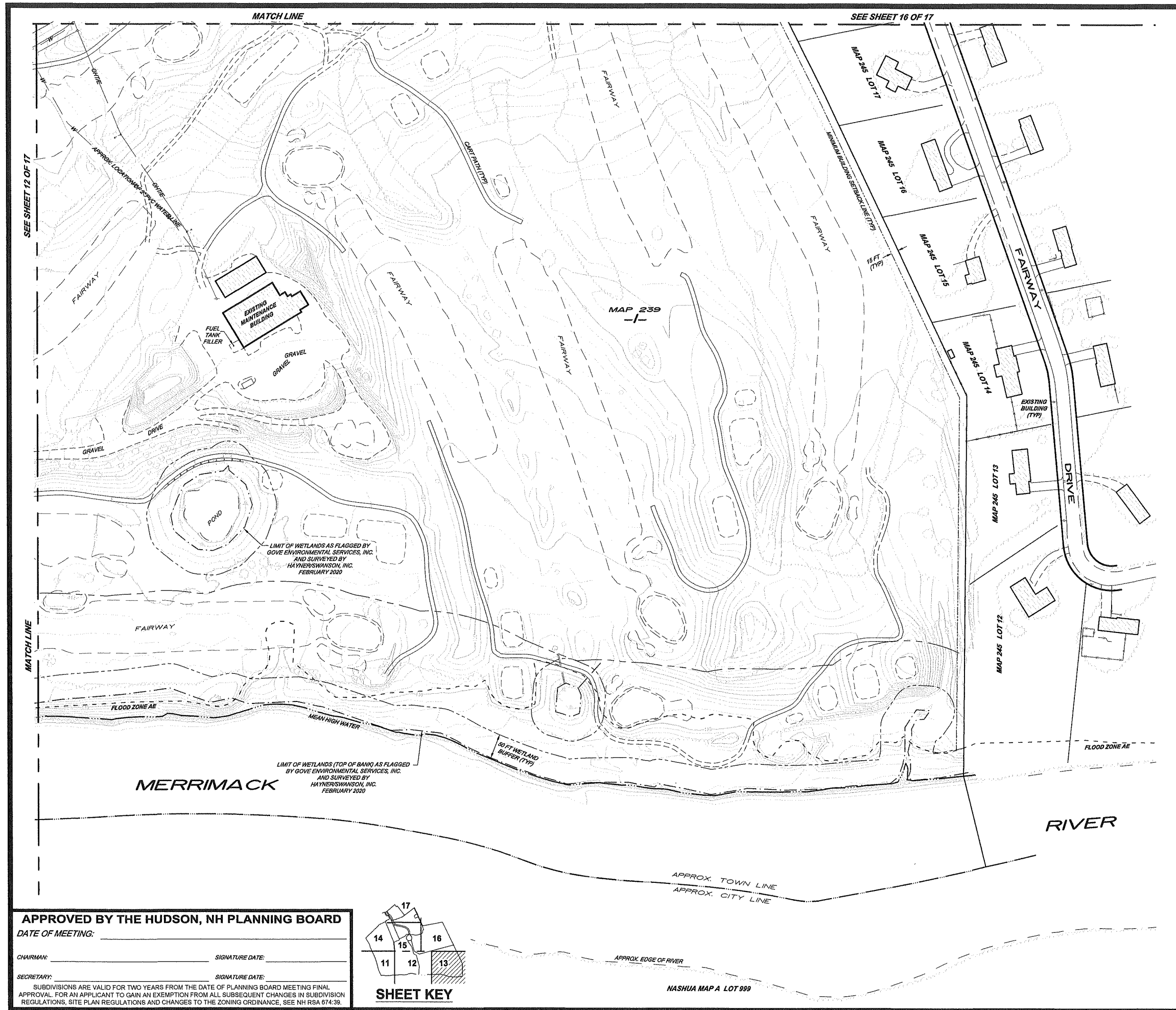


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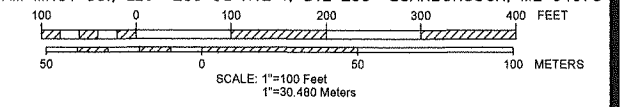




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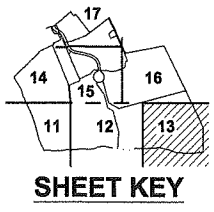


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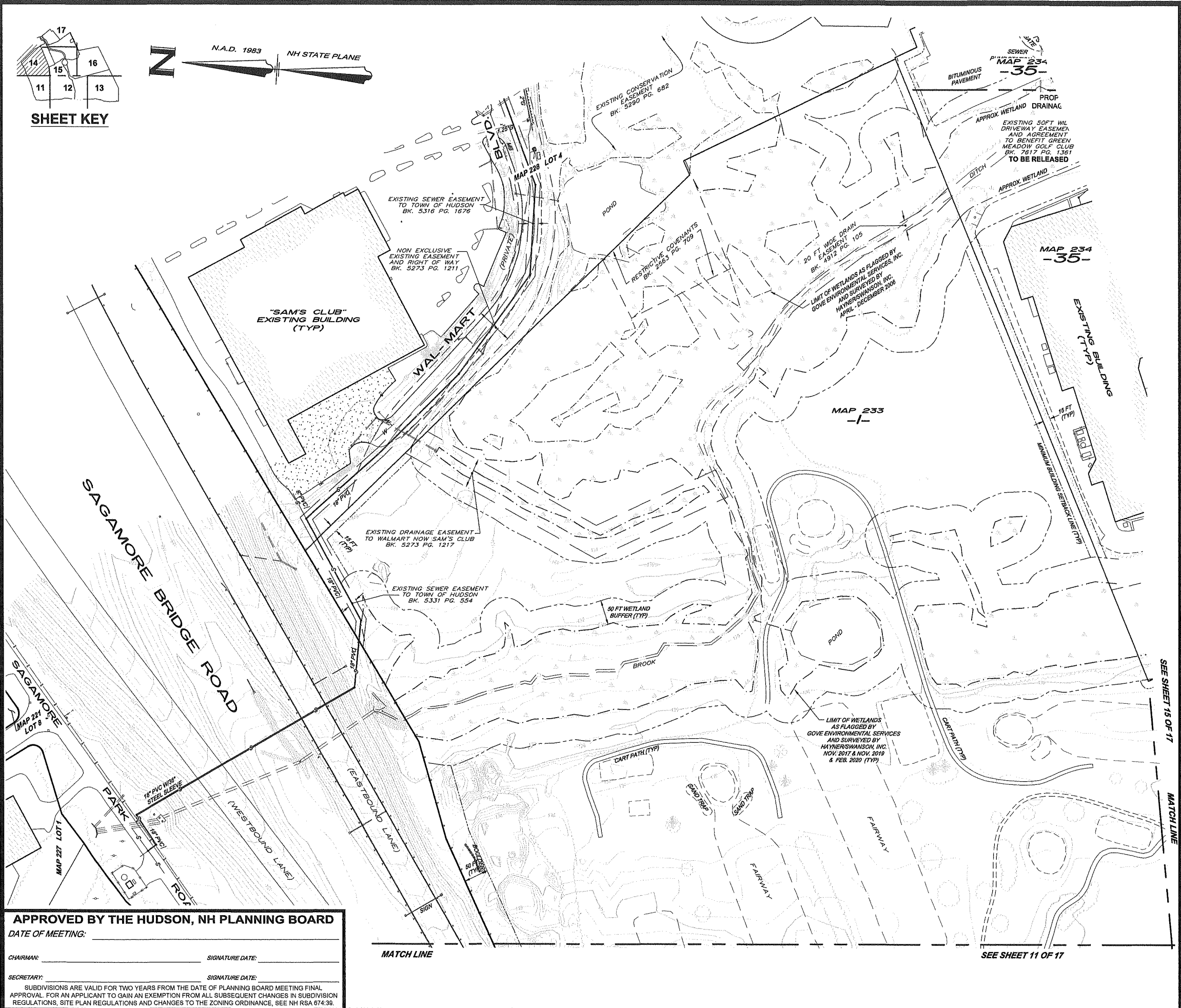
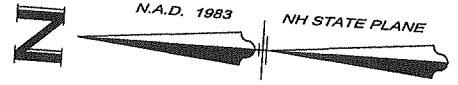
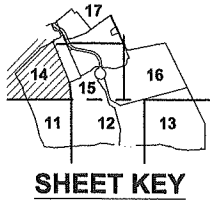
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SHEET KEY

NASHUA MAP A LOT 999



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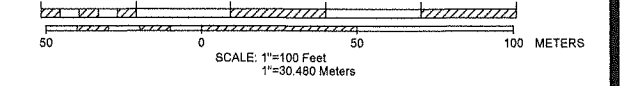
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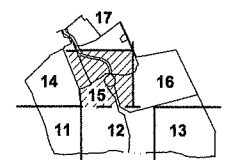
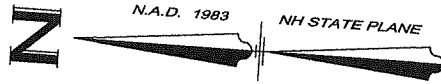
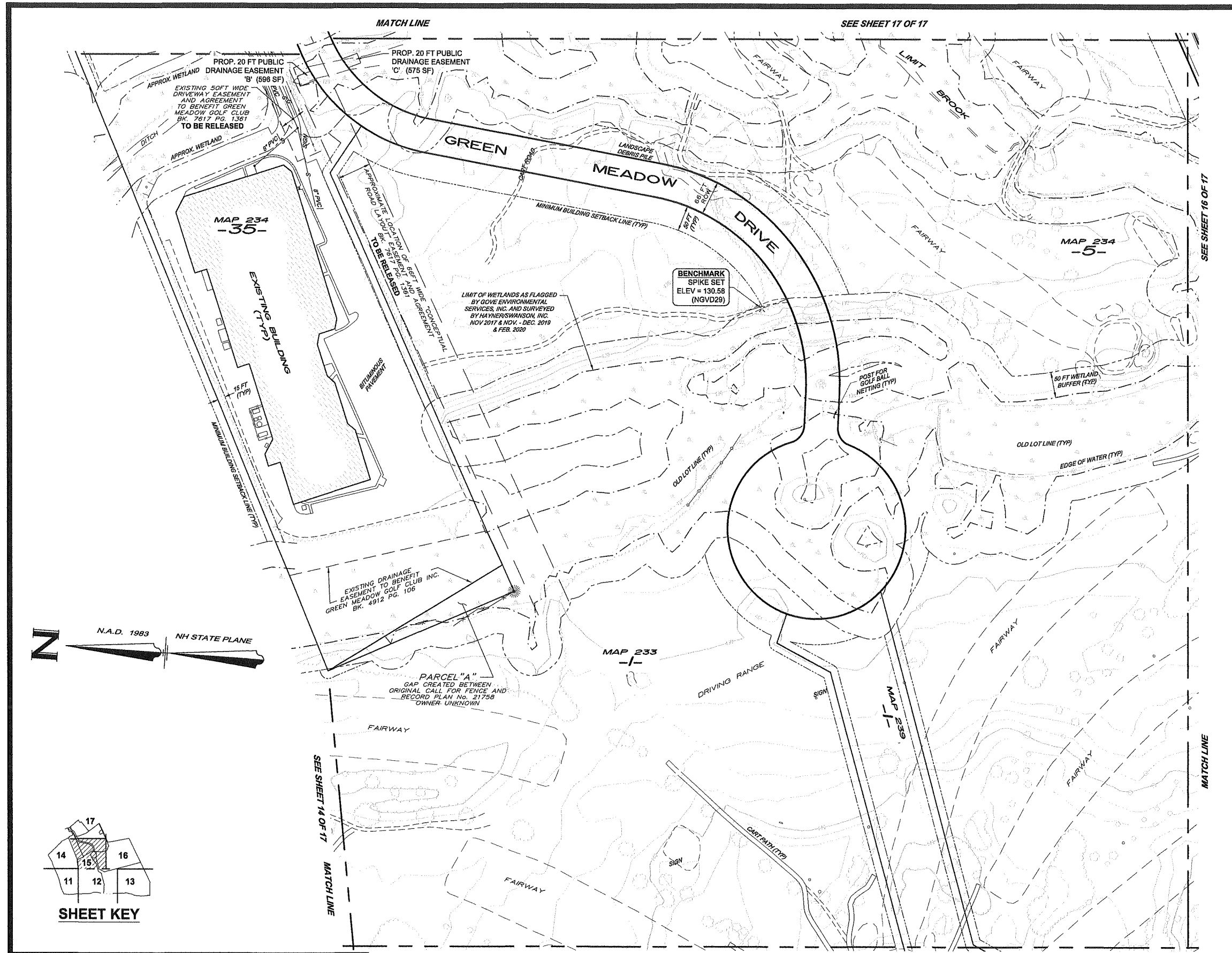
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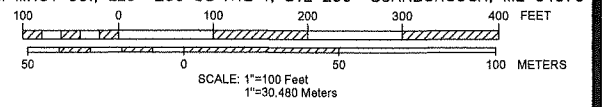
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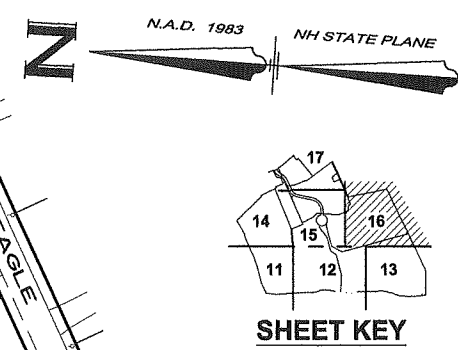
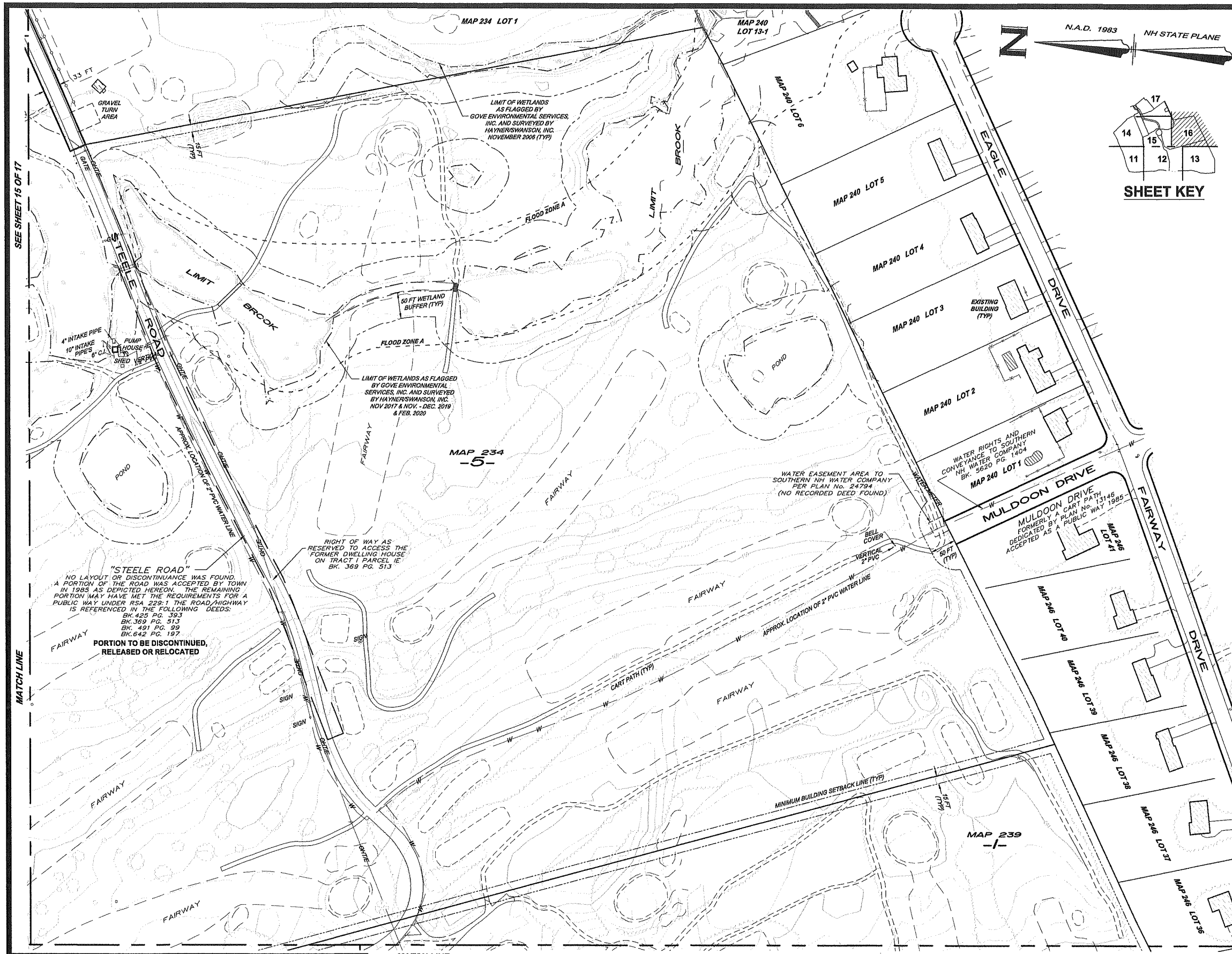
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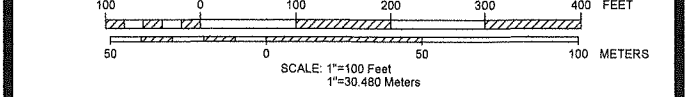
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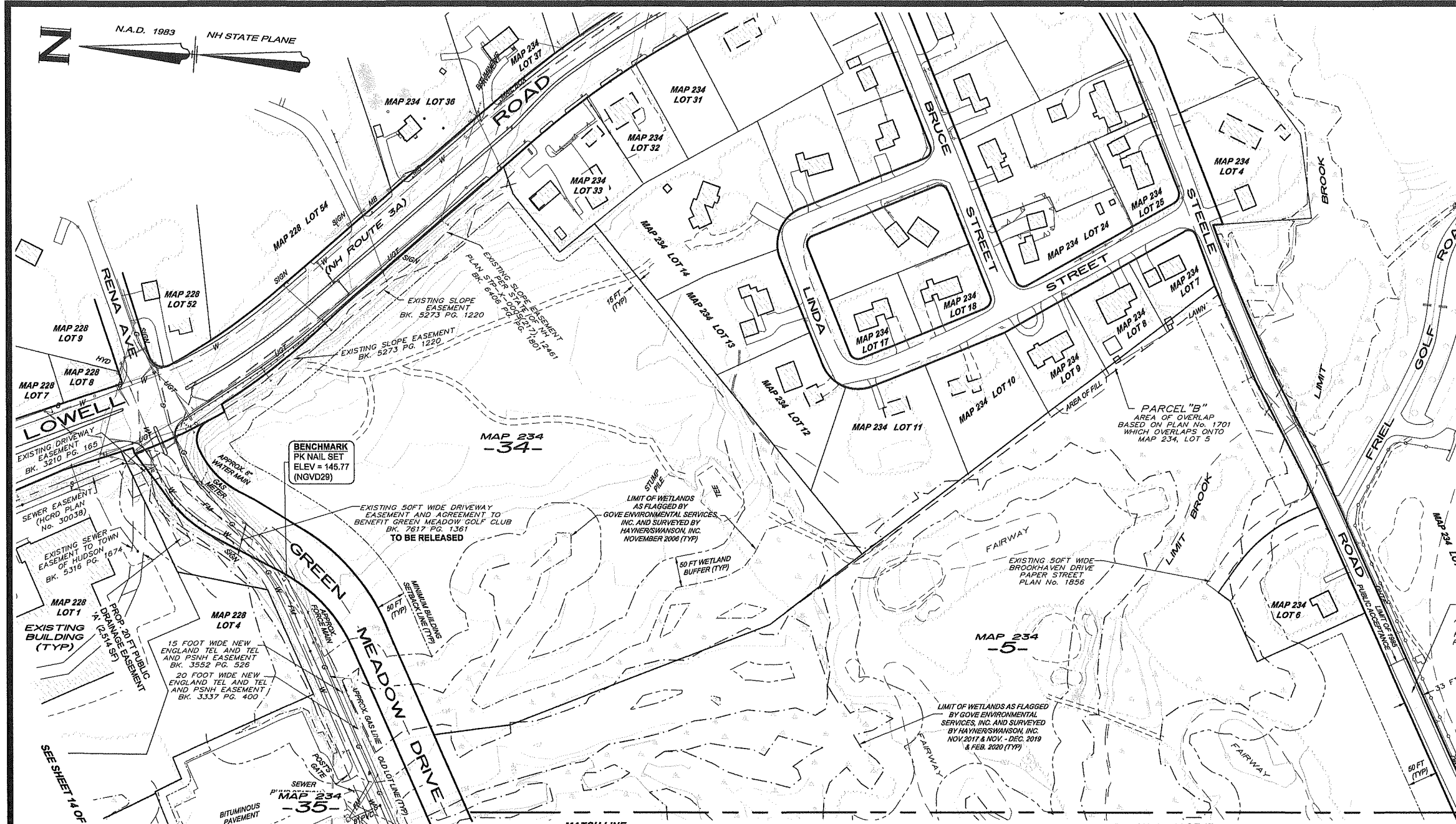


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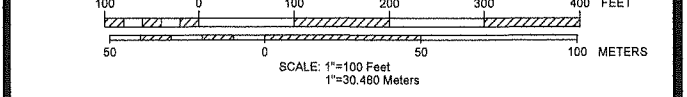
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DRAWING LOC: J:\3000\3867\DWG\3867L SUB		File Number	Sheet



"STEELE ROAD"
 NO LAYOUT OR DISCONTINUANCE WAS FOUND. A PORTION OF THE ROAD WAS ACCEPTED BY TOWN IN 1985 AS DEPICTED HEREON. THE REMAINING PORTION MAY HAVE MET THE REQUIREMENTS FOR A PUBLIC WAY UNDER RSA 229:1. THE ROAD/HIGHWAY IS REFERENCED IN THE FOLLOWING DEEDS:
 BK. 425 PG. 393
 BK. 369 PG. 513
 BK. 491 PG. 991
 BK. 642 PG. 197

No.	DATE	REVISION	BY

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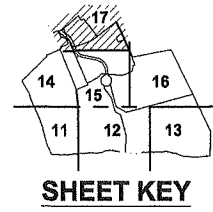


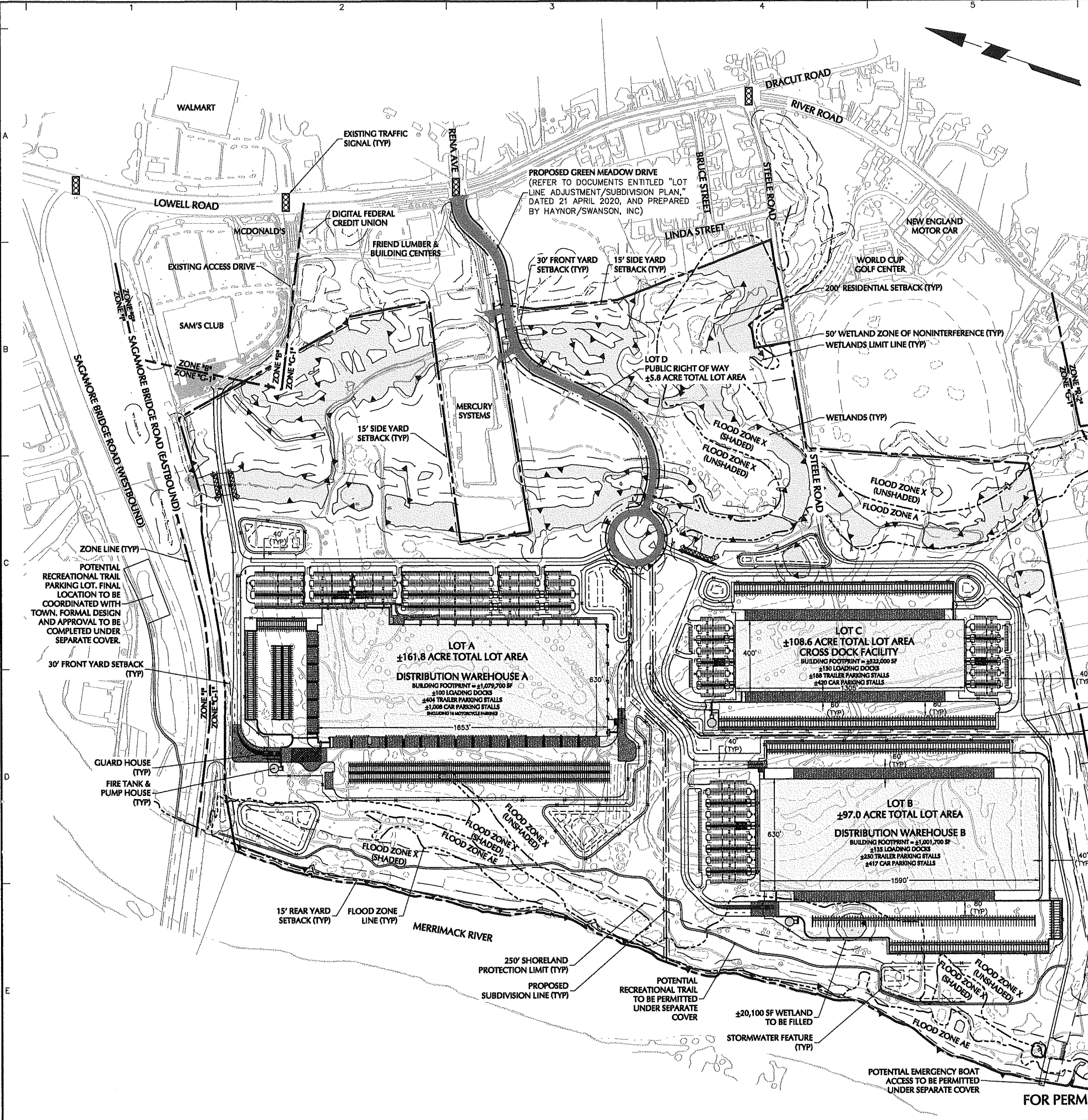
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DIMENSIONAL REQUIREMENTS (LOT A)

REFERENCE: TOWN OF HUDSON ZONING ORDINANCE & LAND USE REGULATIONS (LAST REVISED 10/2015)
 ZONE: GENERAL 1 (G-1) WITH GREEN MEADOW GOLF CLUB OVERLAY AND BUSINESS (B)
 PROPOSED USE: DISTRIBUTION WAREHOUSE (PERMITTED)

ITEM	REQUIRED	PROPOSED	SECTION
LOT/BUILDING			
MINIMUM LOT AREA	2 AC	±161.8 AC	334 ATCH. 4
MINIMUM OPEN SPACE ¹	40%	±64%	276-11.1B(24)(b)
MAXIMUM BUILDING HEIGHT	50 FT	±45.75 FT	334-14.A
MINIMUM LOT FRONTAGE	200 LF	±2,015 LF	334 ATCH. 4
MINIMUM FRONT YARD SETBACK ²	30 FT	±349 FT	334 ATCH. 4
MINIMUM SIDE YARD SETBACK ²	15 FT	±123 FT	334 ATCH. 4
MINIMUM REAR YARD SETBACK ²	15 FT	±734 FT	334 ATCH. 4
MINIMUM RESIDENTIAL ZONE SETBACK ²	200 FT	N/A	276-11.1B(12)(a)
PARKING			
MINIMUM PARKING STALL COUNT	AS REQUIRED BY THE PLANNING BOARD	±1,008	275-B.C(2)
MINIMUM PARKING STALL DIMENSIONS ³	10 FT X 20 FT	9 FT X 18 FT	275-B.C(4)
MINIMUM DRIVE AISLE WIDTH	24 FT	24 FT	275-B.C(5)(a)

DIMENSIONAL REQUIREMENTS (LOT B)

REFERENCE: TOWN OF HUDSON ZONING ORDINANCE & LAND USE REGULATIONS (LAST REVISED 10/2015)
 ZONE: GENERAL 1 (G-1) WITH GREEN MEADOW GOLF CLUB OVERLAY
 PROPOSED USE: DISTRIBUTION WAREHOUSE (PERMITTED)

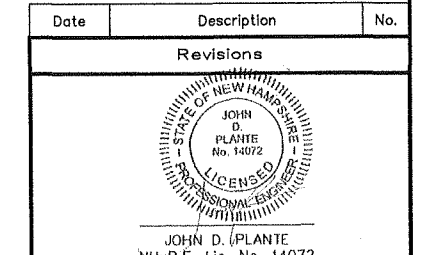
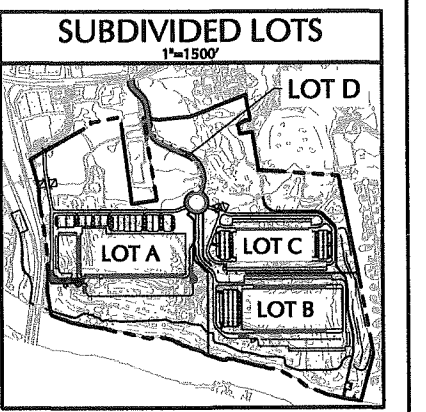
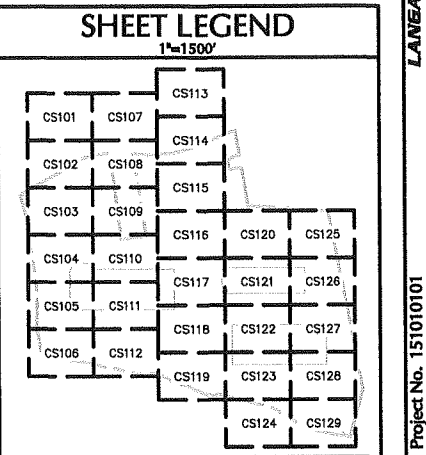
ITEM	REQUIRED	PROPOSED	SECTION
LOT/BUILDING			
MINIMUM LOT AREA	2 AC	±97.0 AC	334 ATCH. 4
MINIMUM OPEN SPACE ¹	40%	±50%	276-11.1B(24)(b)
MAXIMUM BUILDING HEIGHT	50 FT	±50 FT	334-14.A
MINIMUM LOT FRONTAGE	200 LF	±205 LF	334 ATCH. 4
MINIMUM FRONT YARD SETBACK ²	30 FT	±1,348 FT	334 ATCH. 4
MINIMUM SIDE YARD SETBACK ²	15 FT	±245 FT	334 ATCH. 4
MINIMUM REAR YARD SETBACK ²	15 FT	±483 FT	334 ATCH. 4
MINIMUM RESIDENTIAL ZONE SETBACK ²	200 FT	±299 FT	276-11.1B(12)(a)
PARKING			
MINIMUM PARKING STALL COUNT	AS REQUIRED BY THE PLANNING BOARD	±417	275-B.C(2)
MINIMUM PARKING STALL DIMENSIONS ³	10 FT X 20 FT	9 FT X 18 FT	275-B.C(4)
MINIMUM DRIVE AISLE WIDTH	24 FT	24 FT	275-B.C(5)(a)

DIMENSIONAL REQUIREMENTS (LOT C)

REFERENCE: TOWN OF HUDSON ZONING ORDINANCE & LAND USE REGULATIONS (LAST REVISED 10/2015)
 ZONE: GENERAL 1 (G-1) WITH GREEN MEADOW GOLF CLUB OVERLAY
 PROPOSED USE: DISTRIBUTION WAREHOUSE (PERMITTED)

ITEM	REQUIRED	PROPOSED	SECTION
LOT/BUILDING			
MINIMUM LOT AREA	2 AC	±108.6 AC	334 ATCH. 4
MINIMUM OPEN SPACE ¹	40%	±68%	276-11.1B(24)(b)
MAXIMUM BUILDING HEIGHT	50 FT	±50 FT	334-14.A
MINIMUM LOT FRONTAGE	200 LF	±1,932 LF	334 ATCH. 4
MINIMUM FRONT YARD SETBACK ²	30 FT	±552 FT	334 ATCH. 4
MINIMUM SIDE YARD SETBACK ²	15 FT	±245 FT	334 ATCH. 4
MINIMUM REAR YARD SETBACK ²	15 FT	±538 FT	334 ATCH. 4
MINIMUM RESIDENTIAL ZONE SETBACK ²	200 FT	±538 FT	276-11.1B(12)(a)
PARKING			
MINIMUM PARKING STALL COUNT	AS REQUIRED BY THE PLANNING BOARD	±420	275-B.C(2)
MINIMUM PARKING STALL DIMENSIONS ³	10 FT X 20 FT	9 FT X 18 FT	275-B.C(4)
MINIMUM DRIVE AISLE WIDTH	24 FT	24 FT	275-B.C(5)(a)

- NOTES:
- PER SECT. 276-11.1B(24), OPEN SPACE IS DEFINED AS "GRASSED, TREED, LANDSCAPED, OR NATURAL GROWTH AREAS DESIGNATED FOR NO ACTIVITY ASSOCIATED WITH THE NONRESIDENTIAL USE PROPOSED; THERE MUST BE REASONABLE OPEN SPACE NEAR OR ADJACENT TO EACH BUILDING OR STRUCTURE, INCLUDING PAVEMENT, AS DETERMINED BY THE PLANNING BOARD."
 - PER SECT. 276-11.1B(12), NO BUILDINGS, PARKING, OR DISPLAY AREAS MAY BE LOCATED IN THE SETBACK.
 - PER SECT. 275-B.C(4), 9 FT X 18 FT PARKING STALLS ALLOWED WITH PLANNING BOARD VOTE.



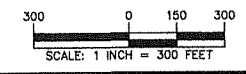
LANGAN
 Langan Engineering and Environmental Services, Inc.
 888 Boylston Street, Ste 510
 Boston, MA 02199
 T: 617.824.9100 F: 617.824.9101 www.langan.com

Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1

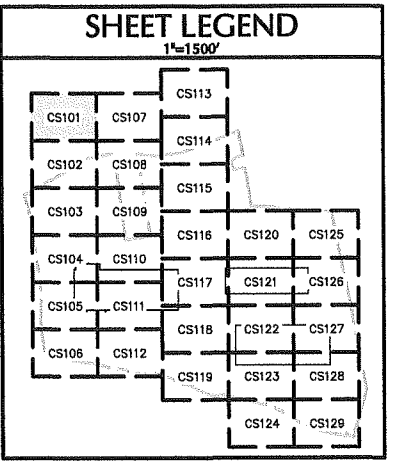
HUDSON NEW HAMPSHIRE
 Drawing Title

OVERALL SITE PLAN

Project No.	Drawing No.
151010101	CS100
Date	04-21-2020
Drawn By	CLR
Checked By	NLK



FOR PERMITTING ONLY, NOT FOR CONSTRUCTION



Date	Description	No.
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Revisions

JOHN D. PLANTE
NH P.E. Lic. No. 14072

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Project

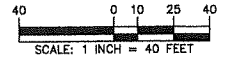
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MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title

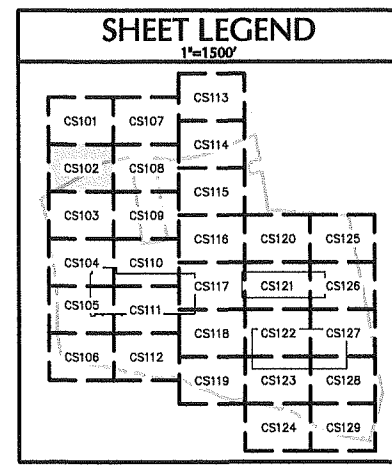
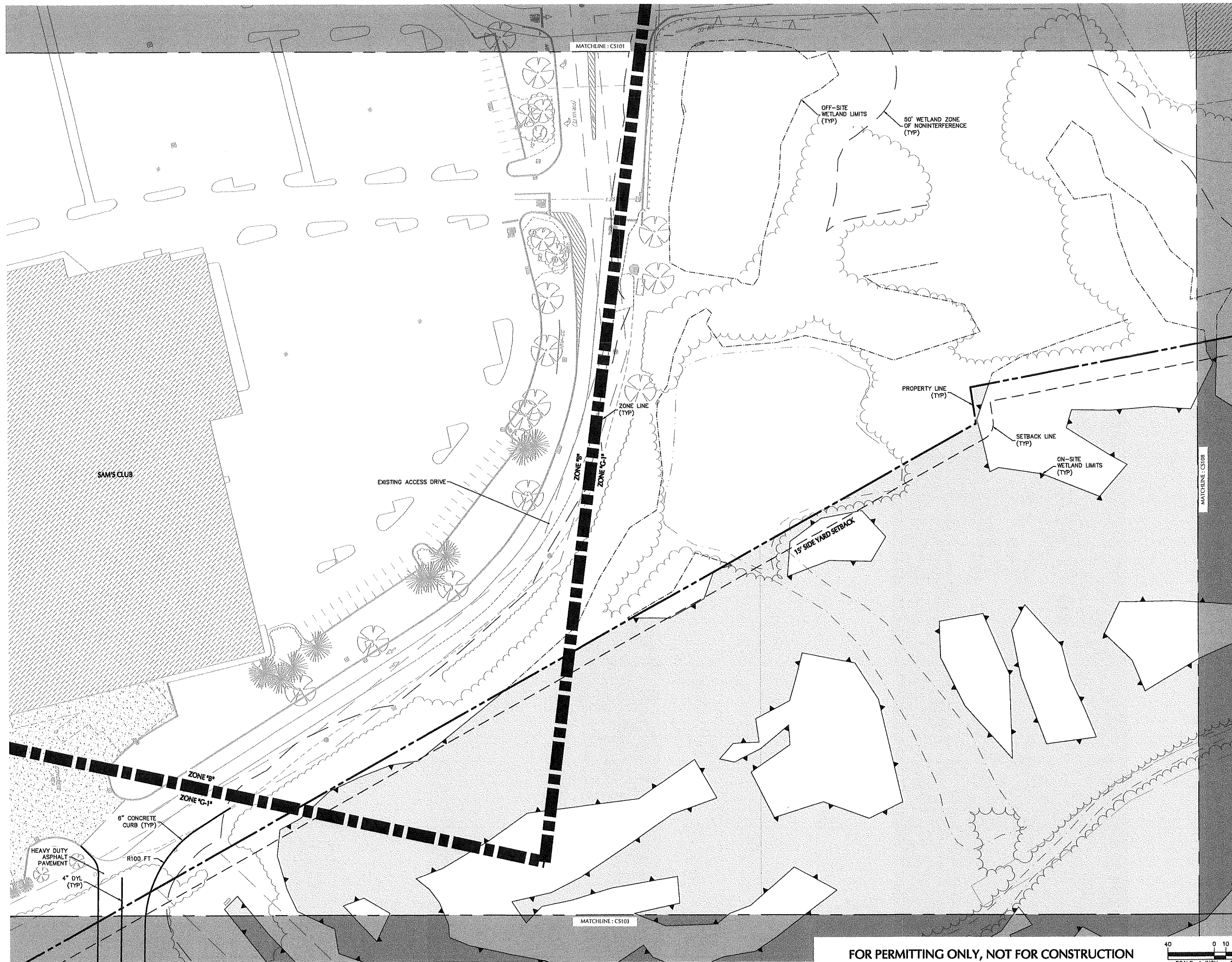
SITE PLAN I

Project No. 151010101	Drawing No. CS101
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

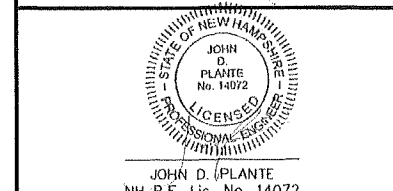
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Project No. 151010101



Date	Description	No.
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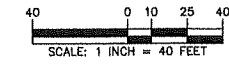
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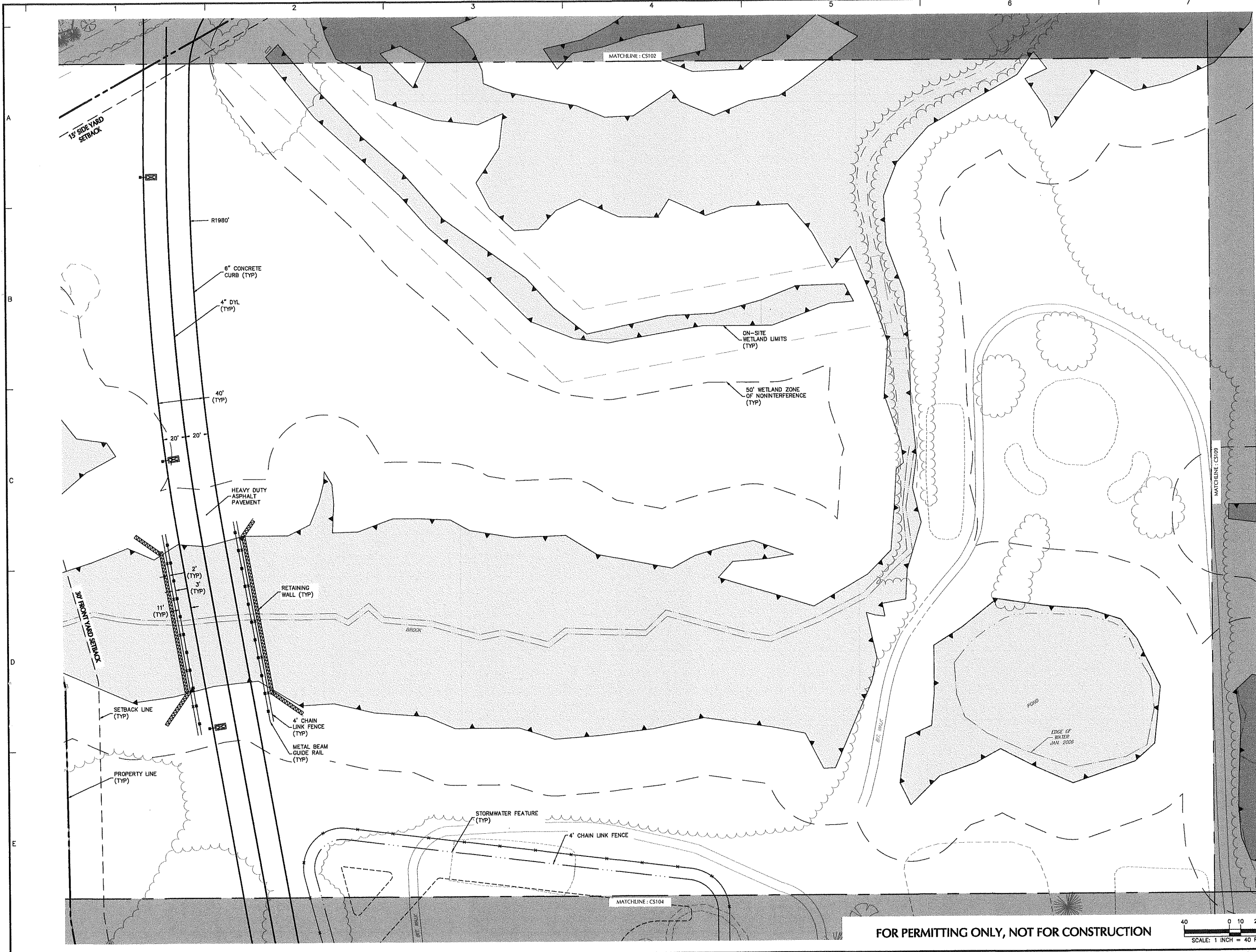
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title
SITE PLAN II

Project No. 151010101	Drawing No. CS102
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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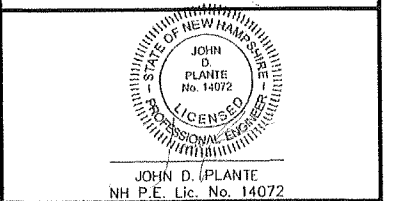




SHEET LEGEND
1"=1500'

CS101	CS107	CS113		
CS102	CS108	CS114		
CS103	CS109	CS115		
CS104	CS110	CS116	CS120	CS125
CS105	CS111	CS117	CS121	CS126
CS106	CS112	CS118	CS122	CS127
		CS119	CS123	CS128
			CS124	CS129

Date	Description	No.
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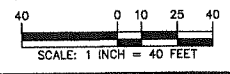
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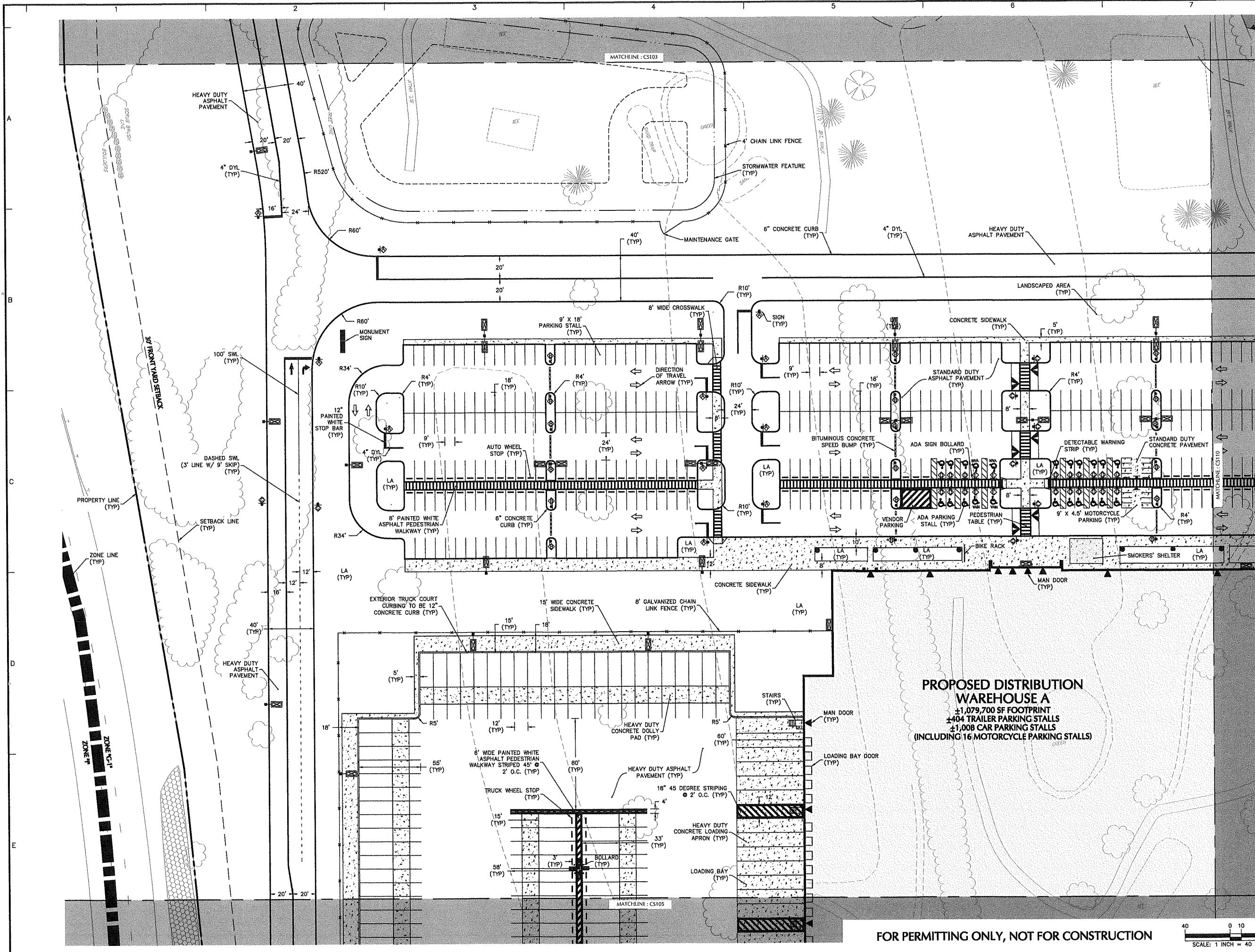
Drawing Title

SITE PLAN III

Project No.	Drawing No.
151010101	CS103
Date	
04-21-2020	
Drawn By	
CLR	
Checked By	
NLK	

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SHEET LEGEND
1"=1500'

CS101	CS107	CS113		
CS102	CS108	CS114		
CS103	CS109	CS115		
CS104	CS110	CS116	CS120	CS125
CS105	CS111	CS117	CS121	CS126
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Date	Description	No.
Revisions		

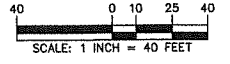
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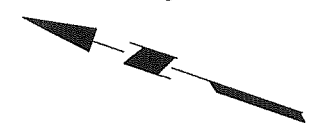
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE
 Drawing Title
SITE PLAN IV

Project No. 151010101	Drawing No. CS104
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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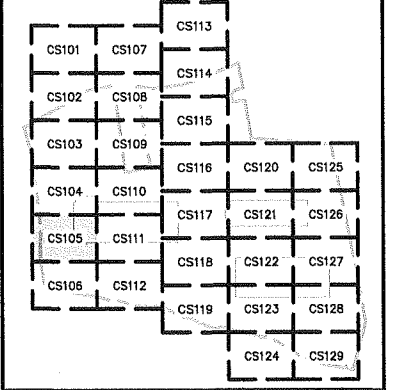


Project No. 151010101 LANGAN © 2020 Langan



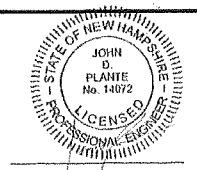
SHEET LEGEND

1"=1500'



PROPOSED DISTRIBUTION WAREHOUSE A
±1,079,700 SF FOOTPRINT
±404 TRAILER PARKING STALLS
±1,008 CAR PARKING STALLS
(INCLUDING 16 MOTORCYCLE PARKING STALLS)

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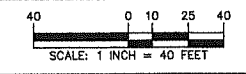
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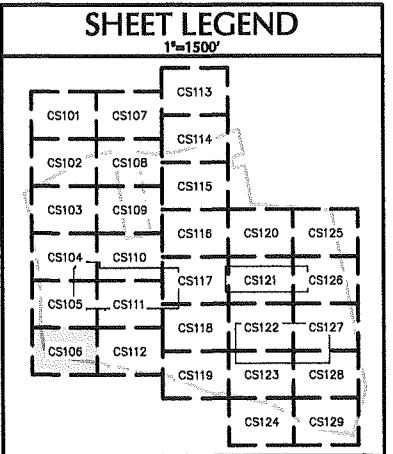
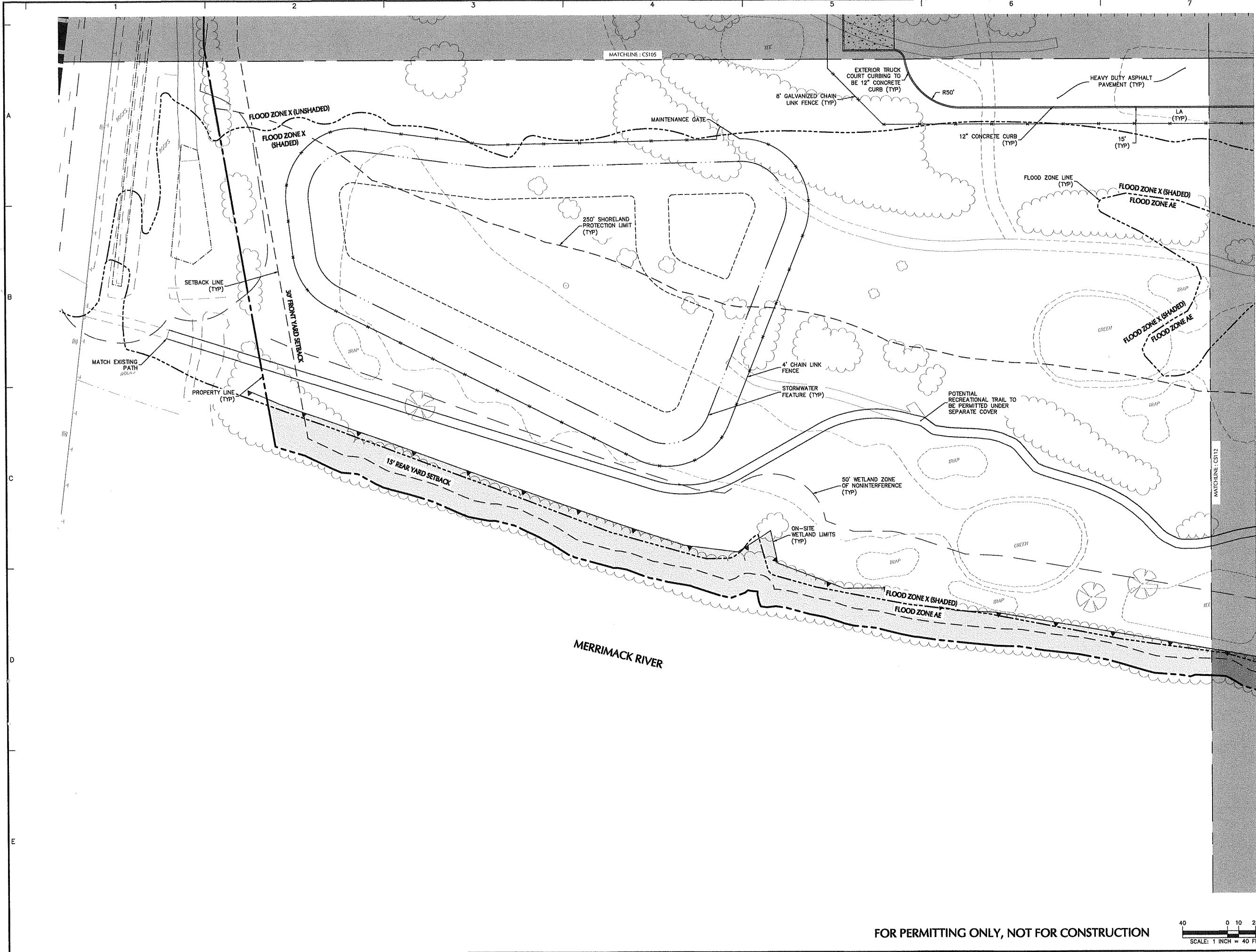
HUDSON NEW HAMPSHIRE
Drawing Title

SITE PLAN V

Project No. 151010101	Drawing No. CS105
Date 04-21-2020	
Drawn By CLR	
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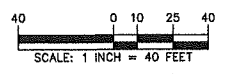
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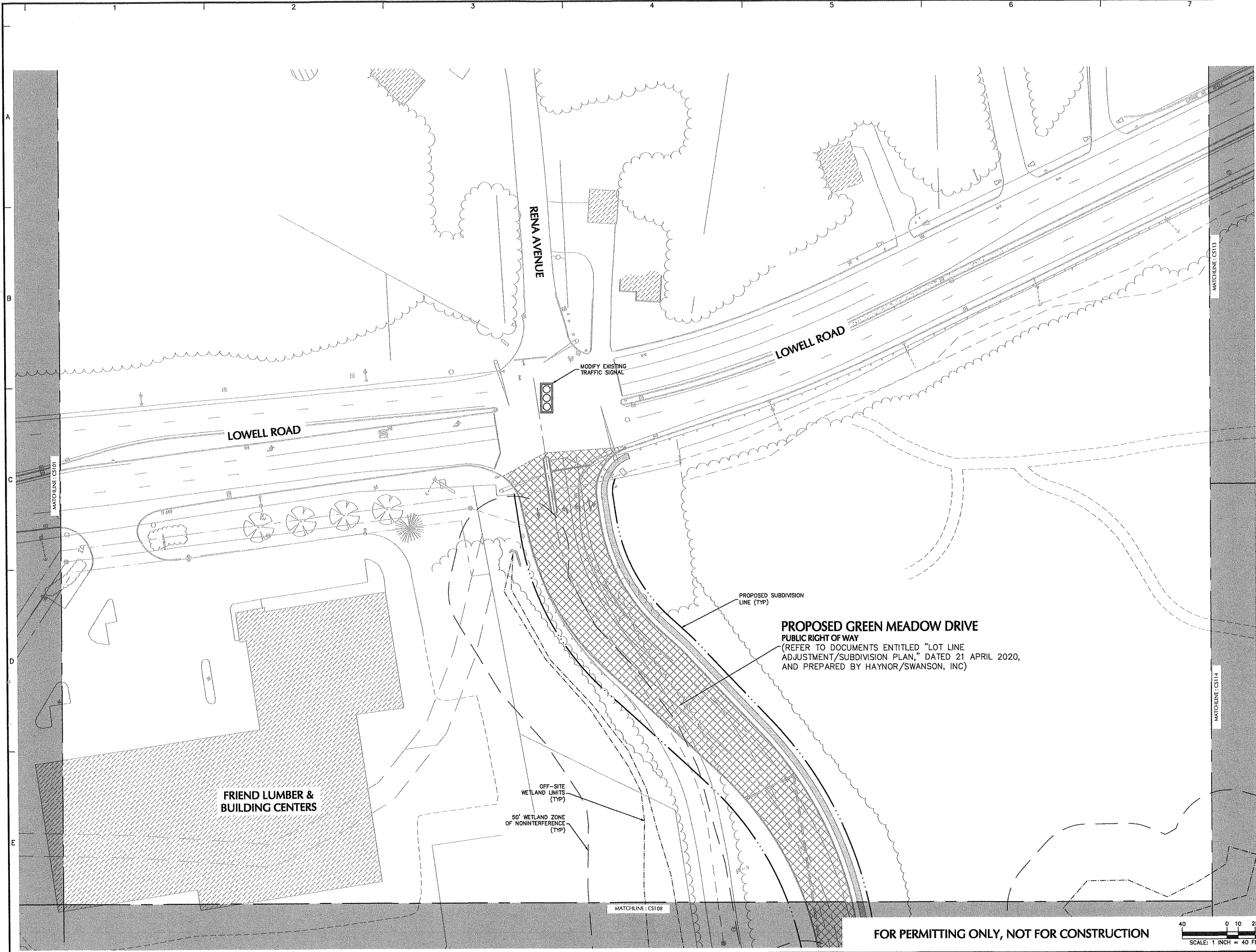
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE
 Drawing Title
SITE PLAN VI

Project No. 151010101	Drawing No. CS106
Date 04-21-2020	
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1"=1500'

CS101	CS107	CS113		
CS102	CS108	CS114		
CS103	CS109	CS115		
CS104	CS110	CS116	CS120	CS125
CS105	CS111	CS117	CS121	CS126
CS106	CS112	CS118	CS122	CS127
		CS119	CS123	CS128
			CS124	CS129

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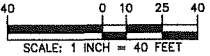
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Drawing Title

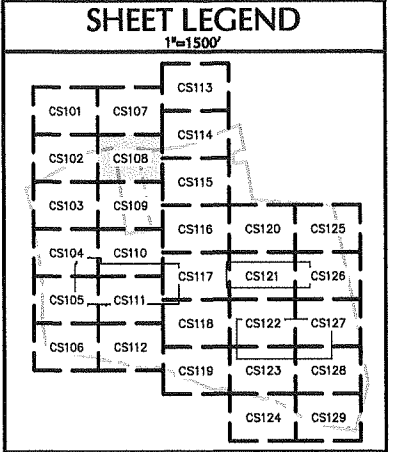
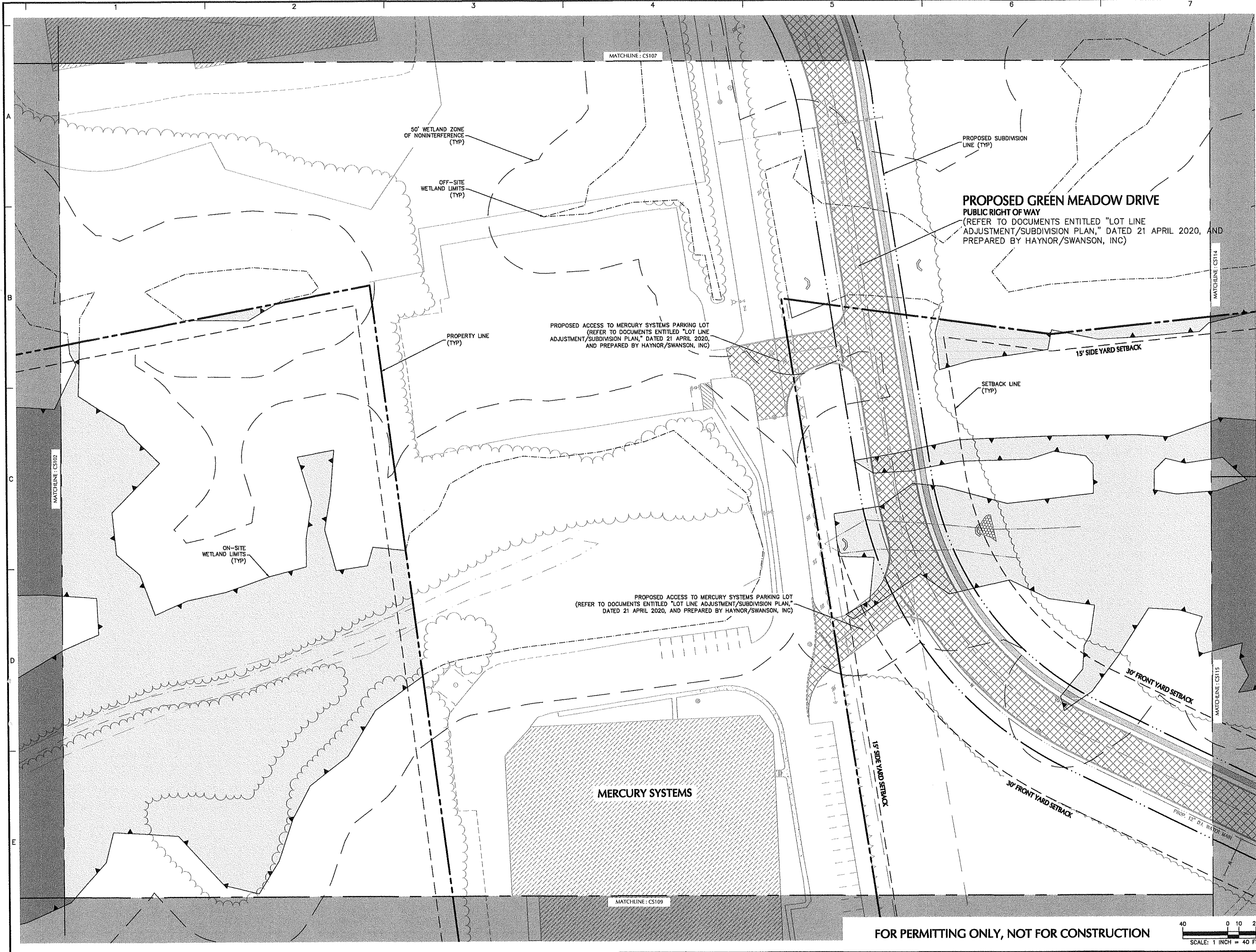
SITE PLAN VII

Project No. 151010101	Drawing No. CS107
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SCALE: 1 INCH = 40 FEET



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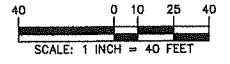
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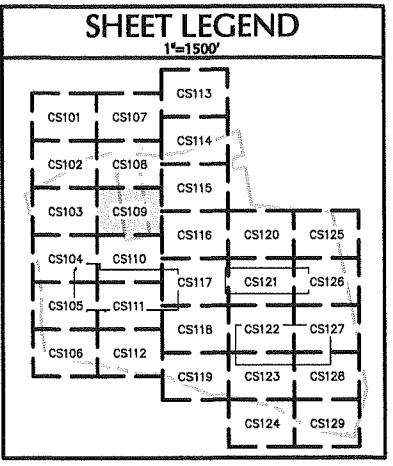
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 Drawing Title
SITE PLAN VIII

Project No. 151010101	Drawing No. CS108
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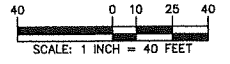
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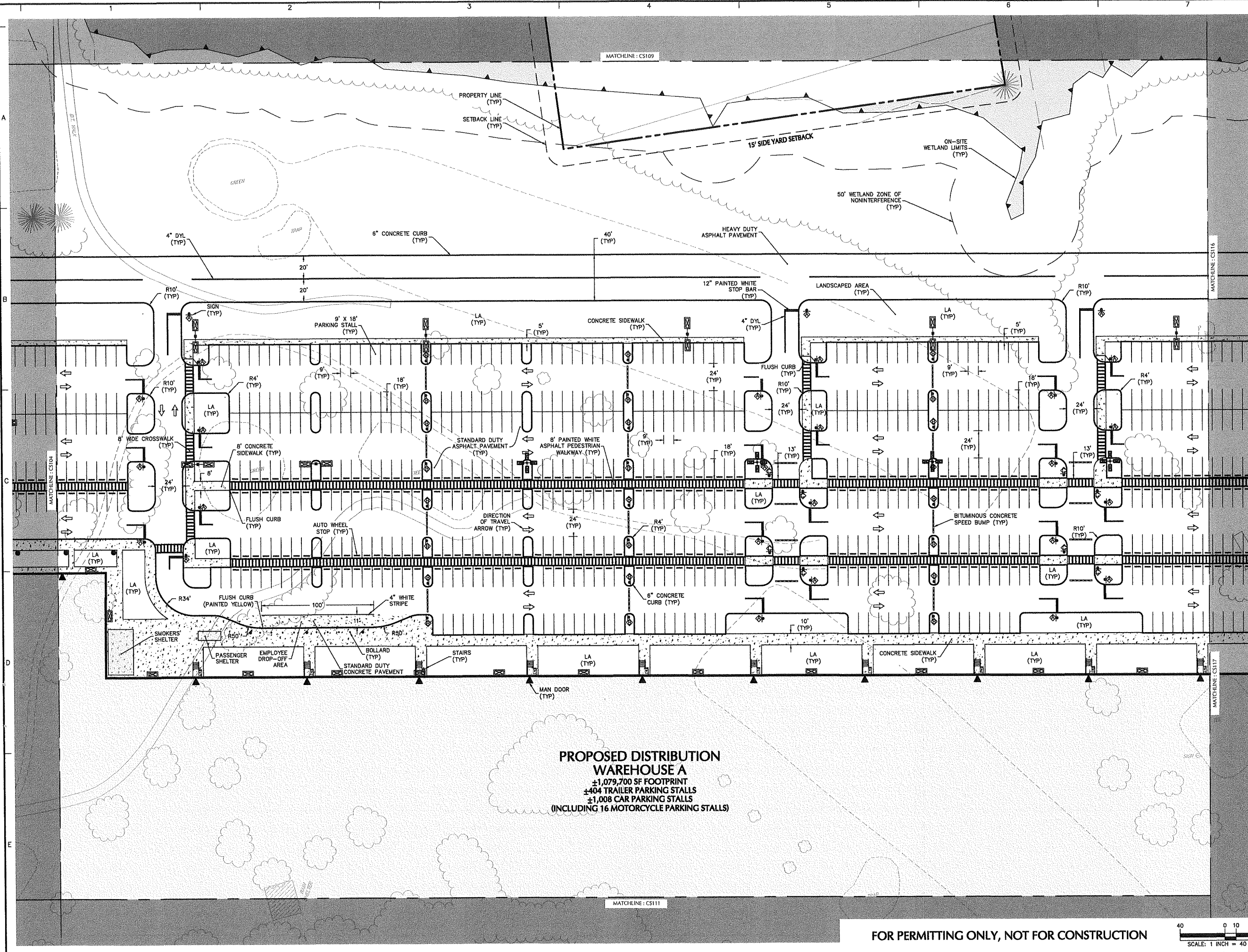
Project
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HUDSON NEW HAMPSHIRE
 Drawing Title
SITE PLAN IX

Project No. 151010101	Drawing No. CS109
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CS102	CS108	CS114		
CS103	CS109	CS115		
CS104	CS110	CS116	CS120	CS125
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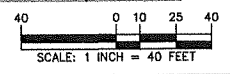
Date	Description	No.
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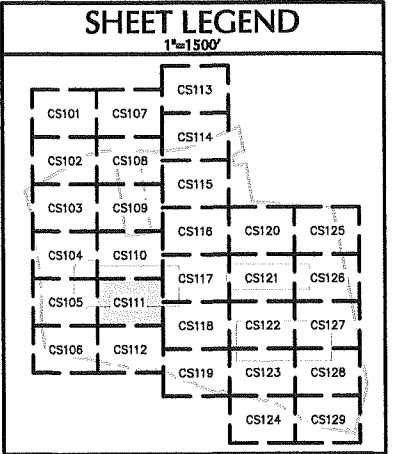
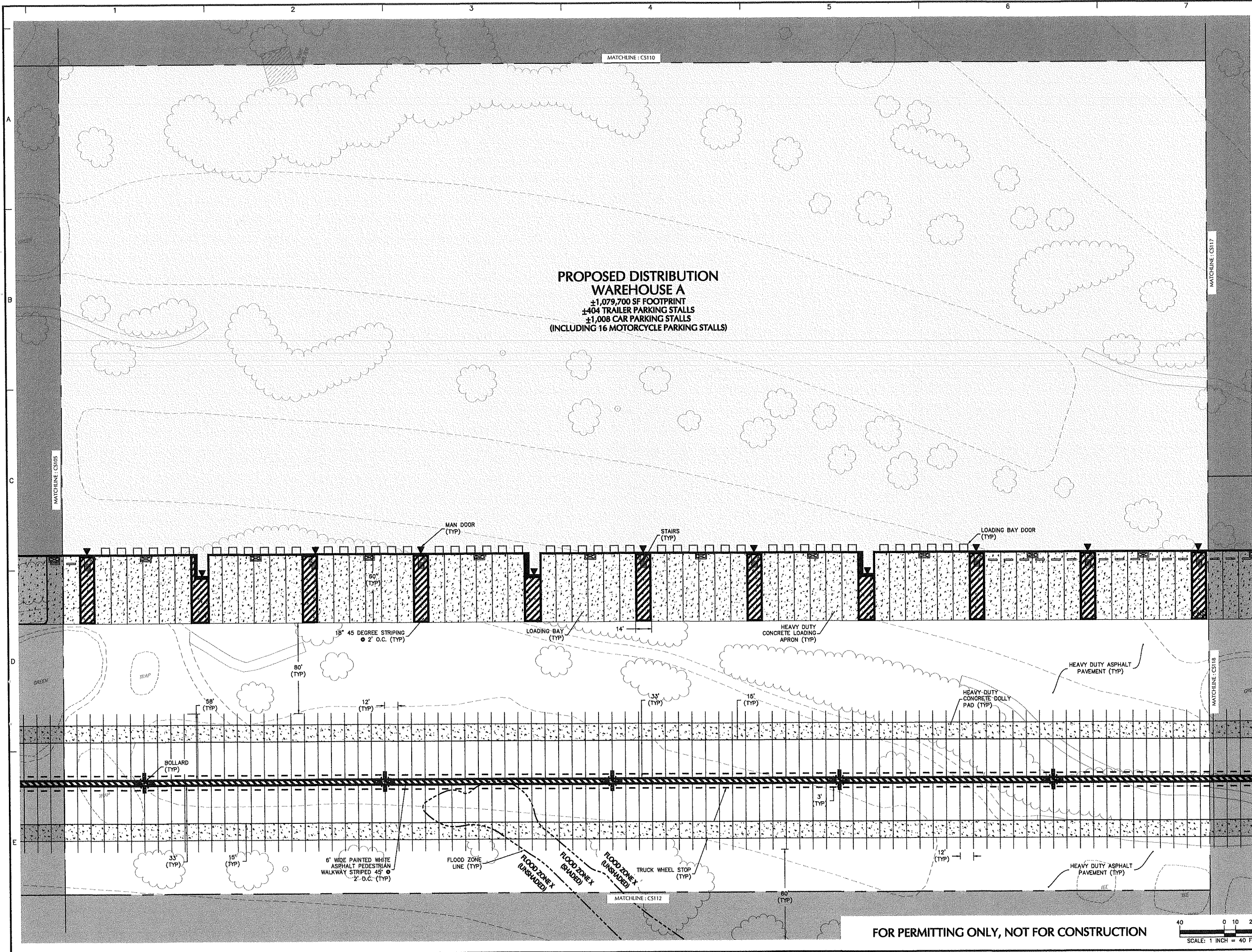
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE
 Drawing Title
SITE PLAN X

Project No. 151010101	Drawing No. CS110
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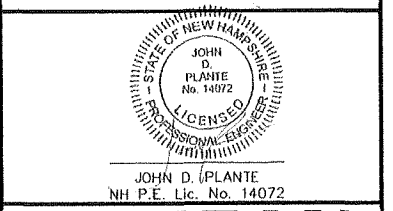
PROPOSED DISTRIBUTION WAREHOUSE A
 ±1,079,700 SF FOOTPRINT
 ±404 TRAILER PARKING STALLS
 ±1,008 CAR PARKING STALLS
 (INCLUDING 16 MOTORCYCLE PARKING STALLS)

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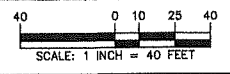
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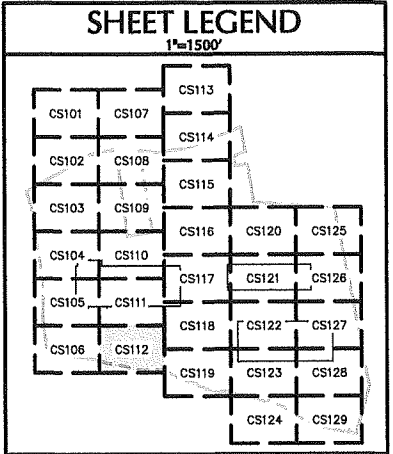
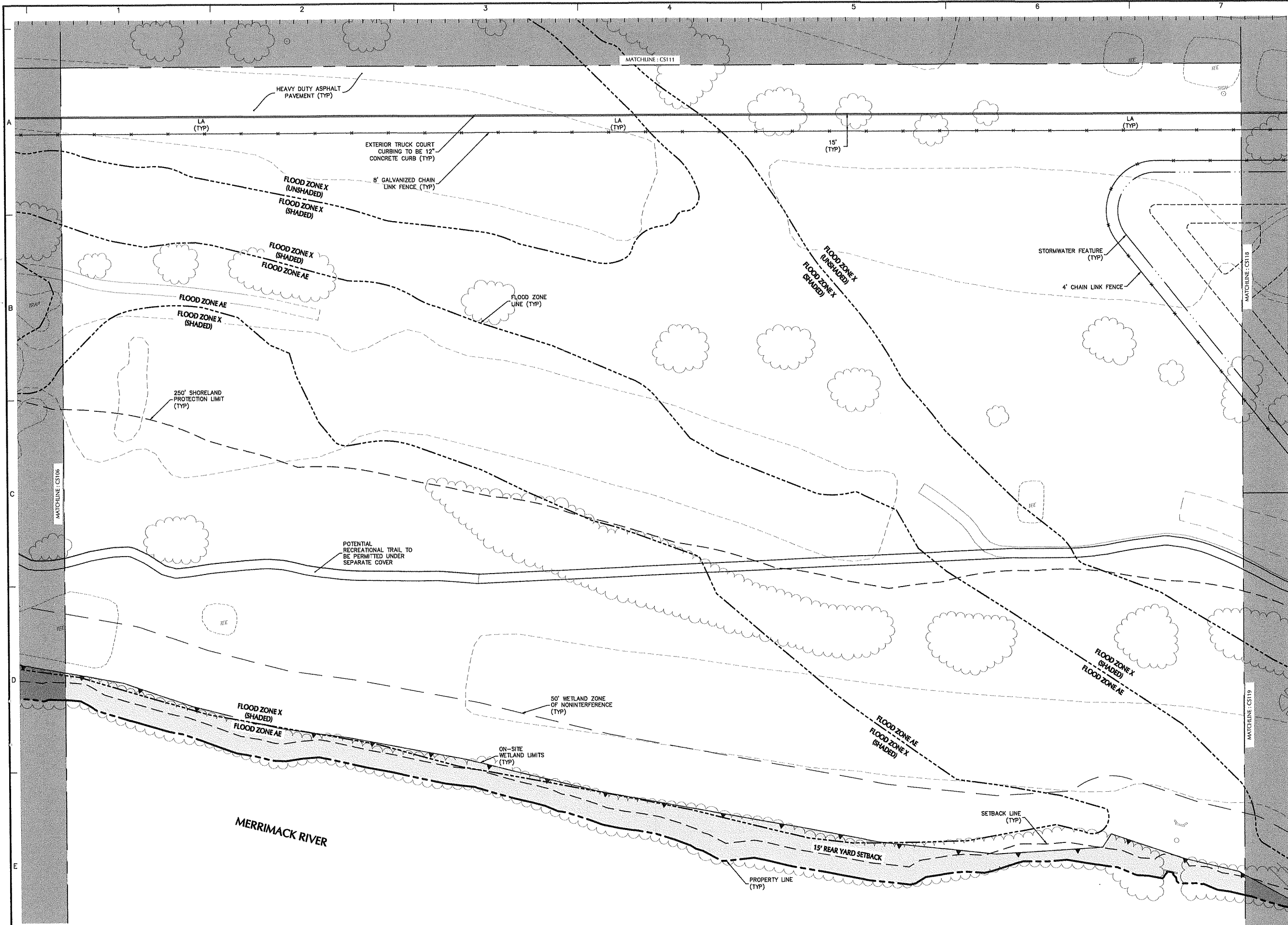
Project
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 MAP No. 239, LOT No. 1
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Drawing Title
SITE PLAN XI

Project No. 151010101	Drawing No. CS111
Date 04-21-2020	
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MAP No. 239, LOT No. 1

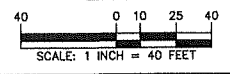
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Drawing Title

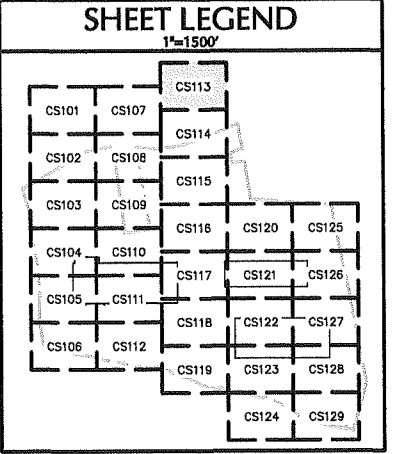
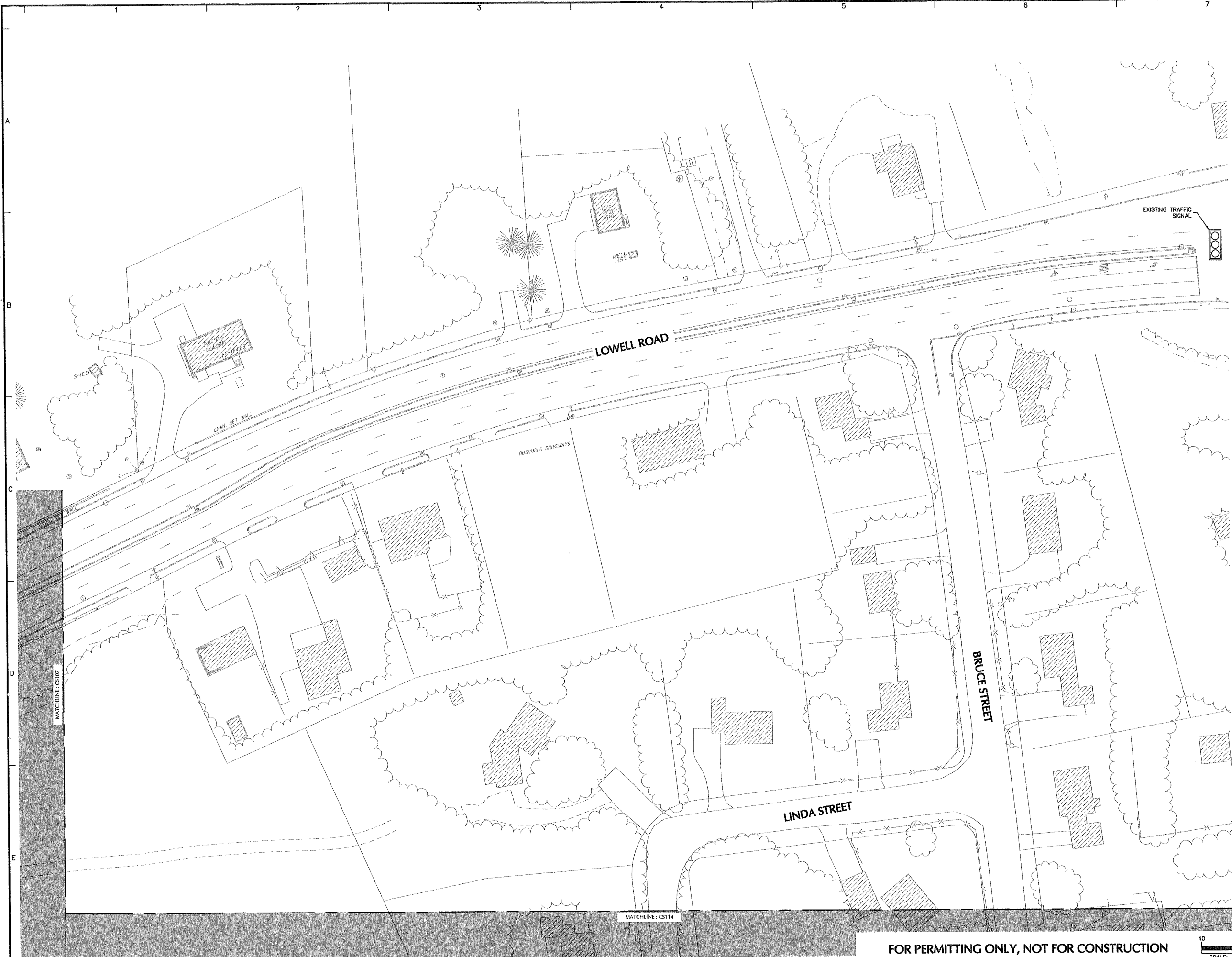
SITE PLAN XII

Project No.	151010101	Drawing No.	CS112
Date	04-21-2020	Drawn By	
Checked By	CLR		
	NLK		

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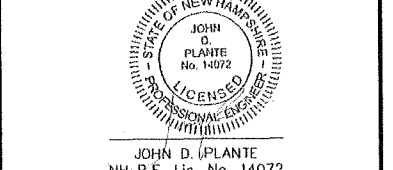


Project No. 151010101 Langan © 2020 Langan



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**HUDSON LOGISTICS
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MAP No. 239, LOT No. 1

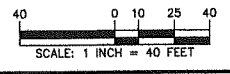
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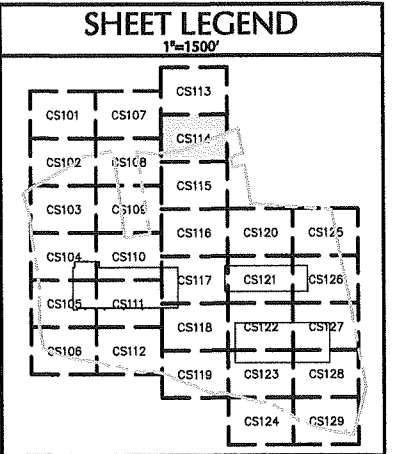
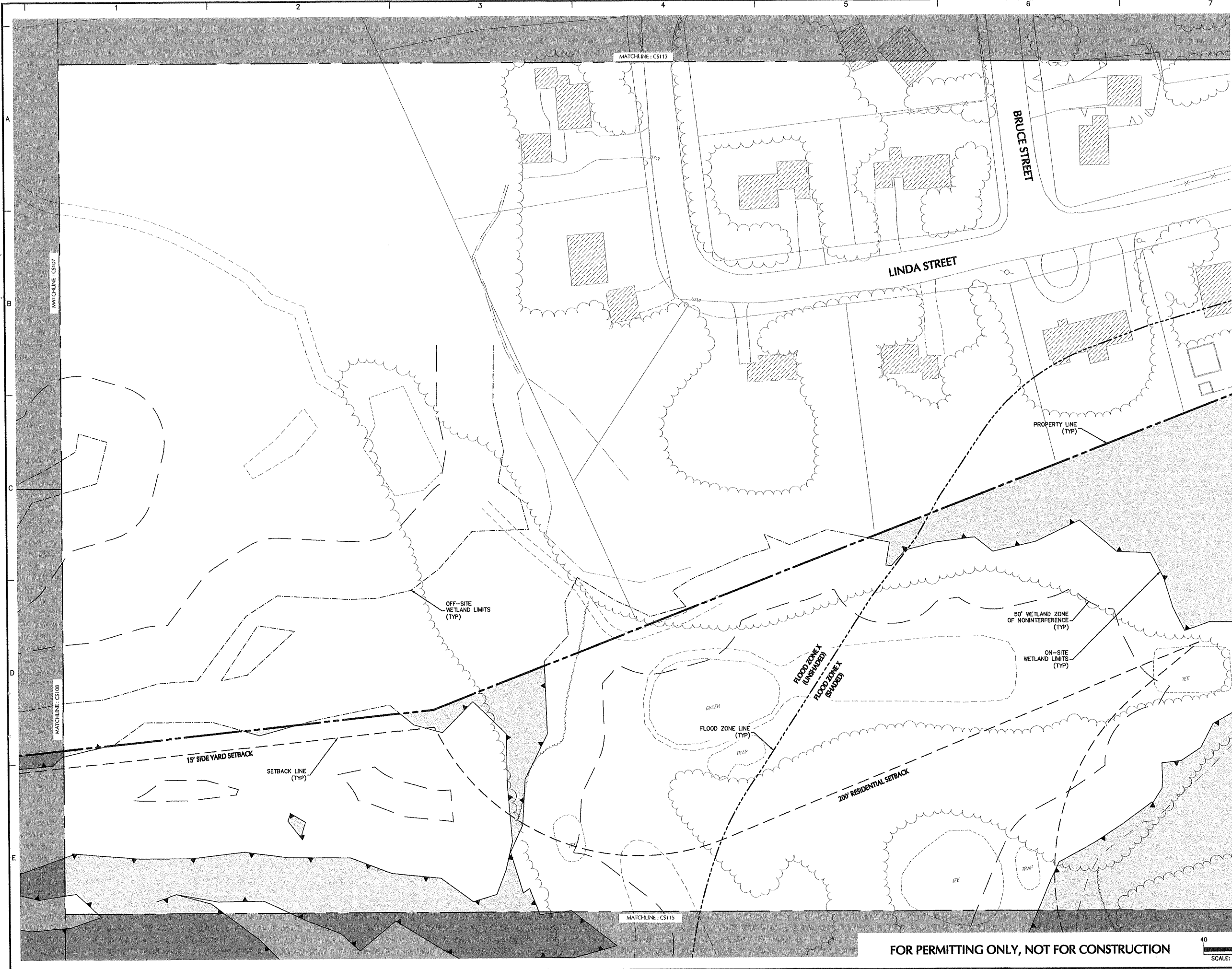
Drawing Title

SITE PLAN XIII

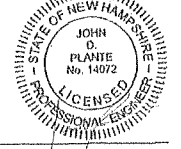
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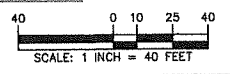
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Project
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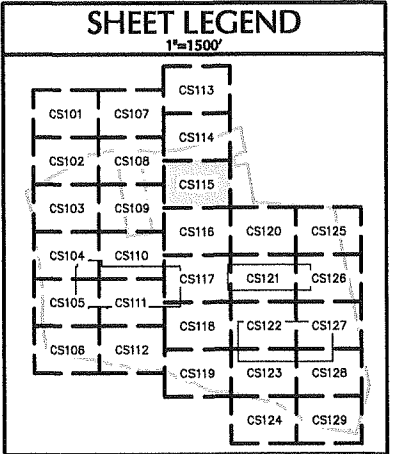
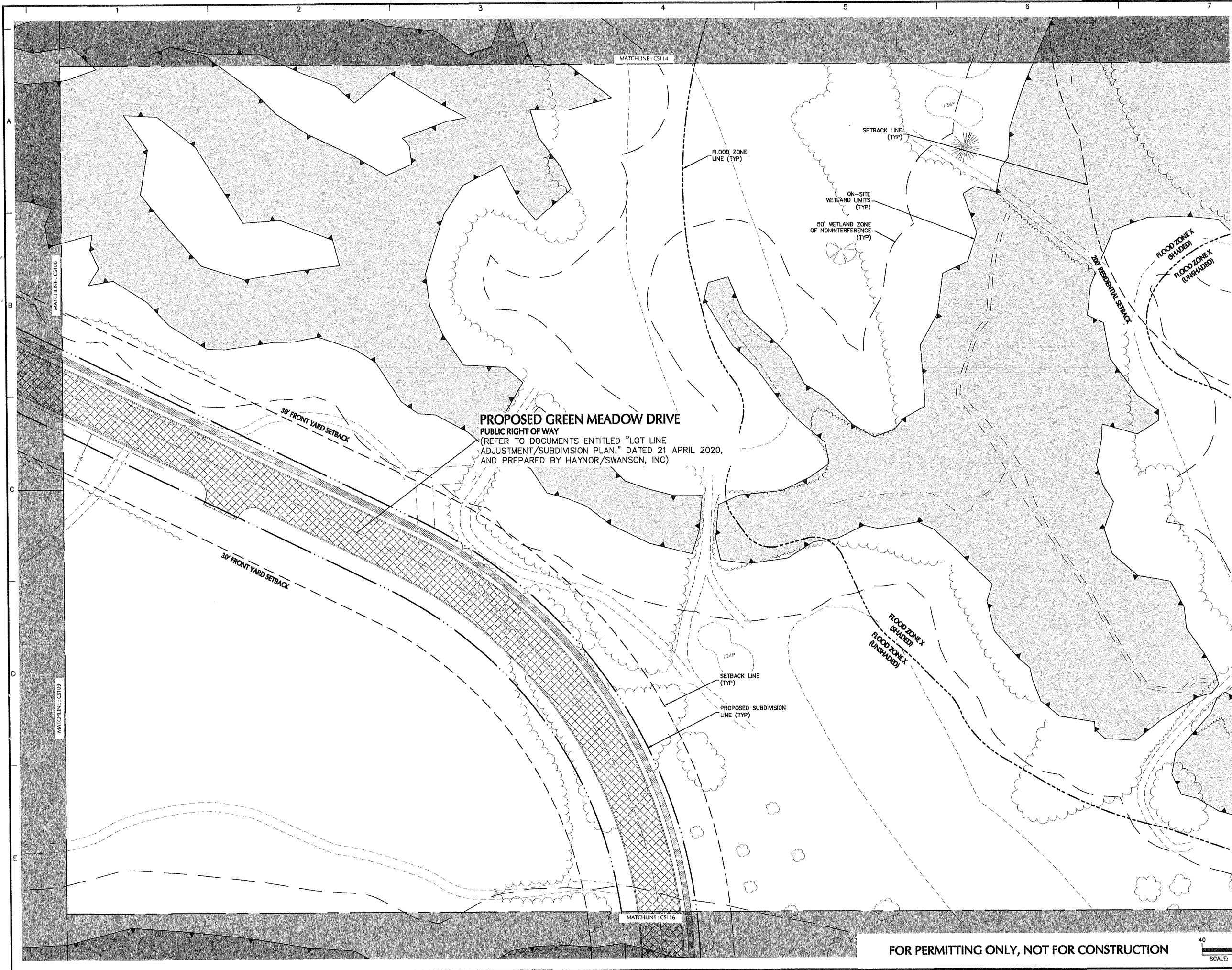
Drawing Title
SITE PLAN XIV

Project No. 151010101	Drawing No. CS114
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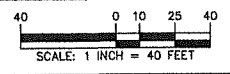
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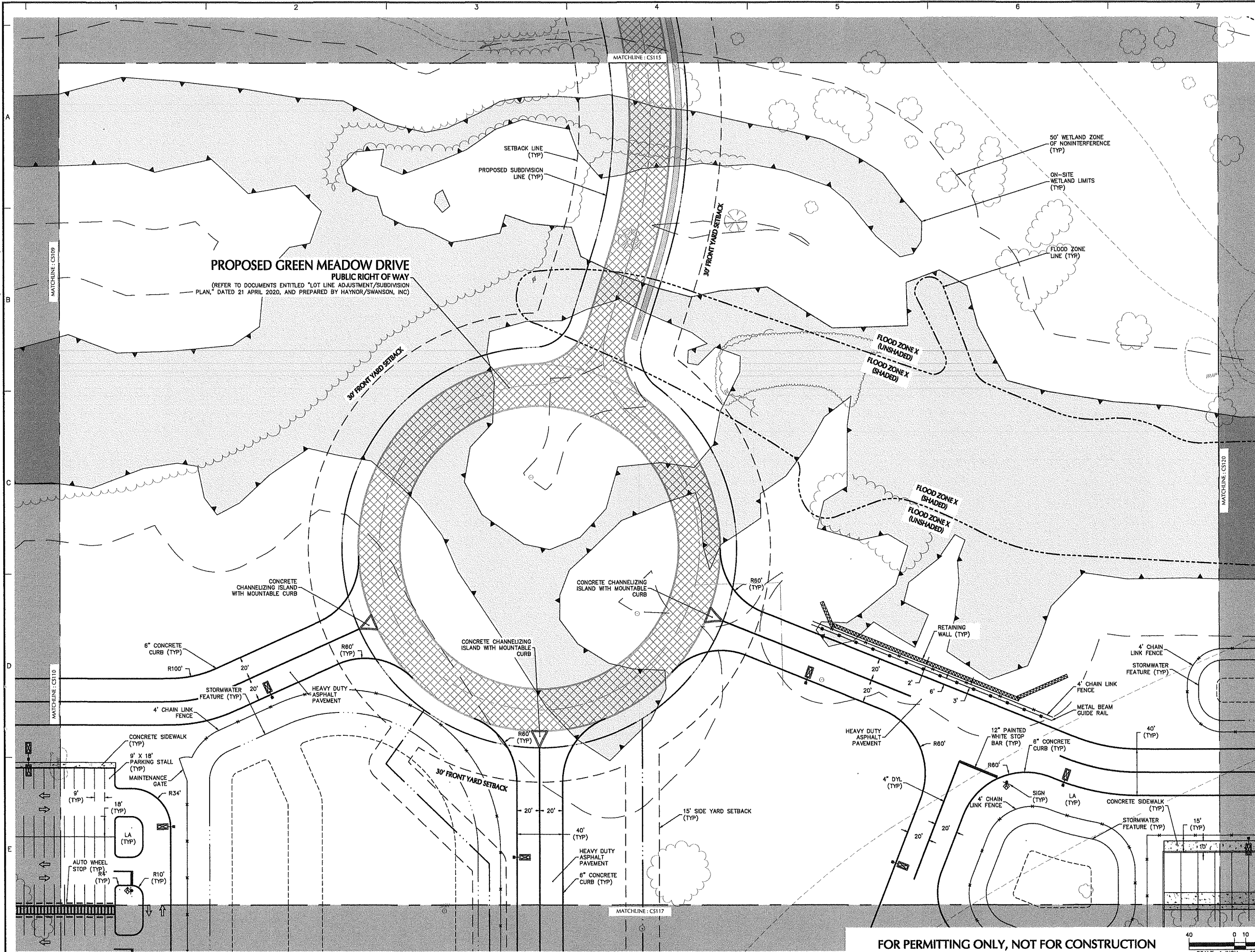
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Project
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 Drawing Title
SITE PLAN XV

Project No. 151010101	Drawing No. CS115
Date 04-21-2020	
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SHEET LEGEND
1"=150'

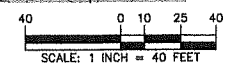
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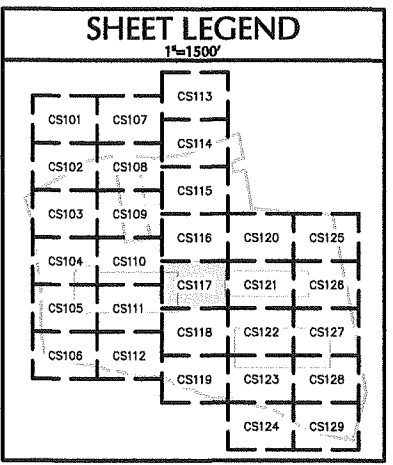
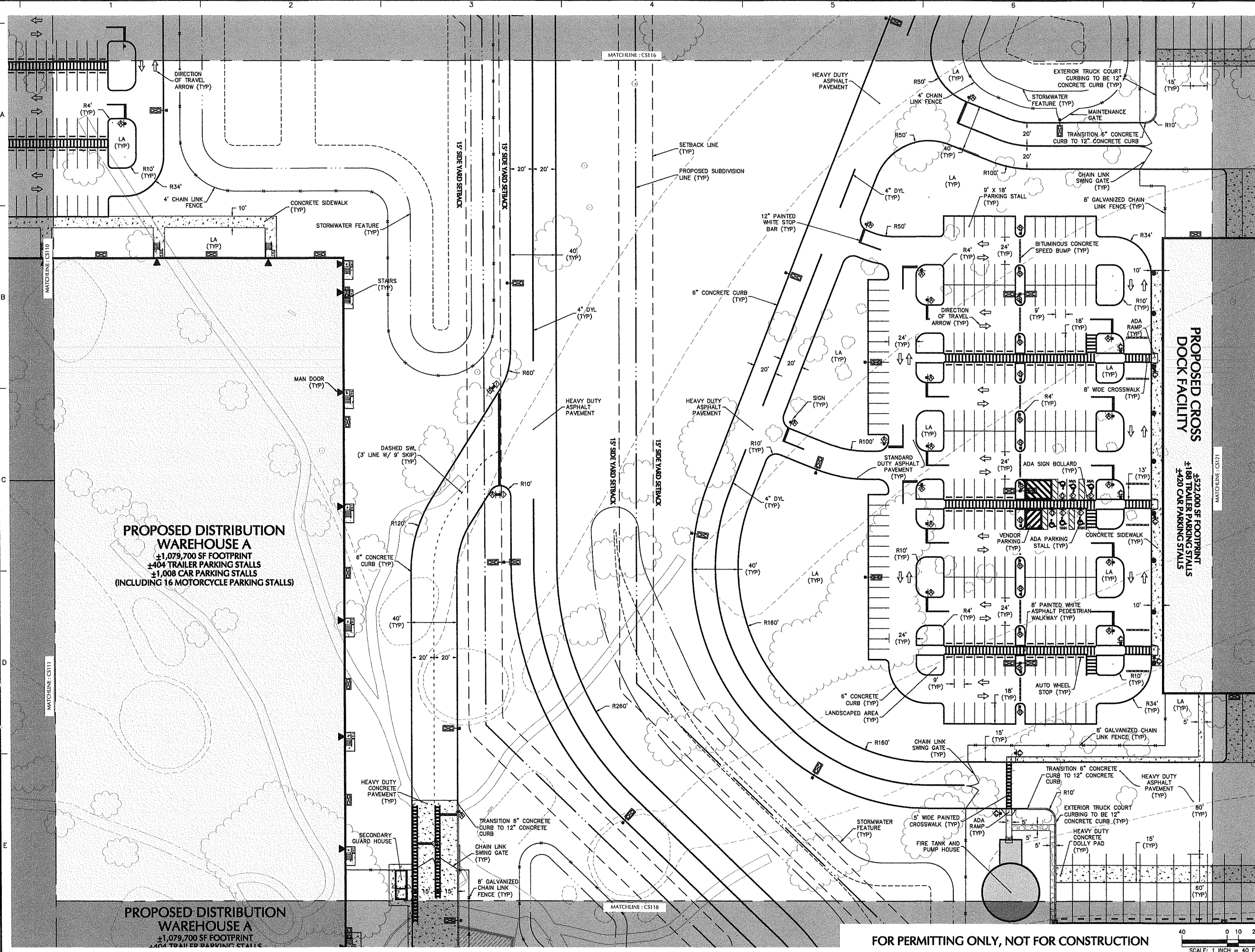
Date	Description	No.
Revisions		
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Project
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 Drawing Title
SITE PLAN XVI

Project No. 151010101	Drawing No. CS116
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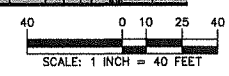
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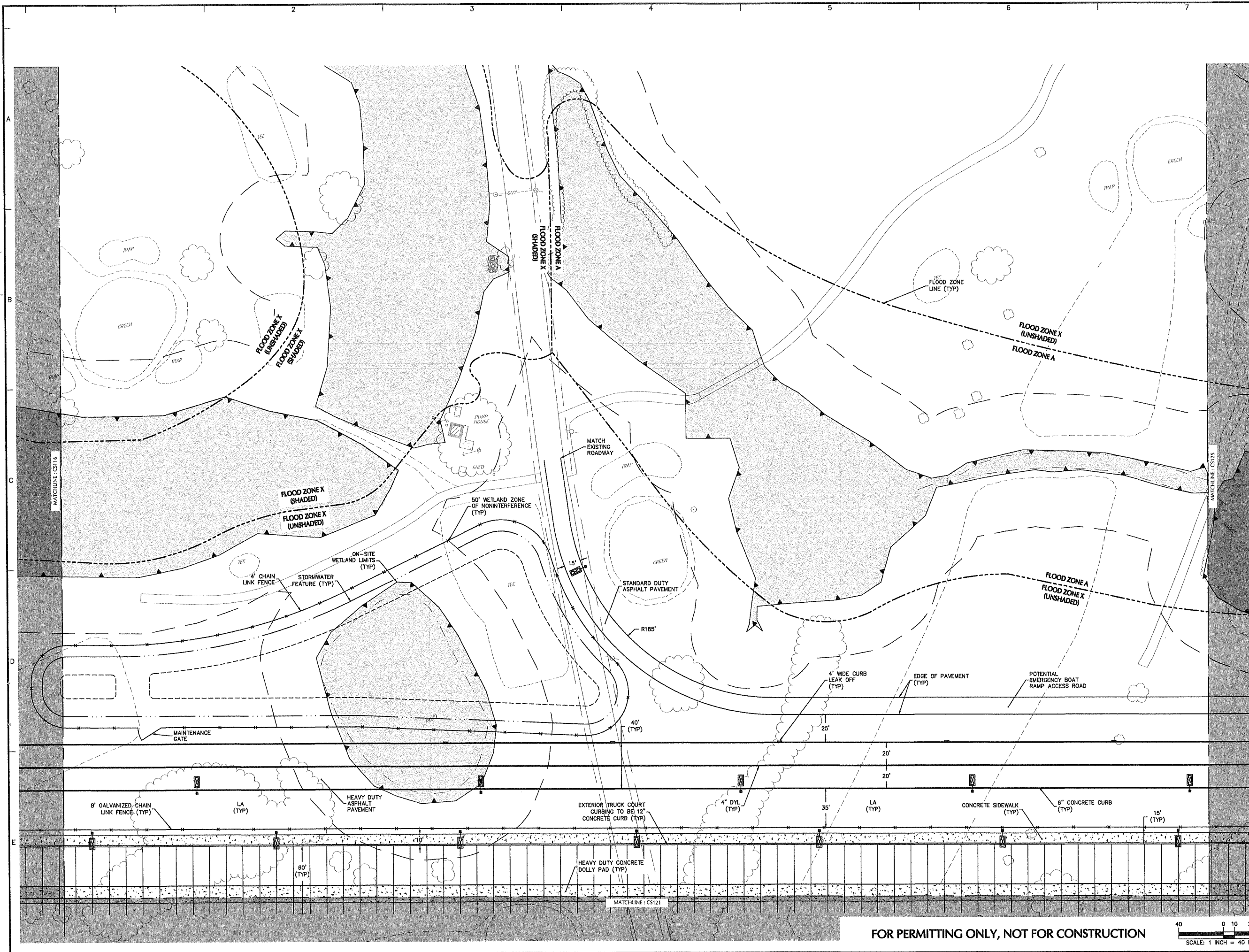
Project
HUDSON LOGISTICS CENTER
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 Drawing Title

Project No. 1510101
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 Drawn By CLR
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Drawing No. CS117

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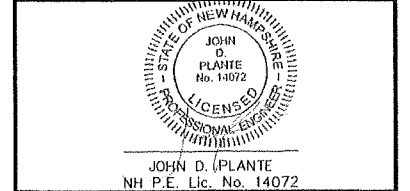


SHEET LEGEND
1"=1500'

CS101	CS107	CS113		
CS102	CS108	CS114		
CS103	CS109	CS115		
CS104	CS110	CS116	CS120	CS125
CS105	CS111	CS117	CS121	CS126
CS106	CS112	CS118	CS122	CS127
		CS119	CS123	CS128
			CS124	CS129

Date	Description	No.
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Revisions



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Project

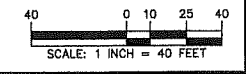
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

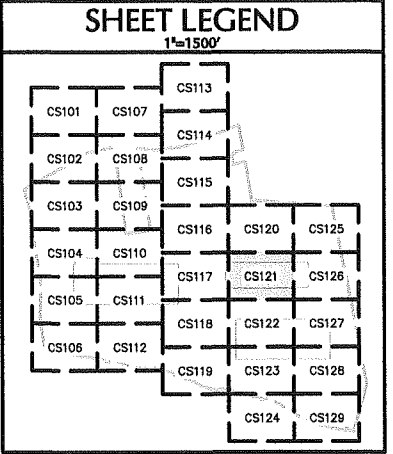
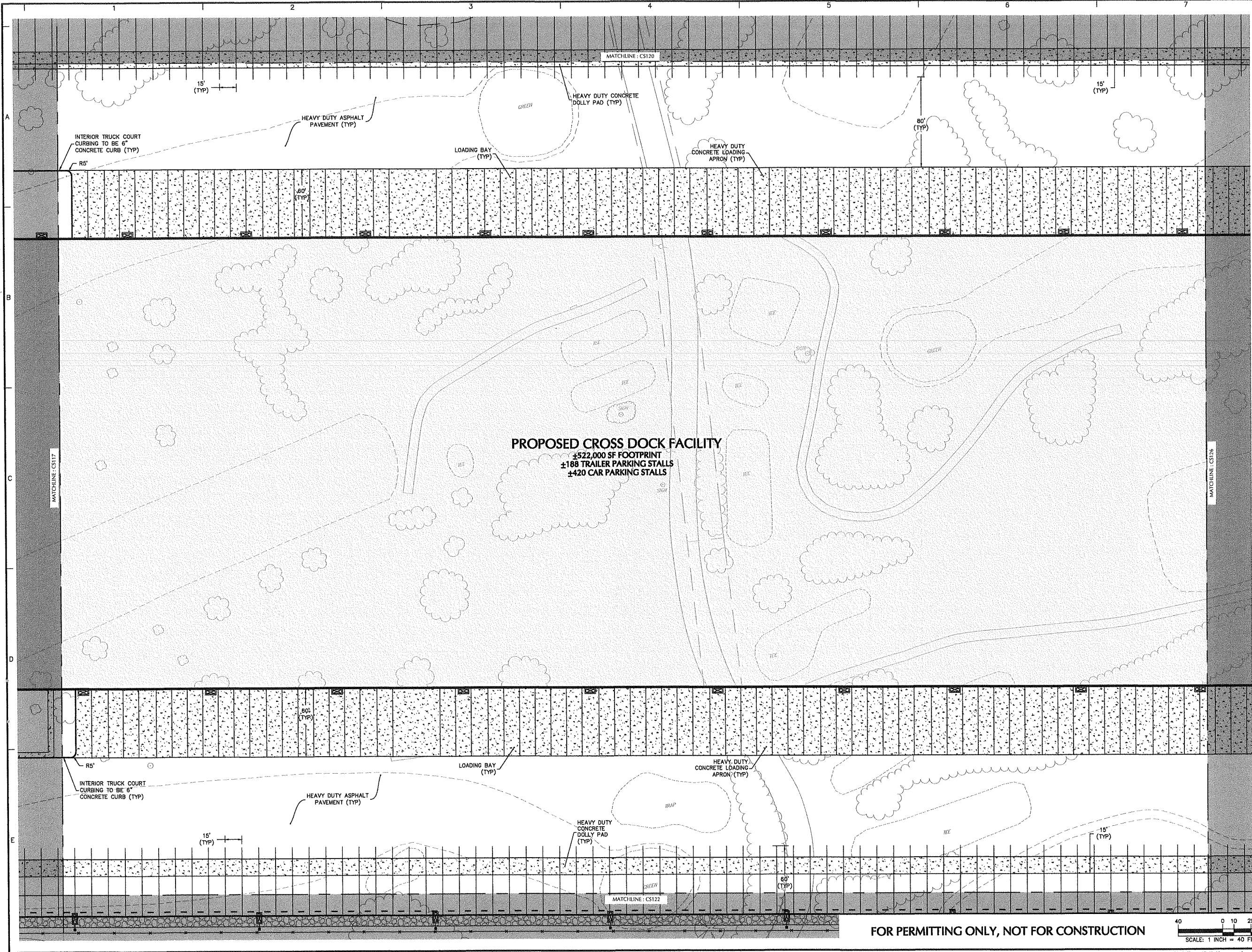
HUDSON NEW HAMPSHIRE
Drawing Title

SITE PLAN XX

Project No. 151010101	Drawing No. CS120
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

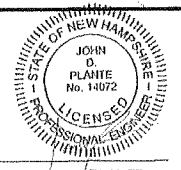
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PROPOSED CROSS DOCK FACILITY
 ±522,000 SF FOOTPRINT
 ±188 TRAILER PARKING STALLS
 ±420 CAR PARKING STALLS

Date	Description	No.
Revisions		



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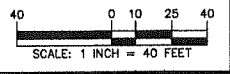
T: 617.824.9100 F: 617.824.9101 www.langan.com

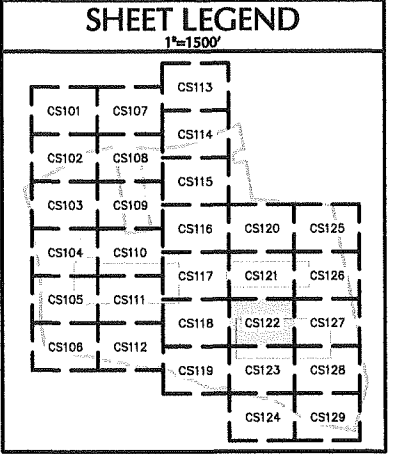
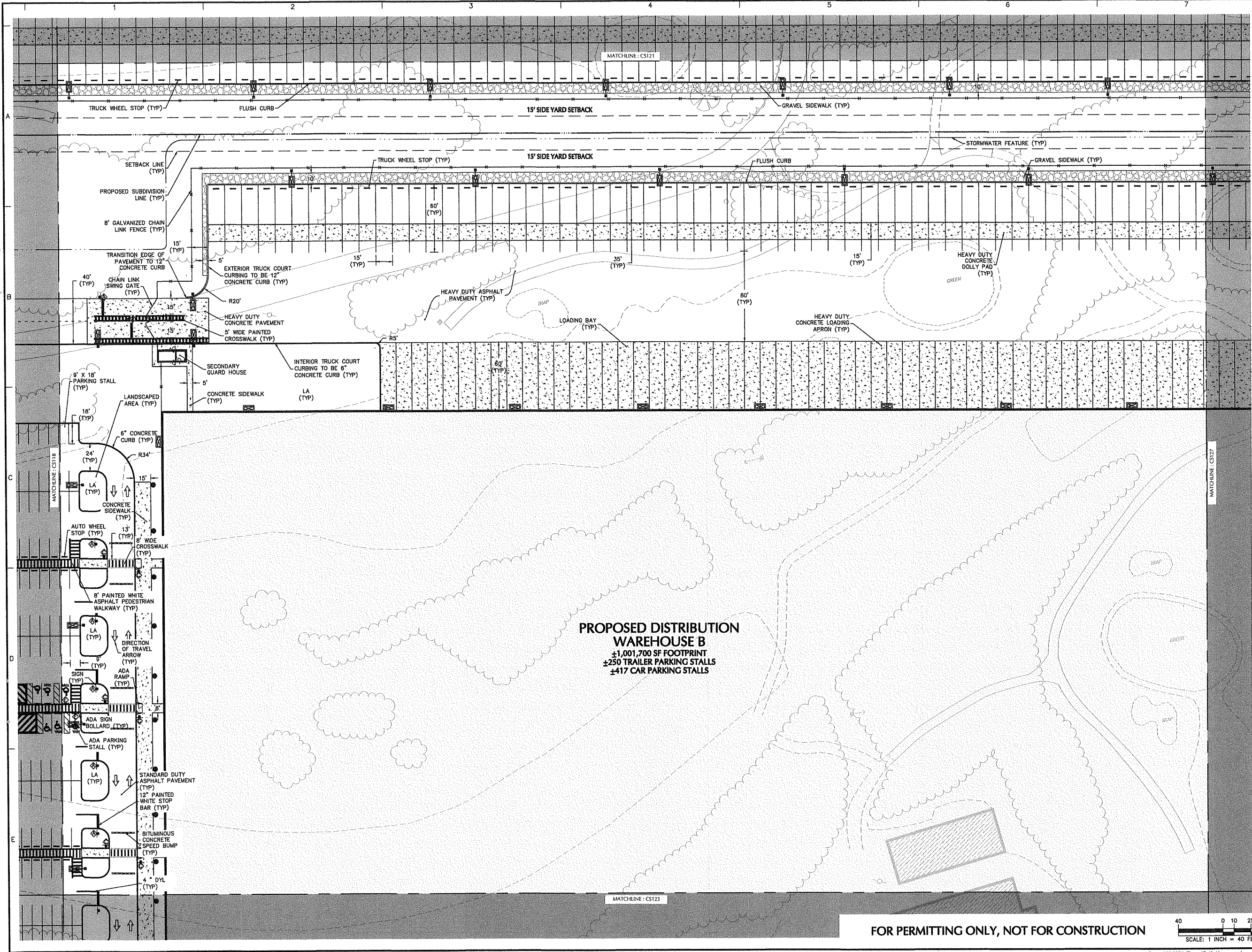
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
 Drawing Title
SITE PLAN XXI

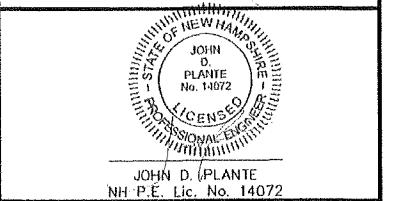
Project No. 151010101	Drawing No. CS121
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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Date	Description	No.
Revisions		

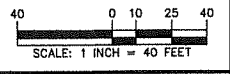


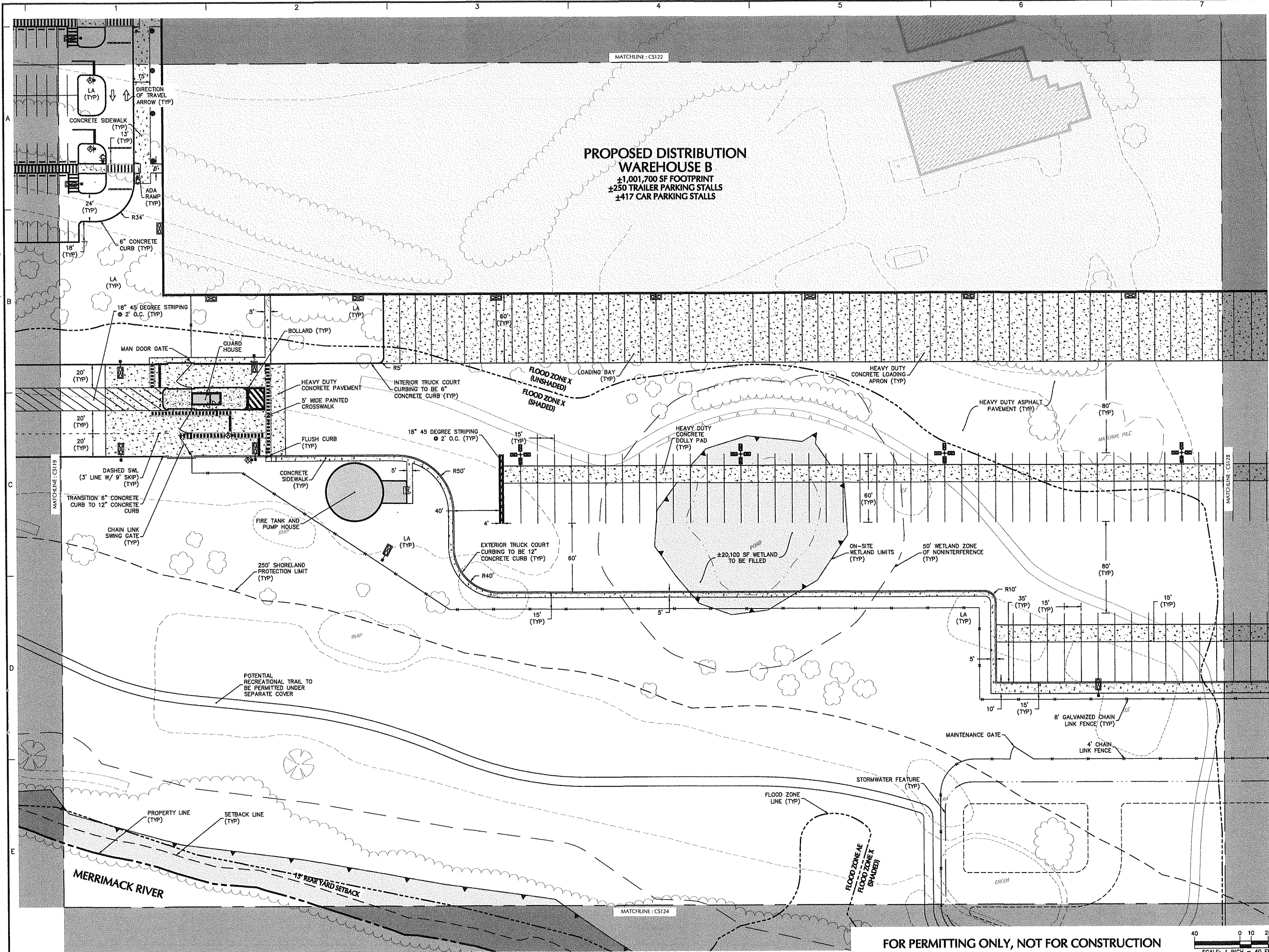
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Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE
 Drawing Title
SITE PLAN XXII

Project No. 151010101	Drawing No. CS122
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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SHEET LEGEND
 1"=1500'

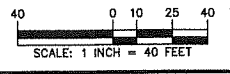
CS101	CS107	CS113		
CS102	CS108	CS114		
CS103	CS109	CS115		
CS104	CS110	CS116	CS120	CS125
CS105	CS111	CS117	CS121	CS126
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		CS119	CS123	CS128
			CS124	CS129

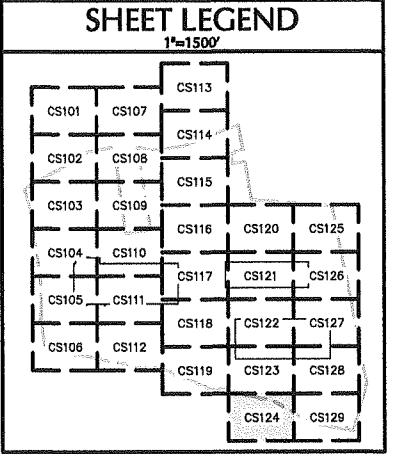
Date	Description	No.
Revisions		
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Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE
 Drawing Title
SITE PLAN XXIII

Project No. 1510101	Drawing No. CS123
Date 04-21-2020	
Drawn By CLR	
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Date	Description	No.
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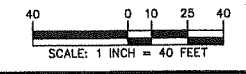
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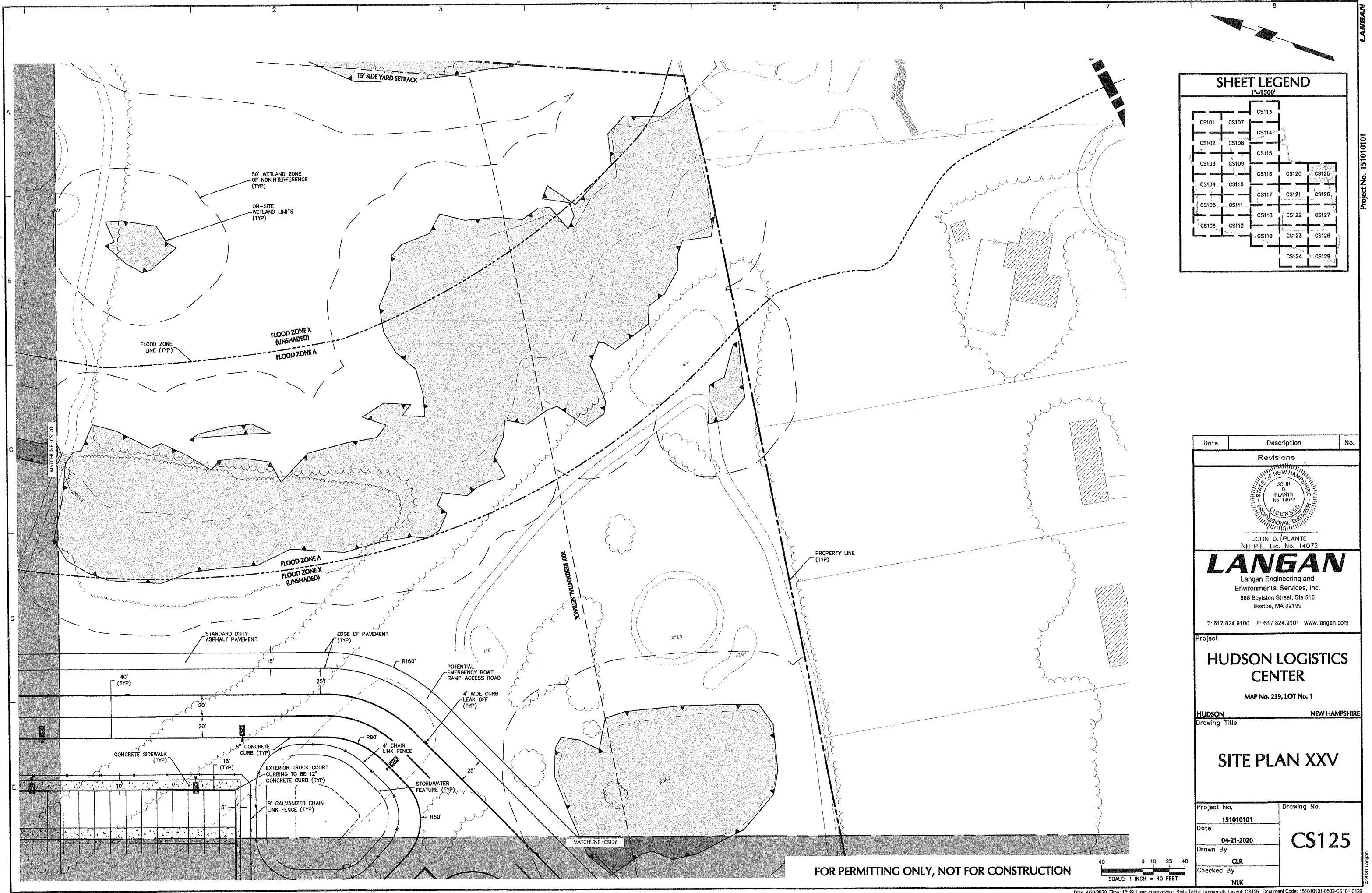
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE

Drawing Title
SITE PLAN XXIV

Project No. 151010101	Drawing No. CS124
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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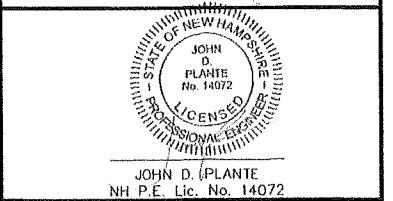




SHEET LEGEND
1"=1500'

CS101	CS107	CS113		
CS102	CS108	CS114		
CS103	CS109	CS115		
CS104	CS110	CS116	CS120	CS125
CS105	CS111	CS117	CS121	CS126
CS106	CS112	CS118	CS122	CS127
		CS119	CS123	CS128
			CS124	CS129

Date	Description	No.
Revisions		



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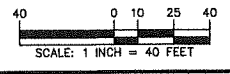
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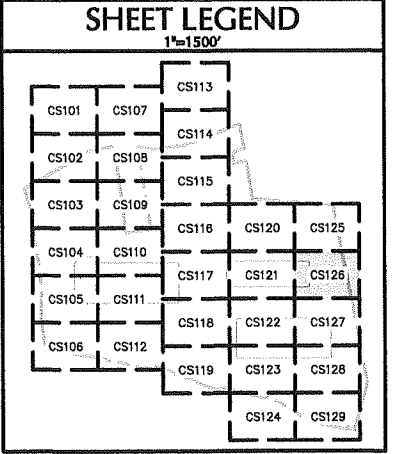
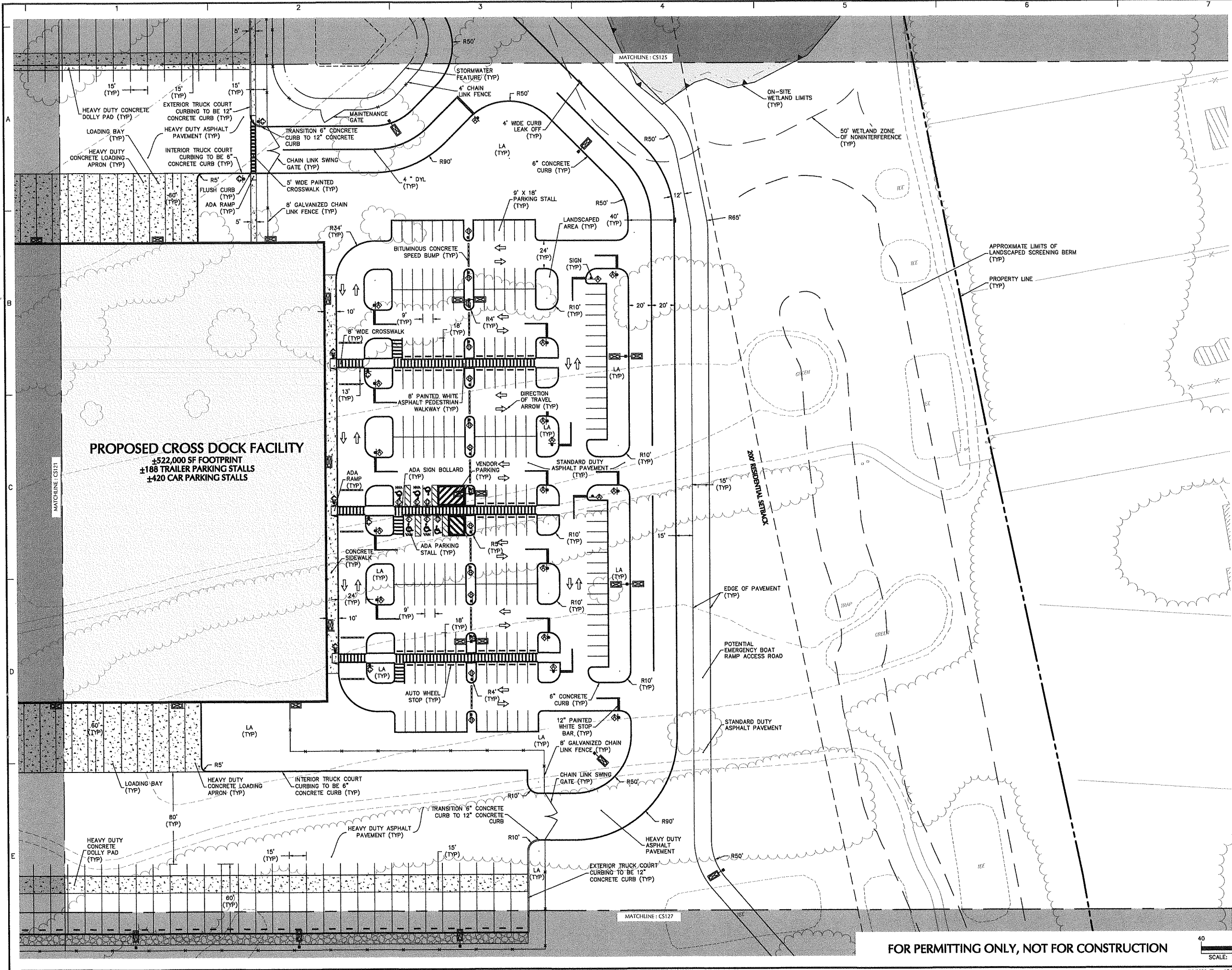
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title
SITE PLAN XXV

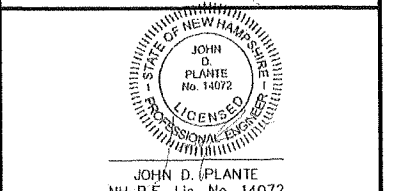
Project No. 1510101	Drawing No. CS125
Date 04-21-2020	
Drawn By CLR	
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Date	Description	No.
Revisions		



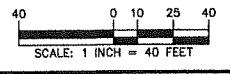
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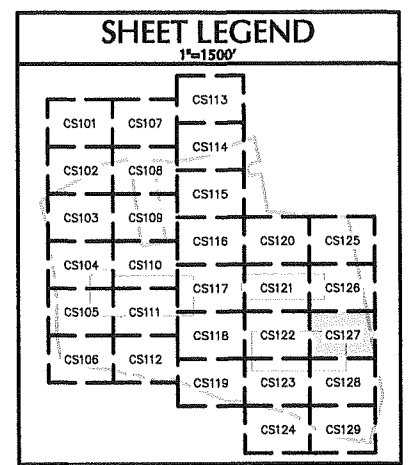
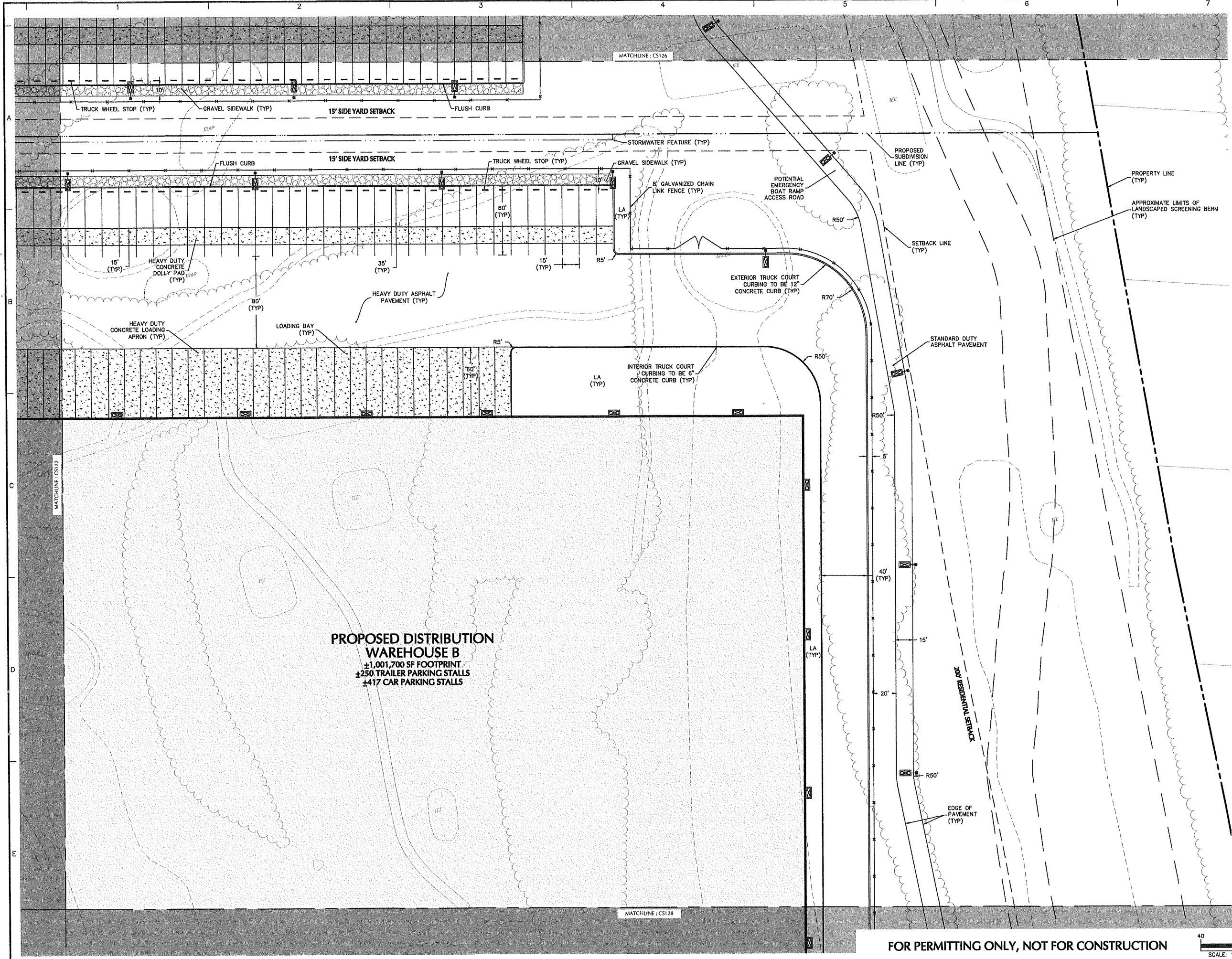
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE
 Drawing Title

SITE PLAN XXVI

Project No. 151010101	Drawing No. CS126
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

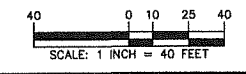
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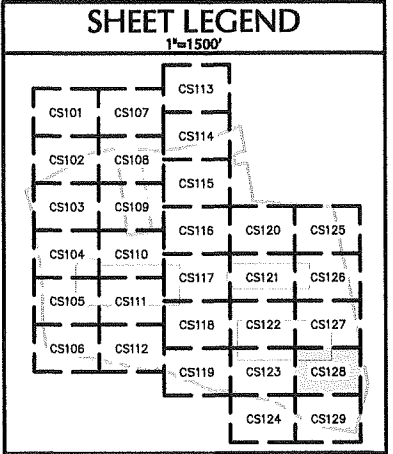
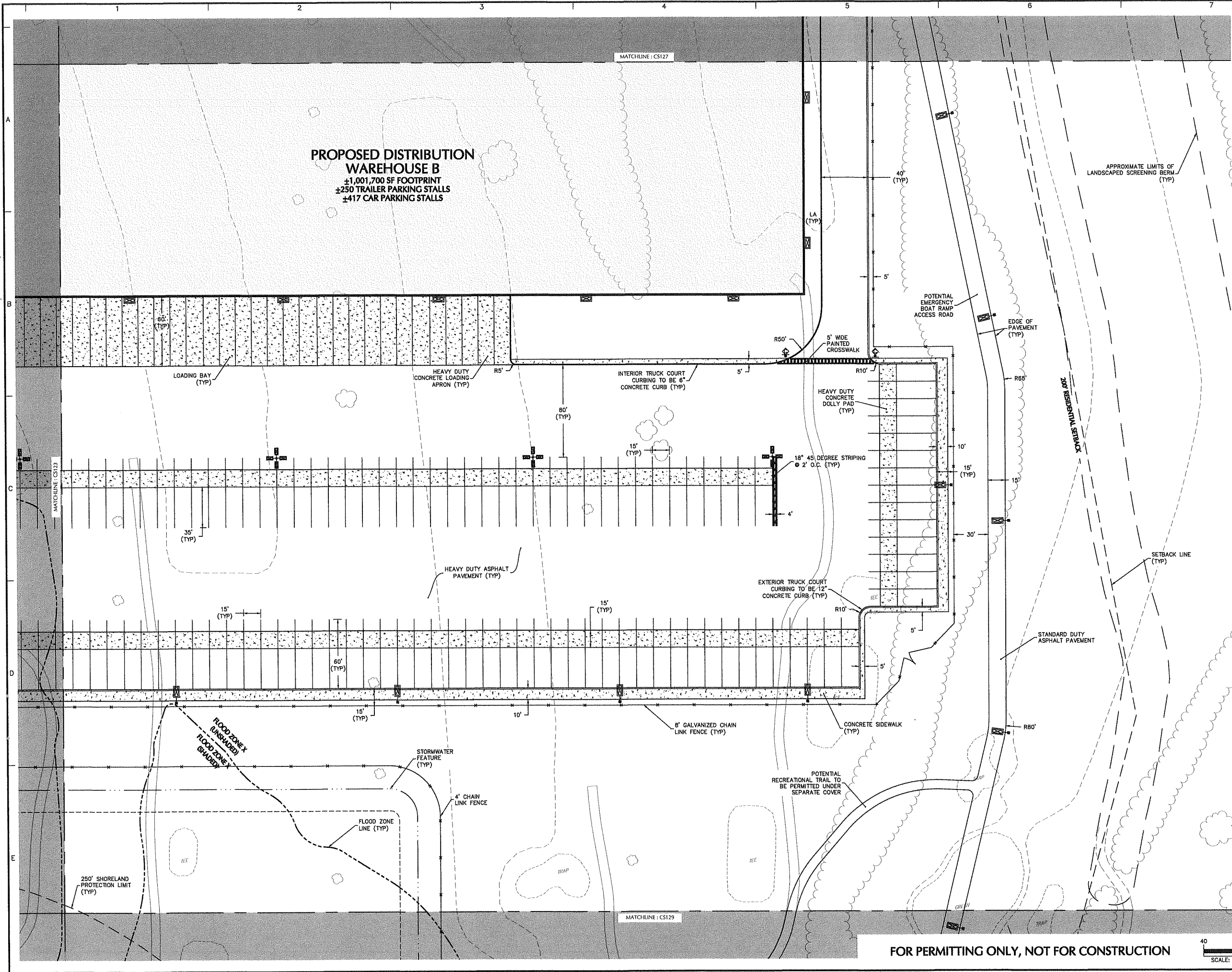




Date	Description	No.
Revisions		
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Project HUDSON LOGISTICS CENTER MAP No. 239, LOT No. 1 HUDSON NEW HAMPSHIRE		
Drawing Title SITE PLAN XXVII		
Project No.	Drawing No.	
151010101	CS127	
Date	04-21-2020	
Drawn By	CLR	
Checked By	NLK	

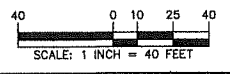
FOR PERMITTING ONLY, NOT FOR CONSTRUCTION

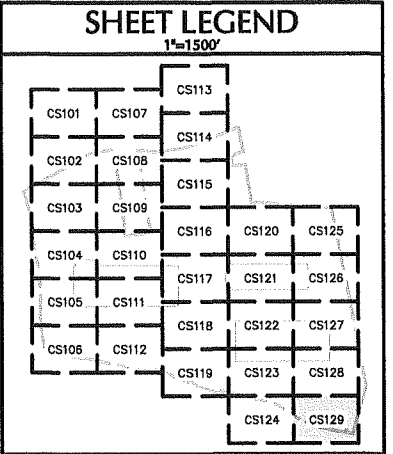
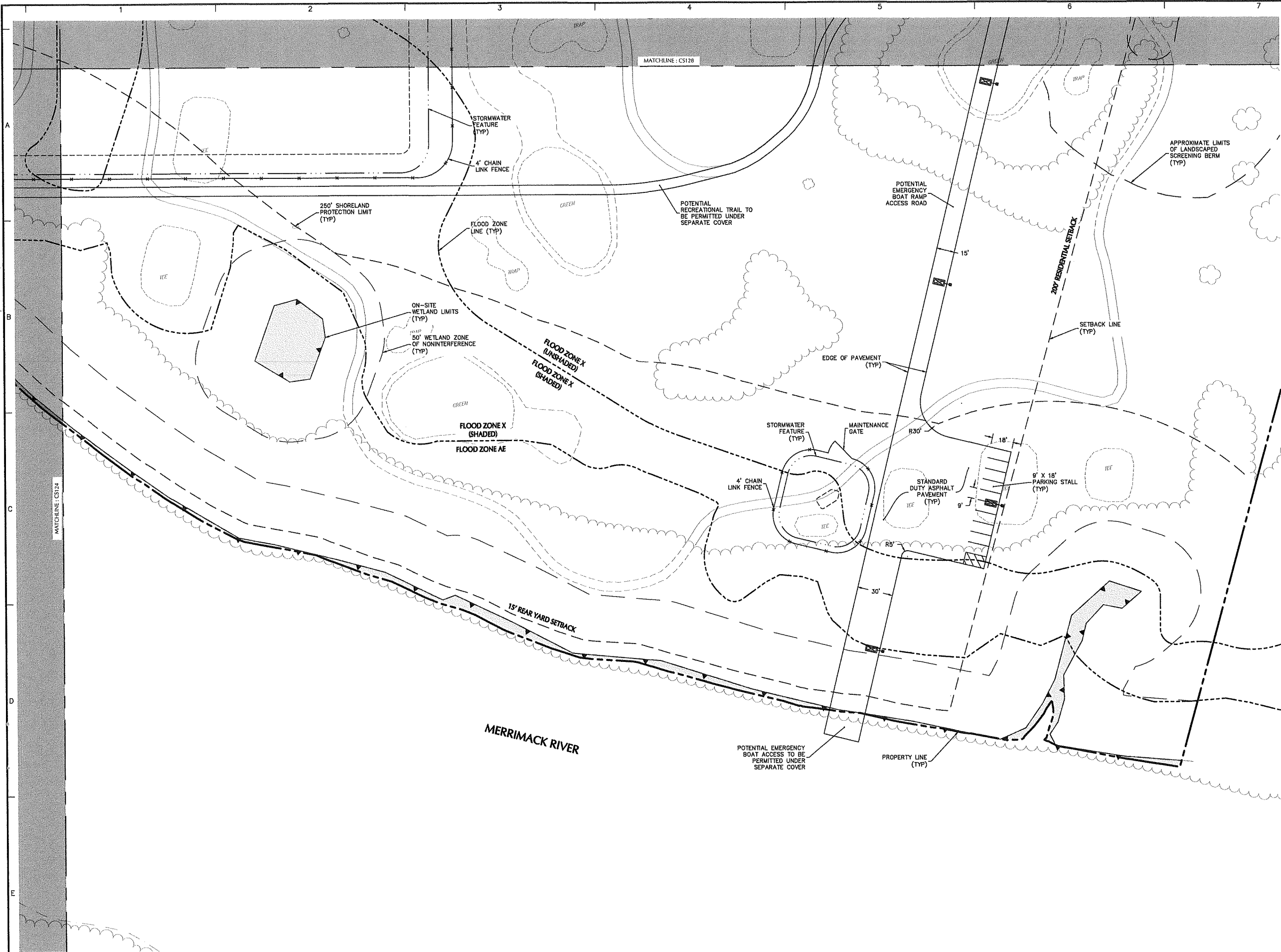




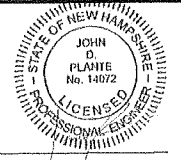
Date	Description	No.
Revisions		
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Project		
HUDSON LOGISTICS CENTER MAP No. 239, LOT No. 1		
HUDSON NEW HAMPSHIRE		
Drawing Title		
SITE PLAN XXVIII		
Project No.	Drawing No.	
151010101	CS128	
Date	04-21-2020	
Drawn By	CLR	
Checked By	NLK	

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Revisions		



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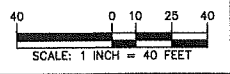
T: 617.824.9100 F: 617.824.9101 www.langan.com

Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

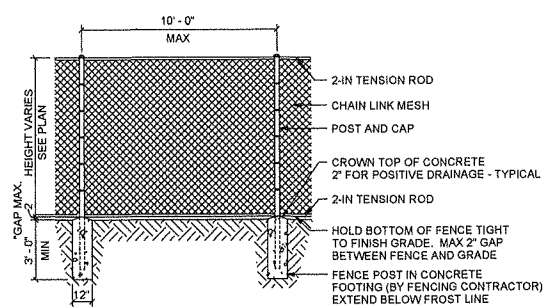
HUDSON NEW HAMPSHIRE
Drawing Title
SITE PLAN XXIX

Project No. 151010101	Drawing No. CS129
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

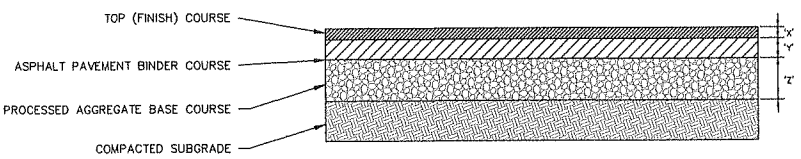
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ASPHALT SECTION	SURFACE COURSE - 'X'	BINDER COURSE - 'Y'	SUBBASE - 'Z'
STANDARD DUTY (CAR PARKING AREAS)	2 INCHES	2 INCHES	8 INCHES
HEAVY DUTY (DRIVE AISLES & TRUCK AREAS)	2 INCHES	3 INCHES	6 INCHES

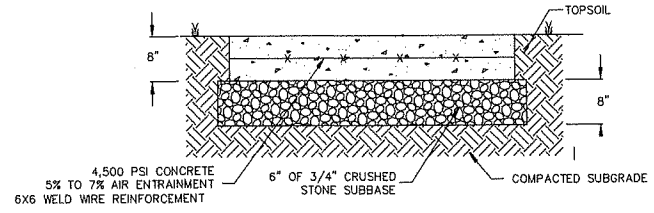


1 CHAIN LINK FENCE
N.T.S.



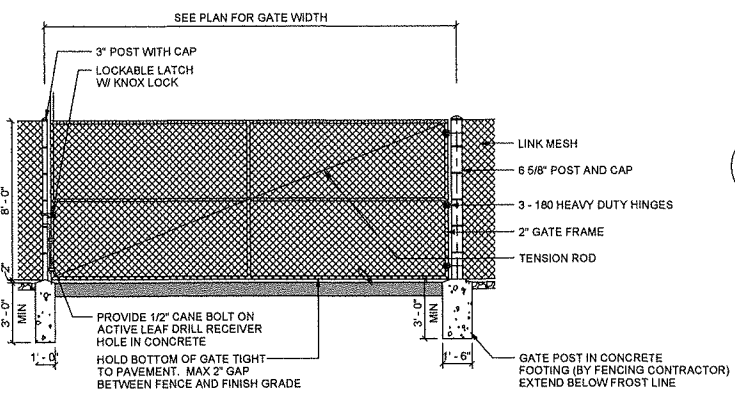
NOTES:
 1. PAVING COURSES SHALL BE CONSTRUCTED IN LAYERS NOT LESS THAN 1.5 INCHES THICK PER LIFT.
 2. ALL AREAS TO BE PAVED SHALL BE PROOFROLLED WITH AT LEAST 4 PASSES OF A SMOOTH ROLLER HAVING A MINIMUM STATIC DRUM WEIGHT OF 10 TONS. ANY SOFT AREAS SHALL BE REMOVED AND REPLACED WITH CLEAN, GRANULAR, FREE-DRAINING SOIL. FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 12-INCHES AND SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE GEOTECHNICAL REPORT.

2 ASPHALT PAVEMENT
N.T.S.

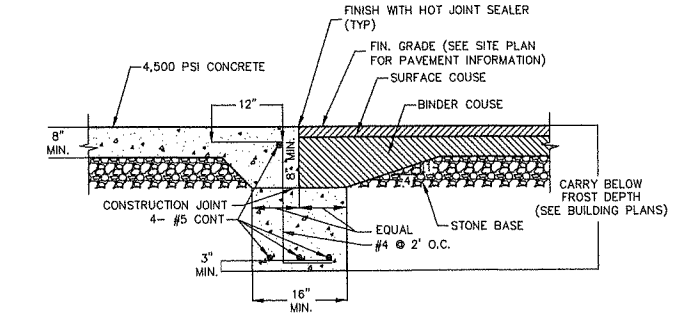


NOTES:
 1. SURFACE TEXTURE SHALL BE A LIGHT BROOMING. CARE SHALL BE TAKEN TO ASSURE UNIFORM GRADE, FREE OF SAGS AND SHORT GRADE CHANGES.
 2. SEE DRAWING CS101 FOR LOCATION AND DIMENSIONS

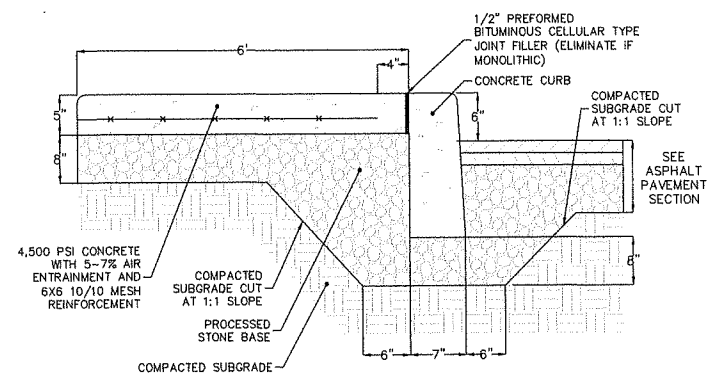
3 CONCRETE PAD
N.T.S.



4 CHAIN LINK SWING GATE
N.T.S.

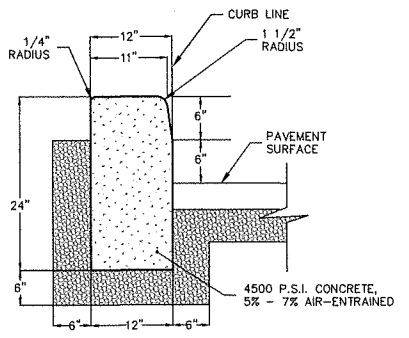


5 ASPHALT PAVEMENT/CONCRETE PAD INTERFACE
N.T.S.



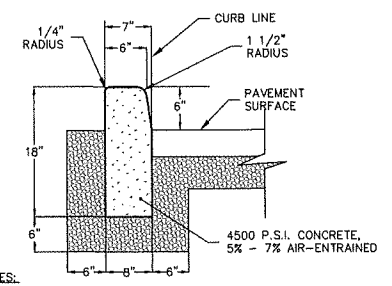
NOTES:
 1. SURFACE TEXTURE SHALL BE A LIGHT BROOMING, TRANSVERSE TO THE LENGTH OF THE WALK.
 2. CARE SHALL BE TAKEN TO ASSURE A UNIFORM GRADE, FREE OF SAGS AND SHORT GRADE CHANGES.
 3. CONTROL JOINTS SHALL BE SPACED EQUAL TO THE WIDTH BUT SHALL NOT EXCEED 6 FT. WITHOUT REINFORCING.
 4. REFERENCE SITE PLAN FOR LOCATION OF EXPANSION JOINTS.
 5. PROCESSED AGGREGATE SHALL CONFORM TO NH D.O.T. SPECIFICATIONS.

7 MONOLITHIC CONCRETE SIDEWALK
N.T.S.



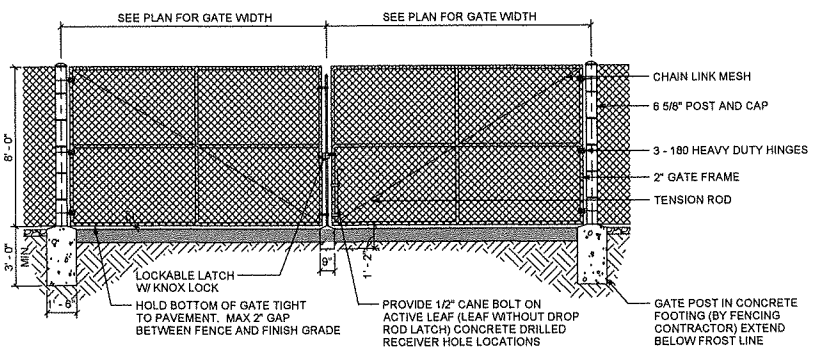
NOTES:
 1. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB AT 20 FOOT INTERVALS AND SHALL BE FILLED WITH PREFORMED BITUMINOUS JOINT FILLER.
 2. ALL CURBS SHALL BE INSTALLED ON AN APPROVED, COMPACTED SUBGRADE. A MINIMUM OF SIX INCHES OF PROCESS AGGREGATE SHALL BE INSTALLED AS THE SUBBASE.

8 12-INCH CONCRETE CURB
N.T.S.

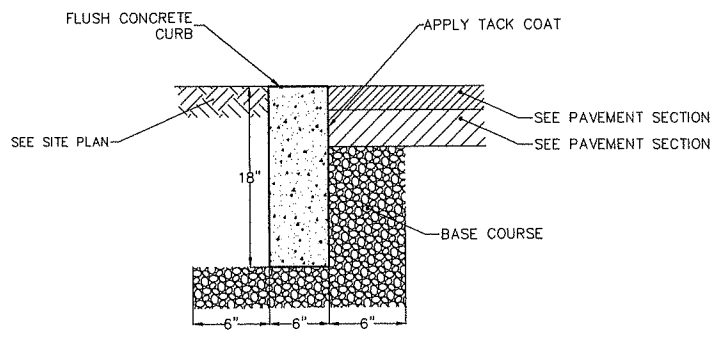


NOTES:
 1. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB AT 20 FOOT INTERVALS AND SHALL BE FILLED WITH PREFORMED BITUMINOUS JOINT FILLER.
 2. ALL CURBS SHALL BE INSTALLED ON AN APPROVED, COMPACTED SUBGRADE. A MINIMUM OF SIX INCHES OF PROCESS AGGREGATE SHALL BE INSTALLED AS THE SUBBASE.

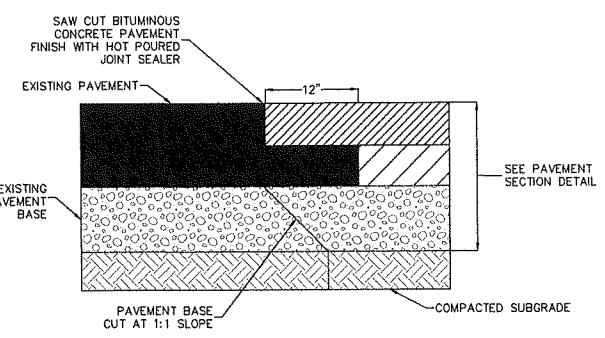
9 6-INCH CONCRETE CURB
N.T.S.



6 CHAIN LINK DOUBLE SWING GATE
N.T.S.



10 FLUSH CURB
N.T.S.

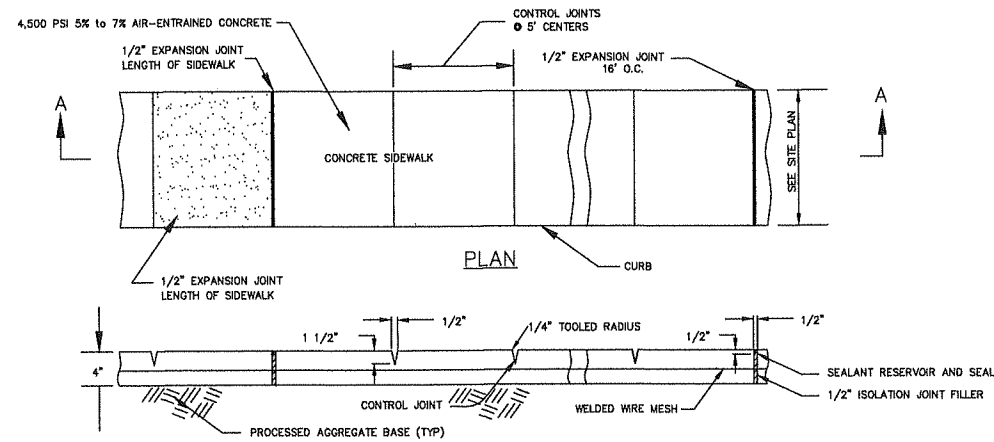


NOTES:
 1. CONTRACTOR TO INSTALL TACK COAT ON ALL BUTT EDGES OF EXISTING PAVEMENT

11 SAW CUT PAVEMENT SECTION
N.T.S.

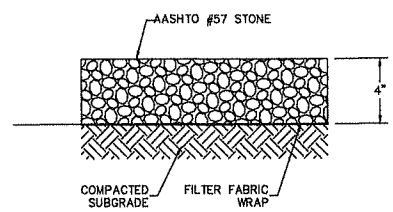
Date	Description	No.
Revisions		
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Project		
HUDSON LOGISTICS CENTER MAP No. 239, LOT No. 1		
HUDSON NEW HAMPSHIRE		
Drawing Title		
SITE DETAILS I		
Project No.	151010101	Drawing No.
Date	04-21-2020	CS501
Drawn By	CLR	
Checked By	NLK	

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NOTES:
 1) ALL SIDEWALKS SHALL BE FLOATED, TOOLED, AND MEDIUM-BROOM BRUSHED.
 2) SIDEWALKS SHALL BE INSTALLED ON AN APPROVED, COMPACTED SUBGRADE.
 3) SIDEWALK TO BE REINFORCED WITH 6X6 WELDED WIRE MESH.

1 ON-SITE CONCRETE SIDEWALK
N.T.S.

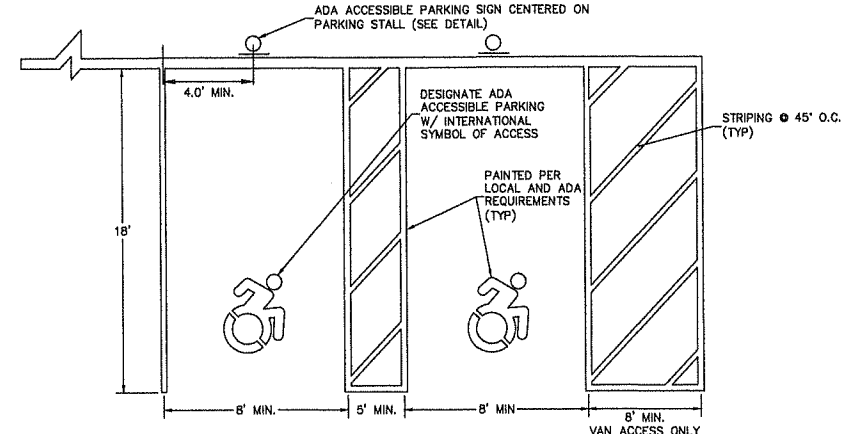


4 GRAVEL SIDEWALK
N.T.S.



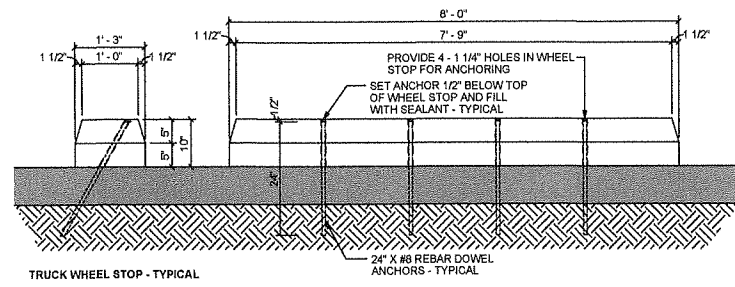
4'-0" X 4'-0"
 PAVEMENT GRAPHICS- STANDARD ACCESSIBLE PARKING SPACE. USE AT ALL ACCESSIBLE PARKING SPACES. THERMAL APPLIED GRAPHICS, WHITE SYMBOL WITH BLUE BACKGROUND.

4'-0" X 5'-5 1/2"
 PAVEMENT GRAPHICS- VAN ACCESSIBLE PARKING SPACE. THERMAL APPLIED GRAPHICS, WHITE SYMBOL WITH BLUE BACKGROUND AND WHITE TEXT (BLACK INDICATES ASPHALT).



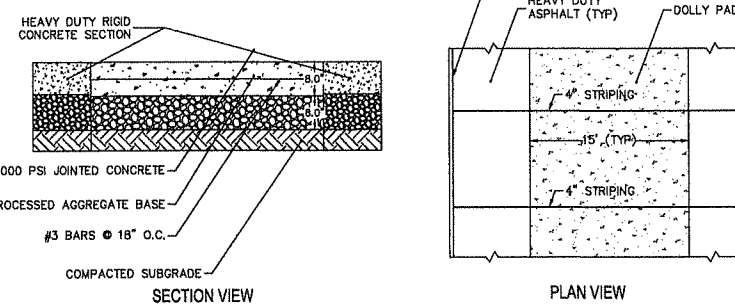
NOTES:
 1. ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F, PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER.
 2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (ADA), THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, AND ALL STATE AND LOCAL REQUIREMENTS.
 3. TWO COATS OF EPOXY PAINT SHALL BE USED FOR PARKING STALL STRIPING. ALLOW FOR A MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.

7 ADA STALL STRIPING
N.T.S.



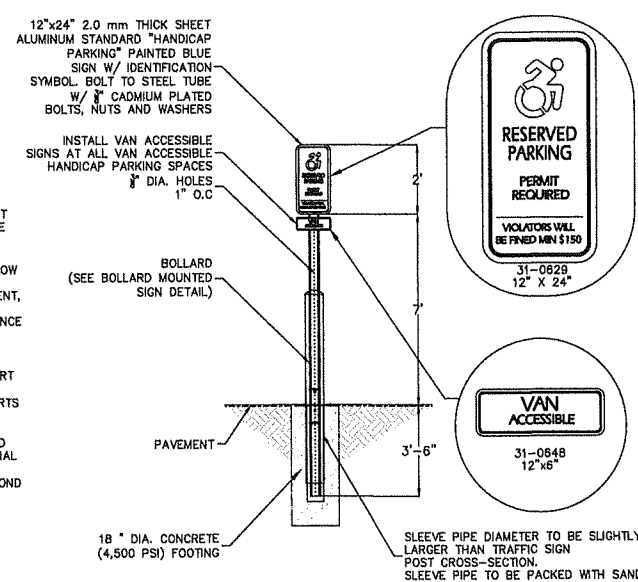
NOTES:
 1) CONCRETE WHEEL STOPS TO BE PAINTED SAFETY YELLOW.
 2) WHEEL STOPS ARE NOT REQUIRED AT DOCK DOOR LOCATIONS THAT HAVE DOCK SEAL/CUSHION SYSTEMS.
 3) IF PARKING SLIP CURB IS 8-IN OR HIGHER WITH STANDOFF DISTANCE OF 6-FT OR MORE FROM OBJECTS SUCH AS FENCES THEN WHEEL STOPS ARE NOT REQUIRED.

2 TRUCK WHEEL STOP
N.T.S.



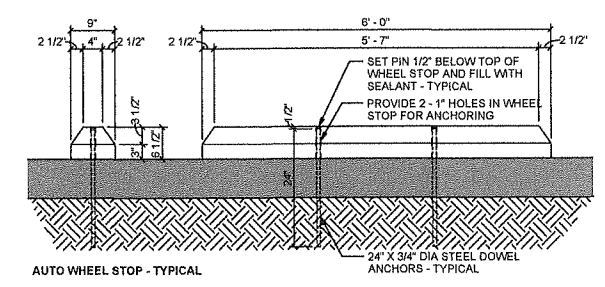
NOTES:
 1. 4,000 PSI CONCRETE WITH 4% TO 7% AIR ENTRAINMENT.
 2. SURFACE TEXTURE SHALL BE A LIGHT BROOMING. CARE SHALL BE TAKEN TO ASSURE UNIFORM GRADE, FREE OF SAGS AND SHORT GRADE CHANGES.
 3. SEE DRAWING CS101 FOR LOCATION AND DIMENSION.

5 CONCRETE DOLLY PAD
N.T.S.



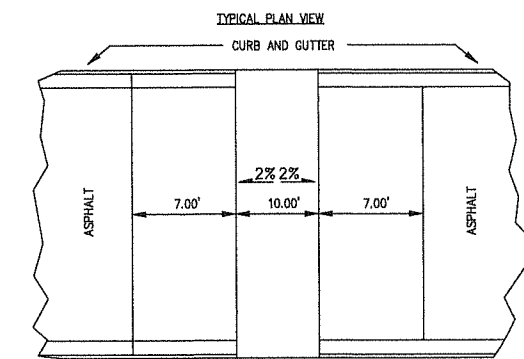
HANDICAPPED PARKING SIGN SHALL CONFORM WITH CURRENT STATE & LOCAL CODES AND REGULATIONS.

8 ACCESSIBLE PARKING SIGN
N.T.S.



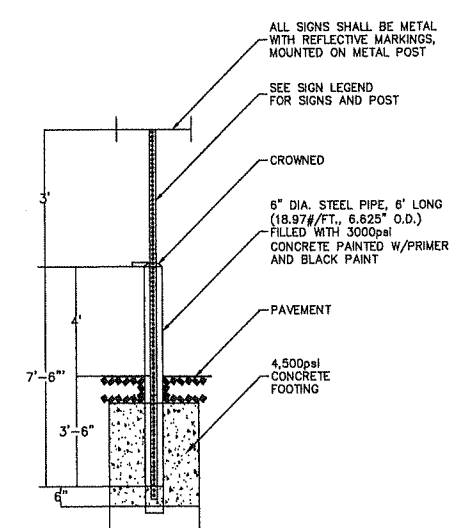
NOTES:
 1) CONCRETE WHEEL STOPS TO BE PAINTED SAFETY YELLOW.

3 AUTO WHEEL STOP
N.T.S.



CHANGE IN GRADE AT PEDESTRIAN TABLE RAMPS SHALL BE 3.33% +/- .25%

6 PEDESTRIAN TABLE
N.T.S.

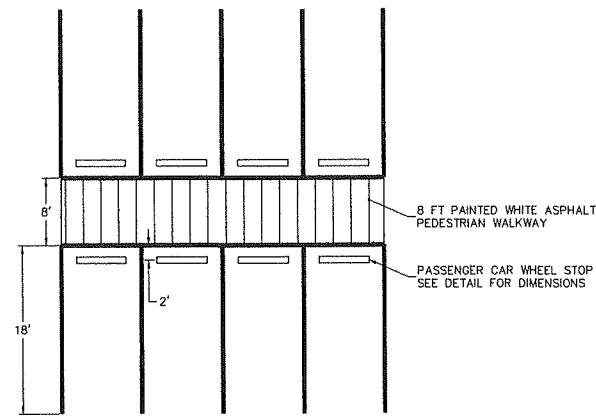


NOTES:
 1. PAINT PRIME AND FINISH COATS TO BE COMPATIBLE WITH EXTERIOR METAL SURFACES. COLOR SHALL BE PROVIDED OWNER/ARCHITECT

9 BOLLARD MOUNTED SIGN
N.T.S.

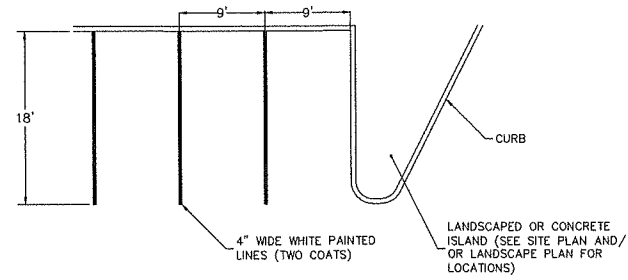
Date	Description	No.
Revisions		
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HUDSON LOGISTICS CENTER MAP No. 239, LOT No. 1		
Drawing Title		
SITE DETAILS II		
Project No.	Drawing No.	
151010101	CS502	
Date	04-21-2020	
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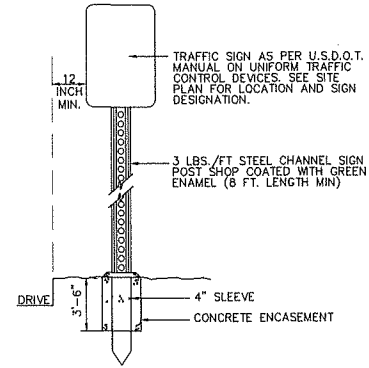
NOTES:
1. TWO COATS OF EPOXY PAINT SHALL BE USED FOR PARKING STALL STRIPING. ALLOW FOR A MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.

1 AUTO WHEEL STOP LOCATION DETAIL
N.T.S.



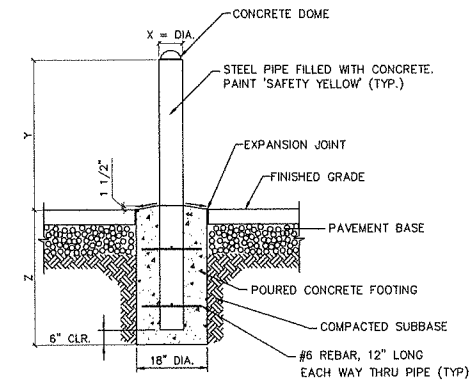
NOTES:
1. ALL PAINT SHALL BE SHERWIN-WILLIAMS "SETFAST" PAINT, #TM2160 - WHITE
2. APPLY 2 COATS OF TRAFFIC TYPE PAINT. APPLY THE FIRST COAT NOT LESS THAN 5 DAYS AFTER THE PLACING OF BITUMINOUS PAVEMENT APPLY SECOND COAT JUST PRIOR TO BUILDING OPENING.

2 PARKING STALL STRIPING
N.T.S.



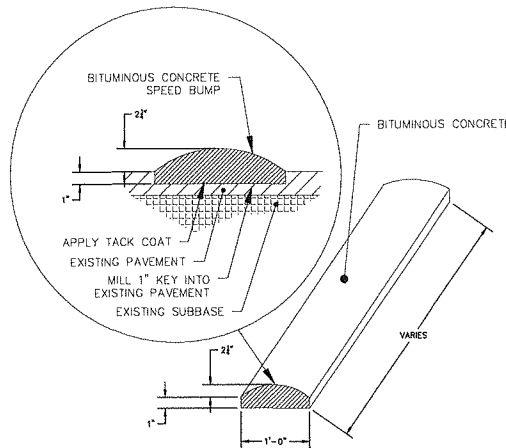
GENERAL NOTES:
1. ALL SIGNS SHALL BE ERECTED WITH THE BOTTOM OF THE SIGN NOT LESS THAN 6 FEET ABOVE THE PAVEMENT OR GROUND.
2. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
3. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM WITH THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
4. SIGNS 36" OR GREATER SHALL REQUIRE TWO SIGN POSTS.

3 SIGNS
N.T.S.

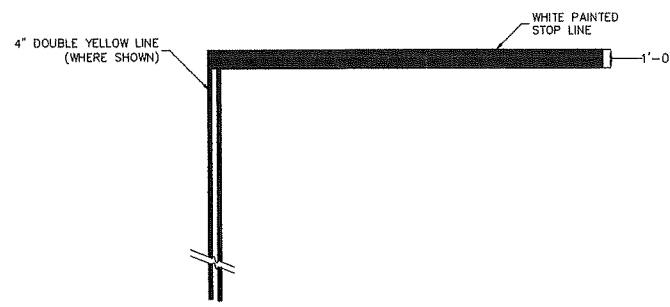


BOLLARD LOCATION	X	Y	Z
TRANSFORMER	6 IN	5 FT	5.5 FT
GUARDHOUSE	8 IN	4 FT	3.5 FT
OTHER	6 IN	4 FT	3.5 FT

4 STEEL BOLLARD
N.T.S.

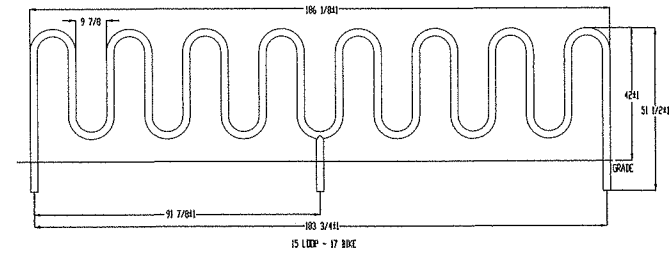


5 BITUMINOUS CONCRETE SPEED BUMP
N.T.S.



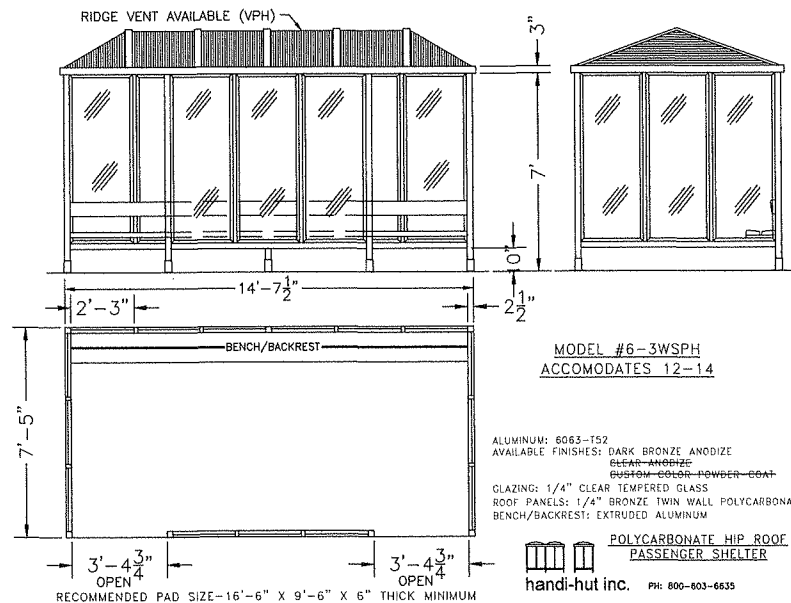
NOTES:
1. PAVEMENT MARKING TO BE INSTALLED AT EACH STOP BAR LOCATION SHOWN ON THE PLANS, EXCLUDING ROADWAYS.

6 STOP BAR
N.T.S.



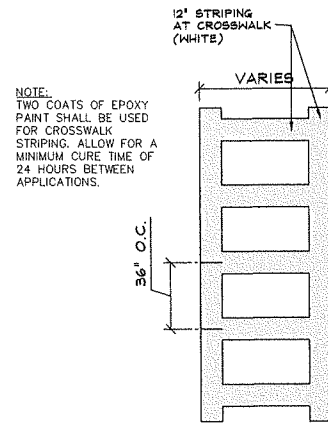
NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS
2. CONSULTANT TO SELECT COLOR OF BIKE RACK. SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT BANNER.
4. BIKE RACKS SHALL BE POWDER COATED BLACK.

7 BIKE RACK (MODEL HW238-17-IG)
N.T.S.



MODEL #6-3WSPH
ACCOMMODATES 12-14
ALUMINUM: 6063-T52
AVAILABLE FINISHES: DARK BRONZE ANODIZE
CLEAR ANODIZE
CUSTOM COLOR POWDER COAT
GLAZING: 1/4" CLEAR TEMPERED GLASS
ROOF PANELS: 1/4" BRONZE TWIN WALL POLYCARBONATE
BENCH/BACKREST: EXTRUDED ALUMINUM
POLYCARBONATE HIP ROOF PASSENGER SHELTER
handi-hut inc. PH: 800-603-6635

8 PASSENGER SHELTER
N.T.S.

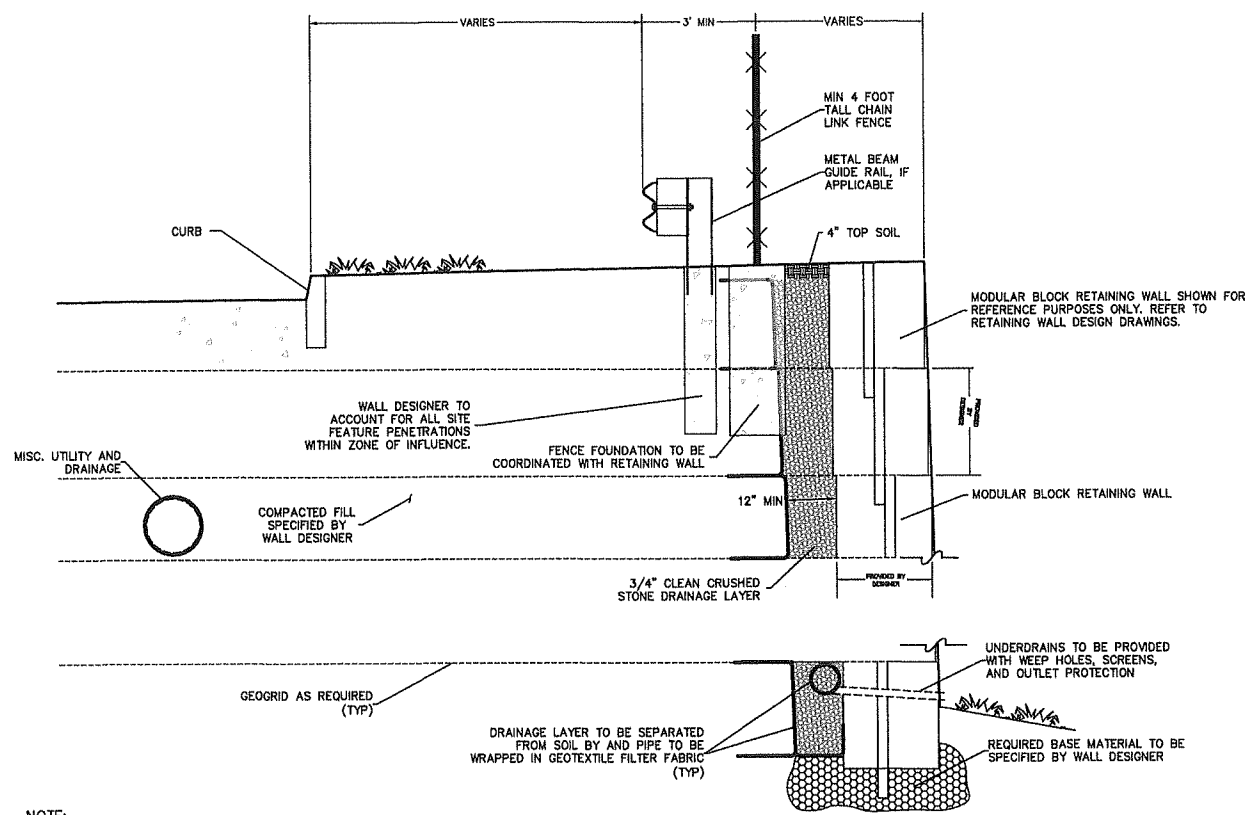


NOTE:
TWO COATS OF EPOXY PAINT SHALL BE USED FOR CROSSWALK STRIPING. ALLOW FOR A MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.

9 CROSSWALK
N.T.S.

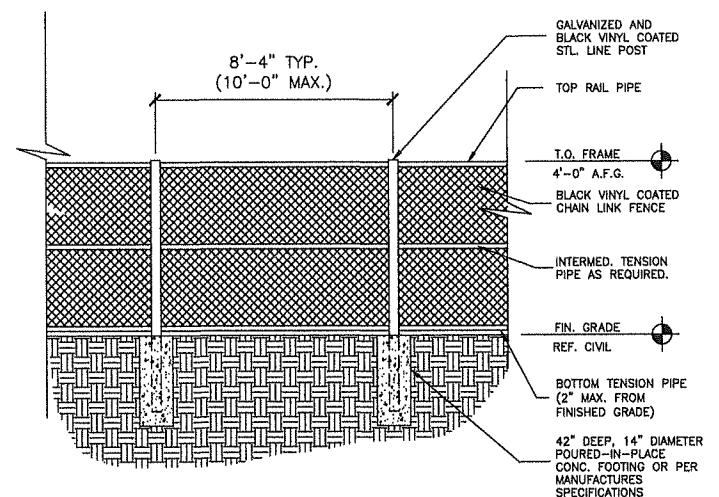
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HUDSON NEW HAMPSHIRE		
Drawing Title		
SITE DETAILS III		
Project No.	Drawing No.	
151010101	CS503	
Date	04-21-2020	
Drawn By	CLR	
Checked By	NLK	



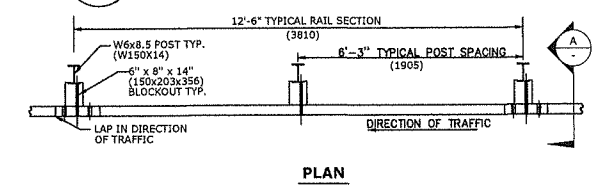
NOTE:
 1. DETAIL IS SHOWN FOR GENERAL CONCEPT OF A GEOGRID REINFORCED MODULAR BLOCK RETAINING WALL.
 2. ALL MODULAR BLOCK RETAINING WALLS THREE FEET OR GREATER IN EXPOSED HEIGHT MUST BE DESIGNED AND CERTIFIED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE, MUST BE BASED ON SITE SPECIFIC PROJECT LOADING CONDITIONS (SURCHARGE, ETC.), ARE SUBJECT TO BUILDING CODE AND LOCAL BUILDING PERMITS.
 3. MODULAR BLOCK RETAINING WALL SHOWN FOR REFERENCE PURPOSES ONLY. REFER TO RETAINING WALL DESIGN DRAWINGS.
 4. SUBGRADE TO BE PREPARED IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS PRIOR TO WALL CONSTRUCTION AND FILL PLACEMENT.
 5. REQUIREMENTS FOR WALL BASE MATERIAL, FILL MATERIAL, AND WALL AND GEOGRID TO BE PROVIDED BY THE RETAINING WALL DESIGNER.
 6. RETAINING WALL DESIGNER IS RESPONSIBLE FOR INTERNAL STABILITY ANALYSIS, EXTERNAL STABILITY ANALYSIS, AND ESTABLISHING A DESIGN GROUNDWATER ELEVATION FOR THE WALL BASED ON PROPOSED CONSTRUCTION ACTIVITIES, SITE INFILTRATION, AND DRAINAGE.
 7. INSPECTIONS ARE TO BE CONDUCTED IN ACCORDANCE WITH PROJECT DOCUMENTS AND THE SCHEDULE OF SPECIAL INSPECTIONS TO INCLUDE SUBGRADE, BACKFILL, GEOGRID, BLOCK TYPE, AND DRAINAGE.

1 TYPICAL RETAINING WALL SECTION (FOR REFERENCE ONLY)
N.T.S.

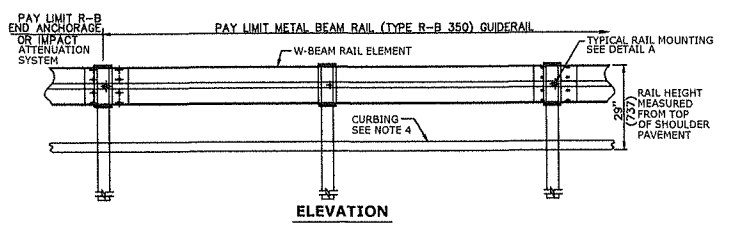


NOTES:
 1. FENCE AND POSTS TO BE GALVANIZED AND BLACK VINYL COATED.

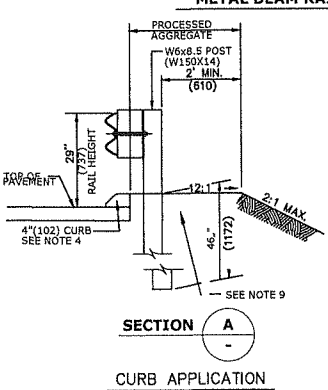
2 4 FT CHAIN LINK FENCE
N.T.S.



PLAN

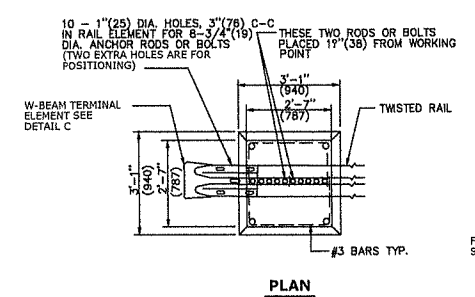


ELEVATION

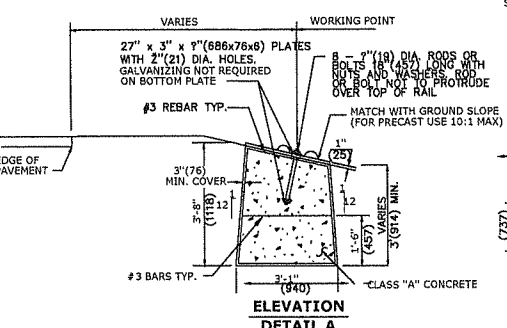


SECTION A

CURB APPLICATION



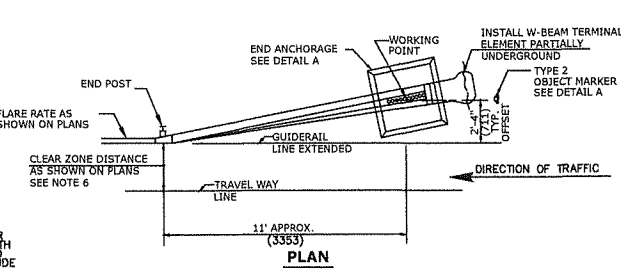
PLAN



ELEVATION

ROADSIDE CONCRETE END ANCHOR

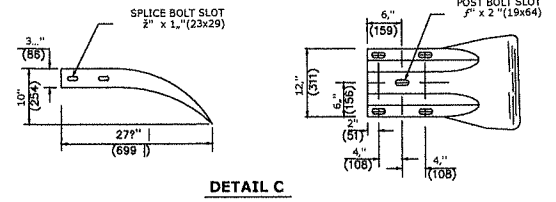
SEE NOTE 4



ELEVATION

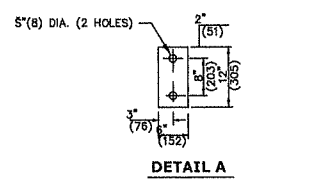
R-B END ANCHORAGE TYPE II

SEE NOTE 2



DETAIL C

W-BEAM TERMINAL ELEMENT

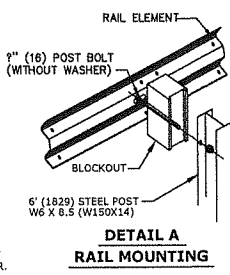


DETAIL A

TYPE 2 OBJECT MARKER

SIGN # 51-5030

OBJECT MARKER FACE SHALL BE YELLOW TYPE III RETROREFLECTORIZED. THE BOTTOM OF TYPE 2 OBJECT MARKER SHALL BE 4 1/2 INCHES ABOVE GROUND LEVEL MOUNTED ON METAL DELINEATOR POST. IT SHALL BE USED TO IDENTIFY CULVERT ENDS AND TYPE II END ANCHORS, OR AS DIRECTED BY THE ENGINEER.



DETAIL A

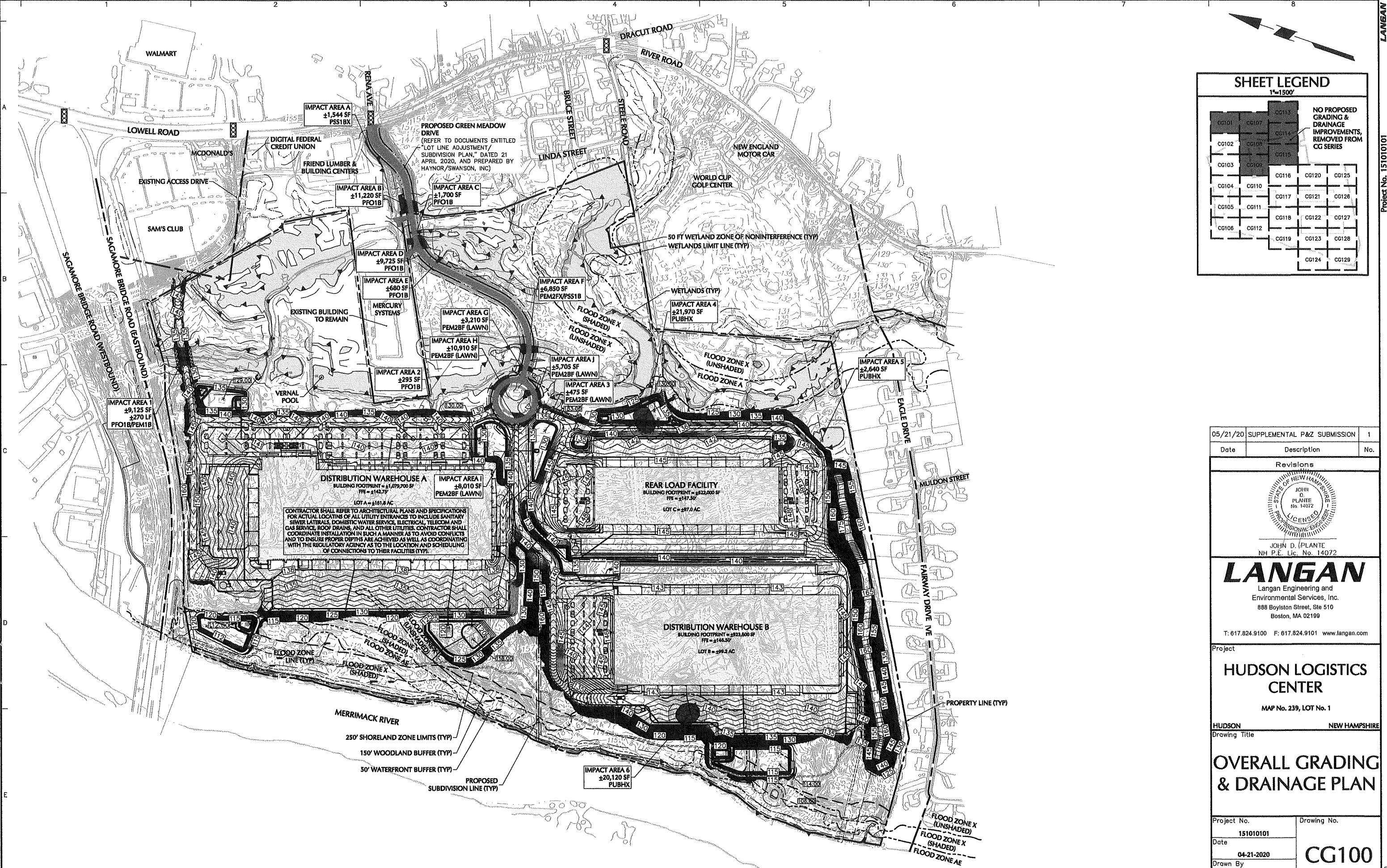
RAIL MOUNTING

3

METAL BEAM GUIDE RAIL
N.T.S.

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Project		
HUDSON LOGISTICS CENTER MAP No. 239, LOT No. 1 HUDSON NEW HAMPSHIRE		
Drawing Title		
SITE DETAILS IV		
Project No.	Drawing No.	
151010101	CS504	
Date	04-21-2020	
Drawn By	CLR	
Checked By	NLK	



SHEET LEGEND
1"=150'

CG101	CG107	CG113	NO PROPOSED GRADING & DRAINAGE IMPROVEMENTS, REMOVED FROM CG SERIES	
CG102	CG108	CG114		
CG103	CG109	CG115		
CG104	CG110	CG116	CG120	CG125
CG105	CG111	CG117	CG121	CG126
CG106	CG112	CG118	CG122	CG127
		CG119	CG123	CG128
			CG124	CG129

Date	Description	No.
05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1

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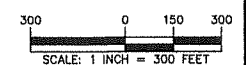
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE

Drawing Title
OVERALL GRADING & DRAINAGE PLAN

Project No. 151010101	Drawing No. CG100
Date 04-21-2020	
Drawn By CLR	
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SHEET LEGEND
1"=1500'

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CG102	CG108	CG114			
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CG104	CG110	CG116		CG120	CG125
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		CG119	CG123	CG128	
			CG124	CG129	

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Date	Description	No.

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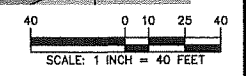
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MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title
GRADING & DRAINAGE PLAN II

Project No. 151010101	Drawing No. CG102
Date 04-21-2020	
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SHEET LEGEND
1"=1500'

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			CG124	CG129

05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.

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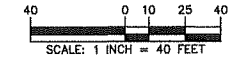
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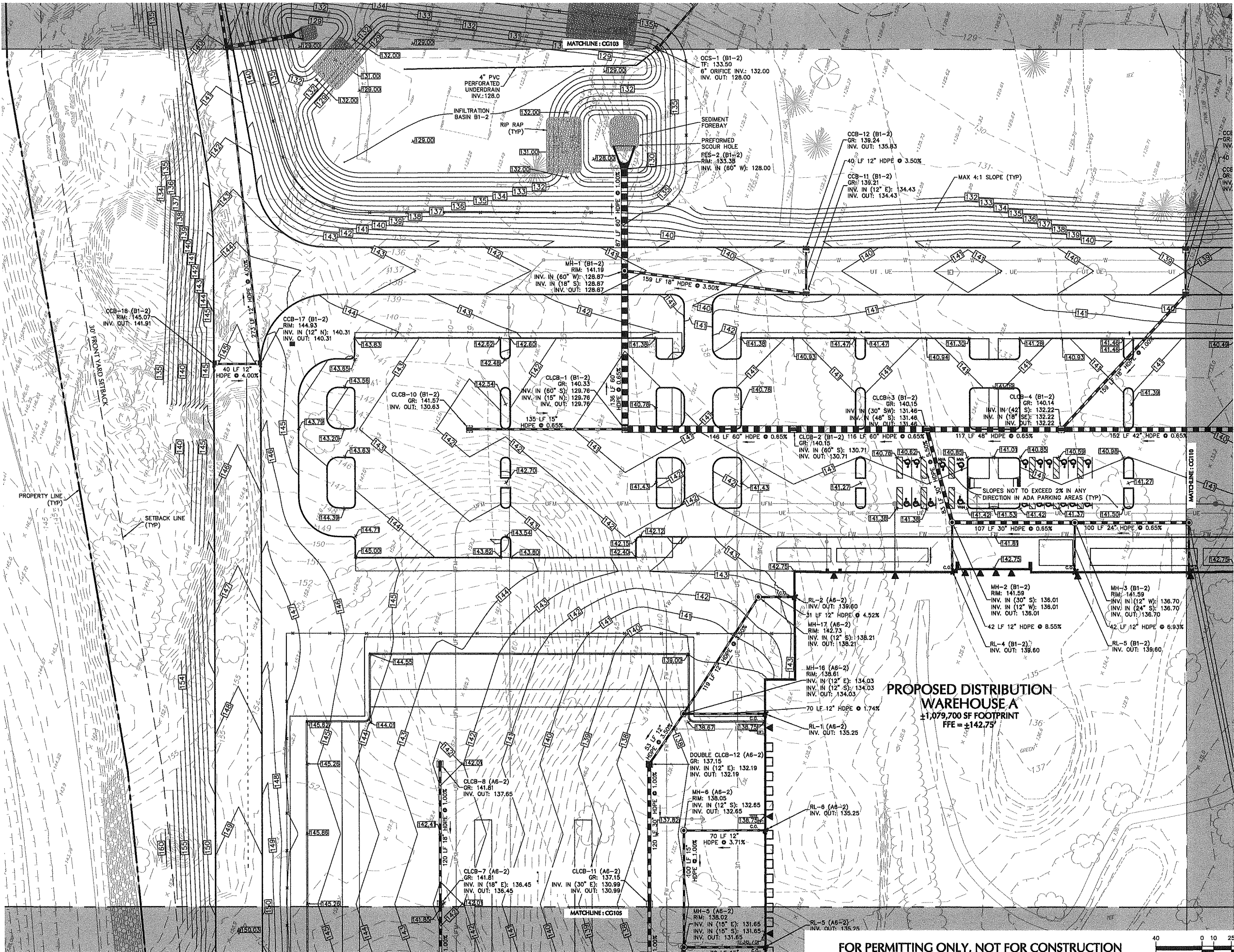
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title
GRADING & DRAINAGE PLAN III

Project No. 151010101	Drawing No. CG103
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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SHEET LEGEND
1"=150'

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		CG119	CG123	CG128
			CG124	CG129

05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.

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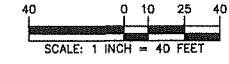
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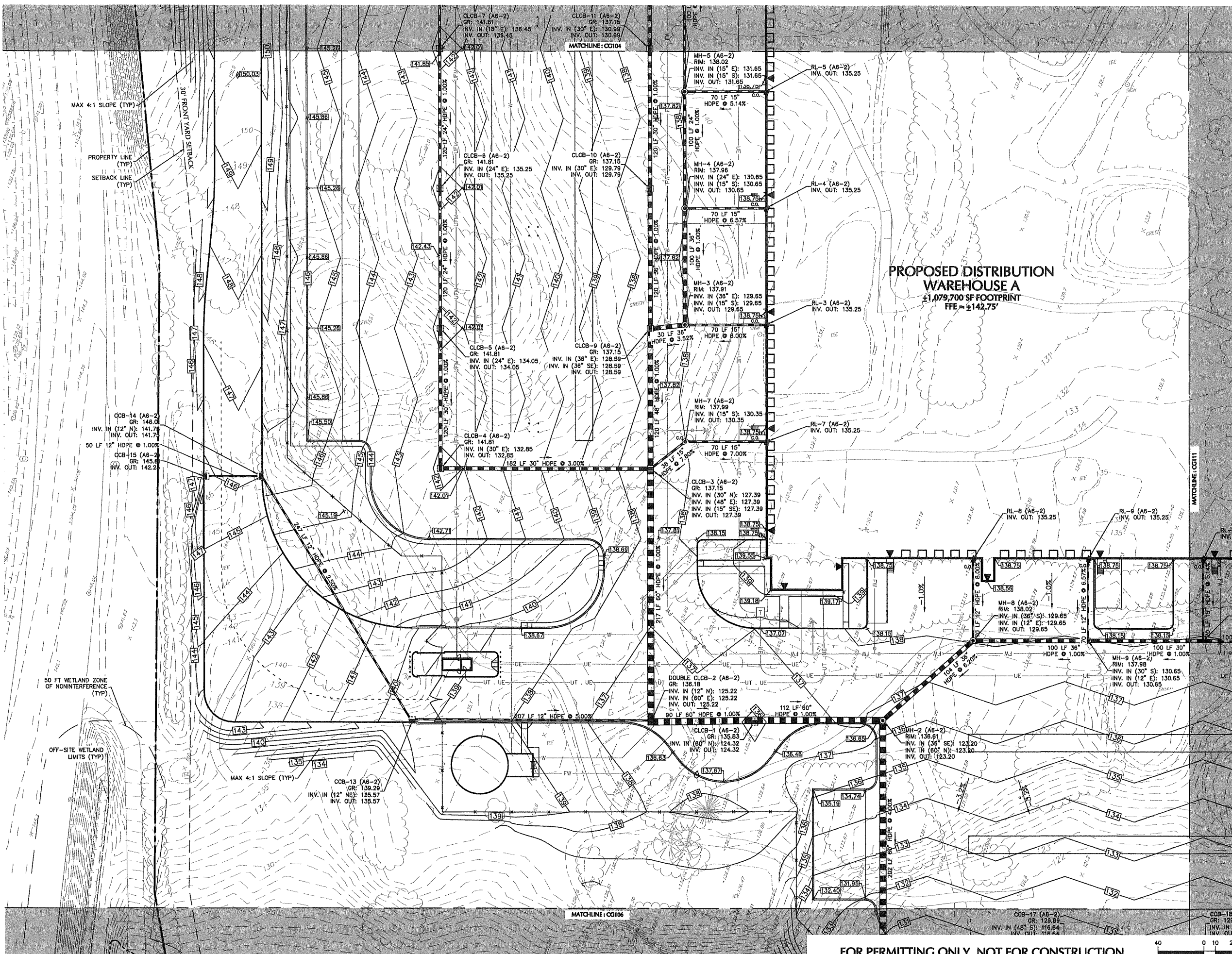
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE

Drawing Title
GRADING & DRAINAGE PLAN IV

Project No. 1510101	Drawing No. CG104
Date 04-21-2020	
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SHEET LEGEND
1"=1500'

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		CG124	CG129	

05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.

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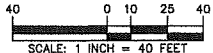
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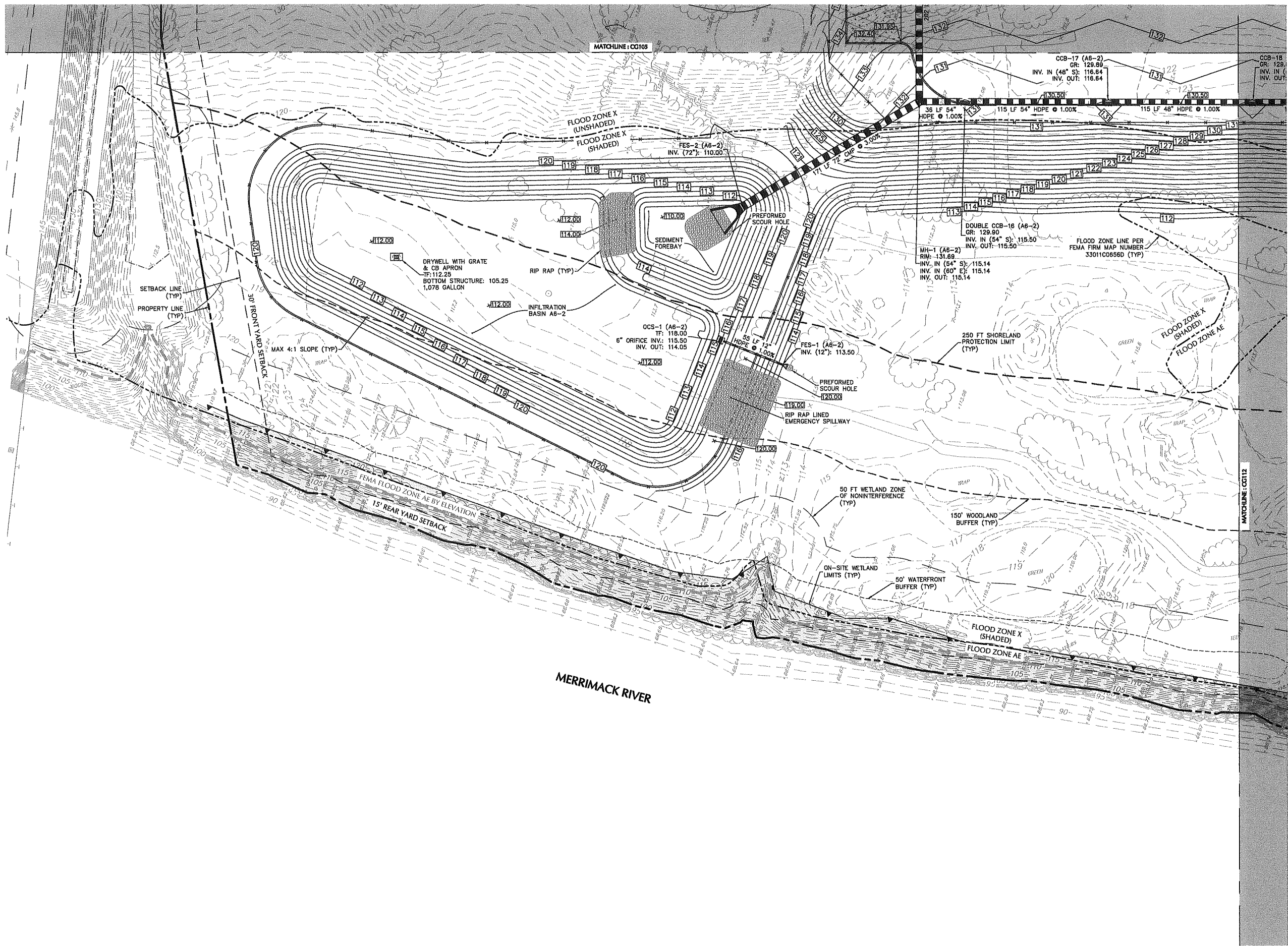
Project
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MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE

Drawing Title
GRADING & DRAINAGE PLAN V

Project No. 1510101	Drawing No. CG105
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1"=1500'

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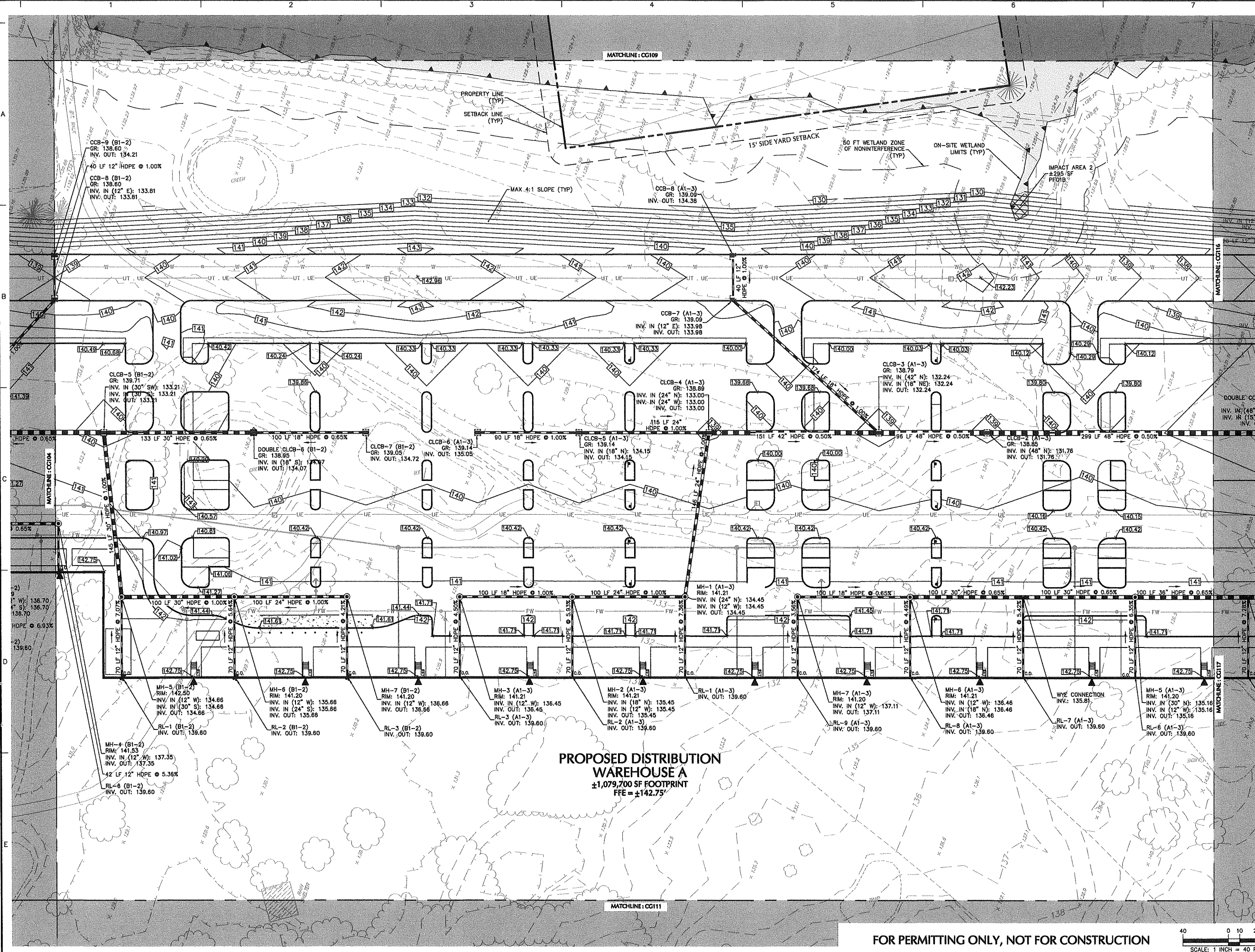
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title
GRADING & DRAINAGE PLAN VI

Project No. 151010101	Drawing No. CG106
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SHEET LEGEND
1"=1500'

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CG102	CG108	CG114		
CG103	CG109	CG115		
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			CG124	CG129

05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.

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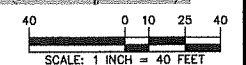
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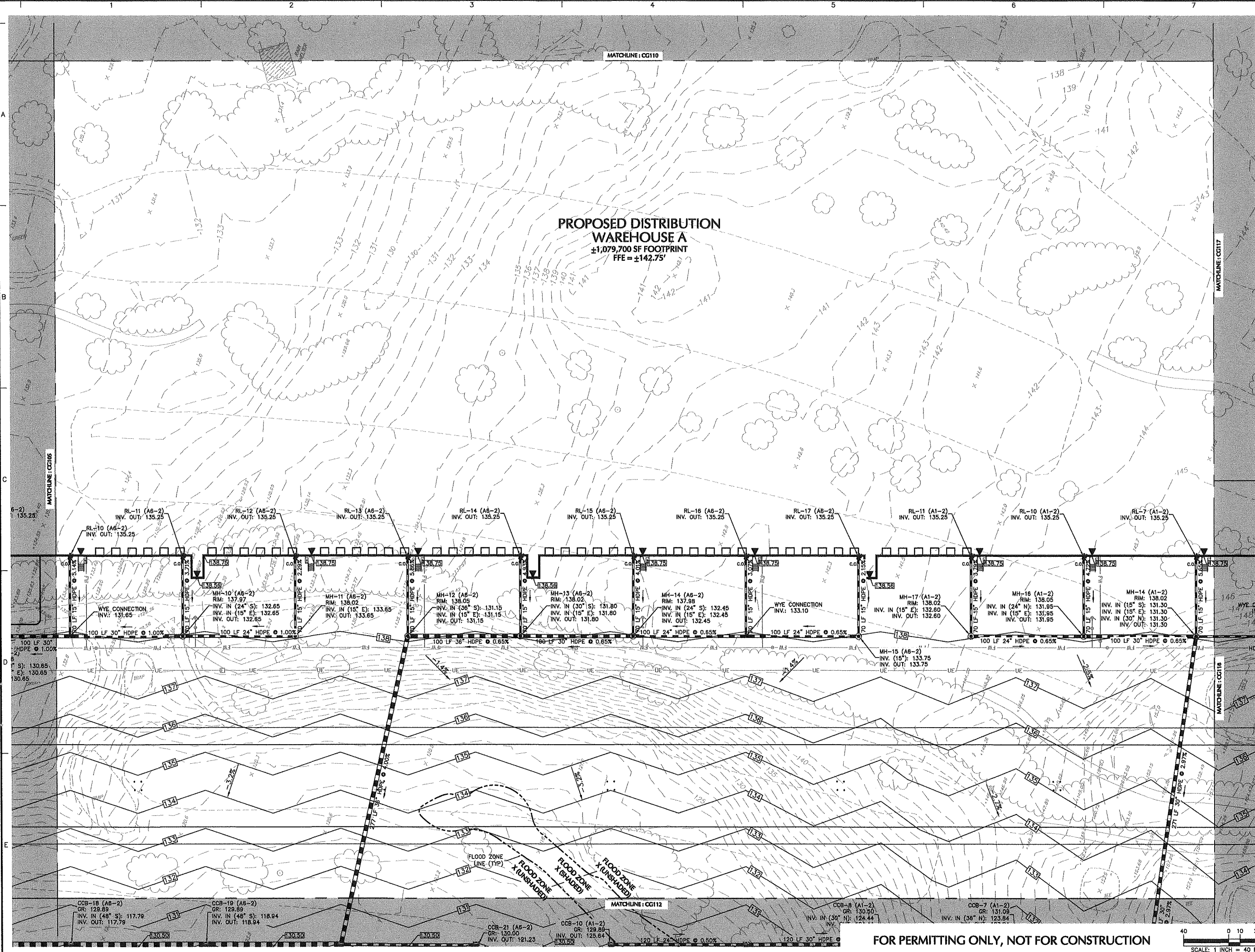
Project
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MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title
GRADING & DRAINAGE PLAN X

Project No. 151010101	Drawing No. CG110
Date 04-21-2020	
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SHEET LEGEND
1"=1500'

CG101	CG107	CG113	NO PROPOSED GRADING & DRAINAGE IMPROVEMENTS, REMOVED FROM CG SERIES	
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05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.

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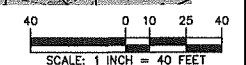
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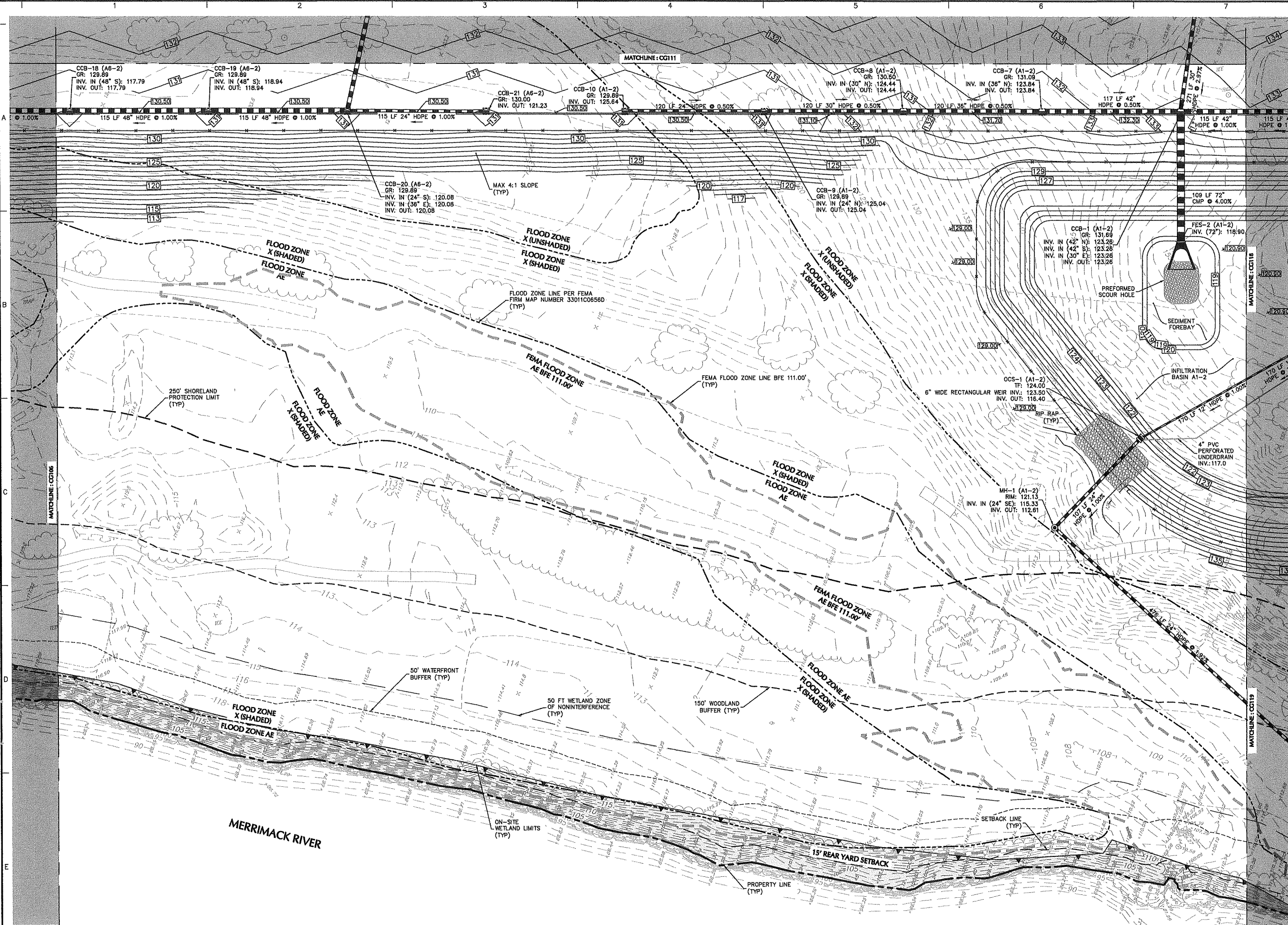
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title
GRADING & DRAINAGE PLAN XI

Project No. 151010101	Drawing No. CG111
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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SHEET LEGEND
1"=150'

CG101	CG107	CG113	NO PROPOSED GRADING & DRAINAGE IMPROVEMENTS, REMOVED FROM CG SERIES
CG102	CG108	CG114	
CG103	CG109	CG115	
CG104	CG110	CG116	
CG105	CG111	CG117	
CG106	CG112	CG118	
		CG119	
		CG120	
		CG121	
		CG122	
		CG123	
		CG124	
		CG125	
		CG126	
		CG127	
		CG128	
		CG129	

05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.

Revisions

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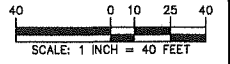
LANGAN
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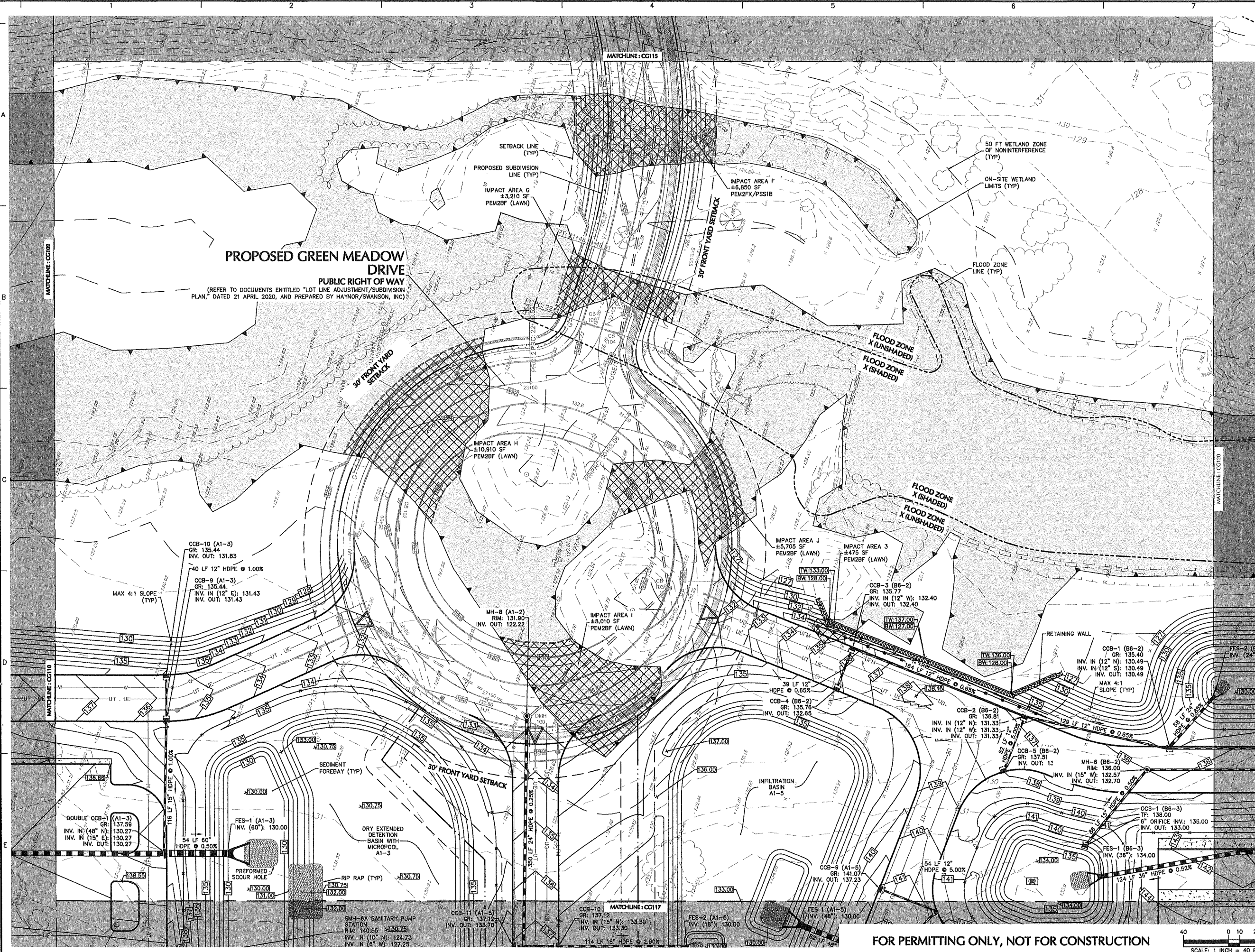
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE
Drawing Title

GRADING & DRAINAGE PLAN XII

Project No. 1510101	Drawing No. CG112
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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SHEET LEGEND
1"=1500'

CG101	CG107	CG113	NO PROPOSED GRADING & DRAINAGE IMPROVEMENTS, REMOVED FROM CG SERIES
CG102	CG108	CG114	
CG103	CG109	CG115	
CG104	CG110	CG116	
CG105	CG111	CG117	
CG106	CG112	CG118	
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		CG123	
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		CG126	
		CG127	
		CG128	
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05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.

Revisions

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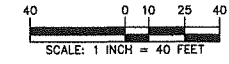
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Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title
GRADING & DRAINAGE PLAN XVI

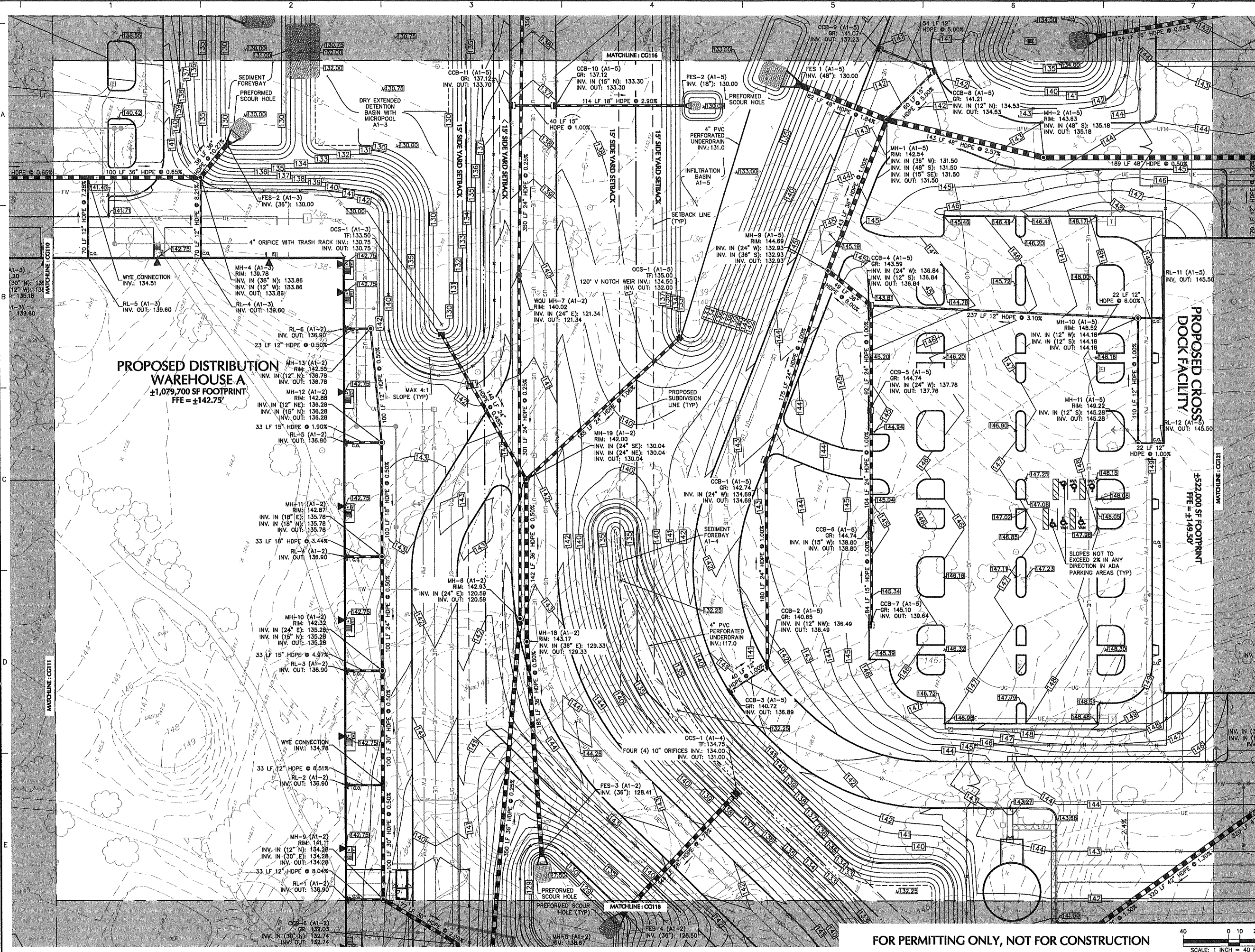
Project No.	151010101	Drawing No.	CG116
Date	04-21-2020	Checked By	CLR
Drawn By	CLR	Checked By	NLK

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Project No. 151010101

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SHEET LEGEND
1"=1500'

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CG102	CG108	CG114		
CG103	CG109	CG115		
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CG105	CG111	CG117	CG121	CG126
CG106	CG112	CG118	CG122	CG127
		CG119	CG123	CG128
		CG124	CG129	

05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.
Revisions		
JOHN D. PLANTE NH P.E. Lic. No. 14072		

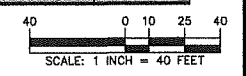
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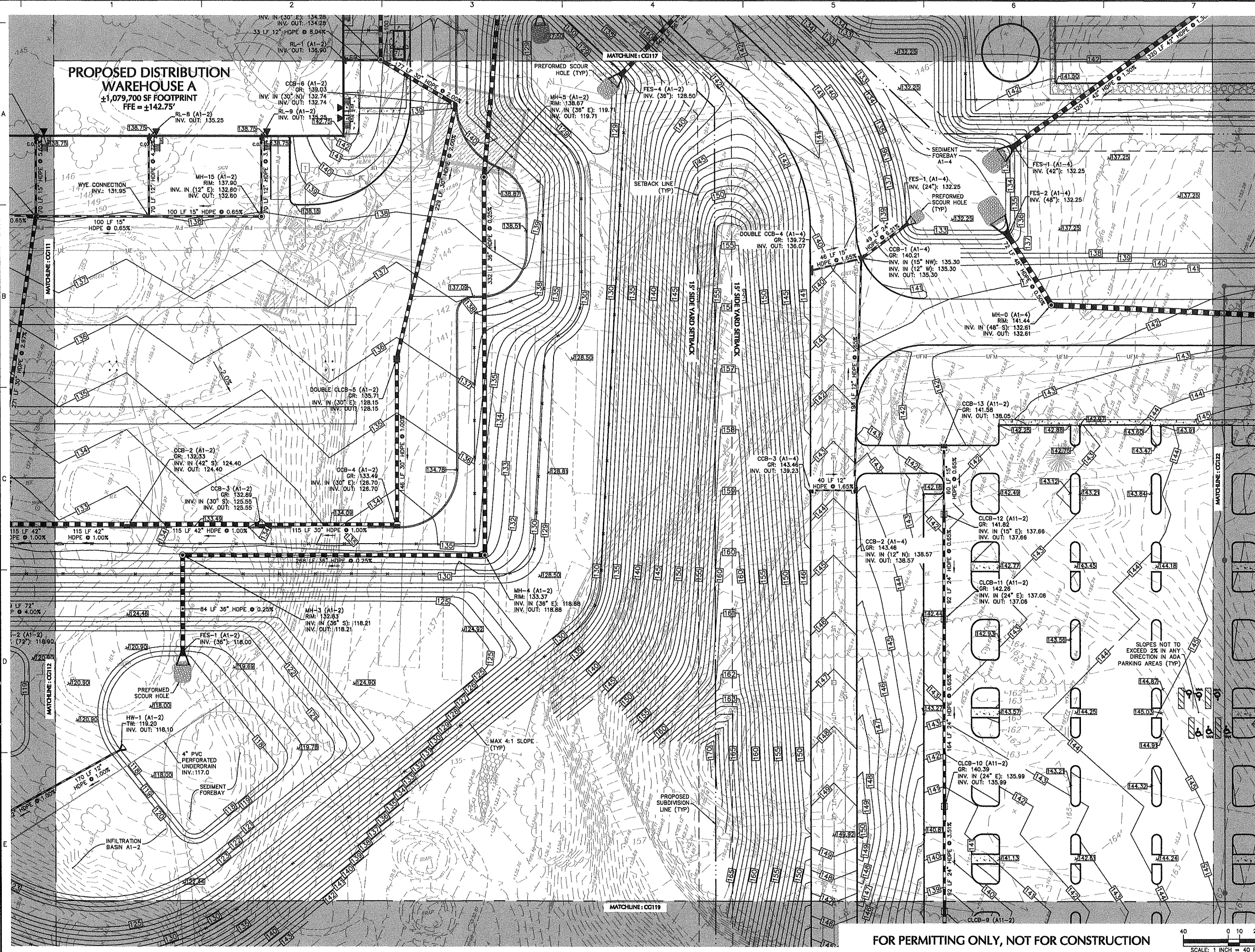
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE

Drawing Title
GRADING & DRAINAGE PLAN XVII

Project No. 1510101	Drawing No. CG117
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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PROPOSED DISTRIBUTION WAREHOUSE A
 ±1,079,700 SF FOOTPRINT
 FFE = ±142.75'

SHEET LEGEND
 1"=1500'

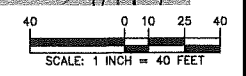
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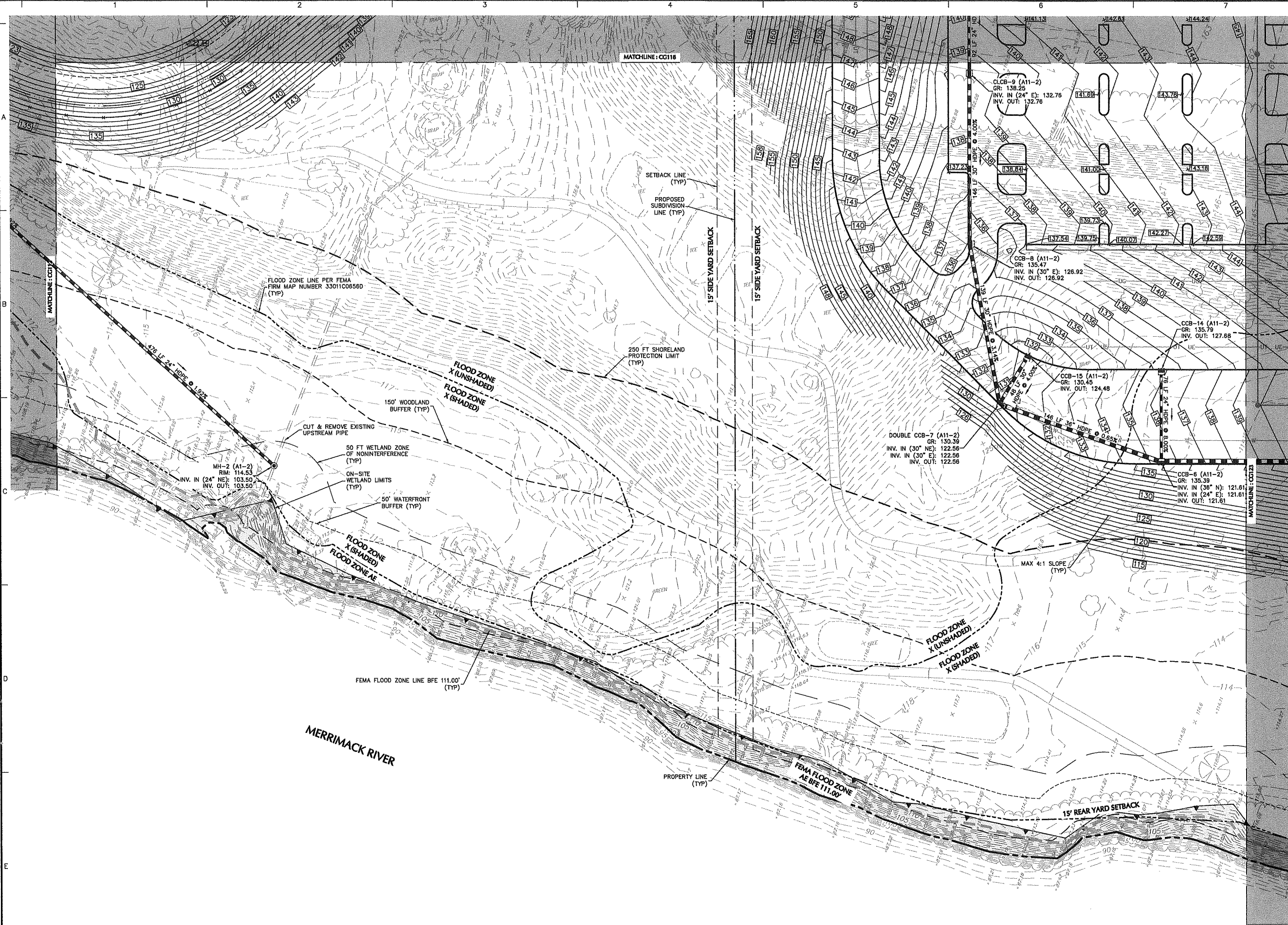
05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.
Revisions		
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Project: **HUDSON LOGISTICS CENTER**
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE
 Drawing Title: **GRADING & DRAINAGE PLAN XVIII**

Project No. 15101011	Drawing No. CG118
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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Date	Description	No.
05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1

Revisions

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No. 14072
LICENSED PROFESSIONAL ENGINEER

JOHN D. PLANTE
NH P.E. Lic. No. 14072

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Project

HUDSON LOGISTICS CENTER

MAP No. 239, LOT No. 1

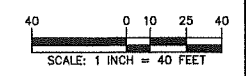
HUDSON NEW HAMPSHIRE

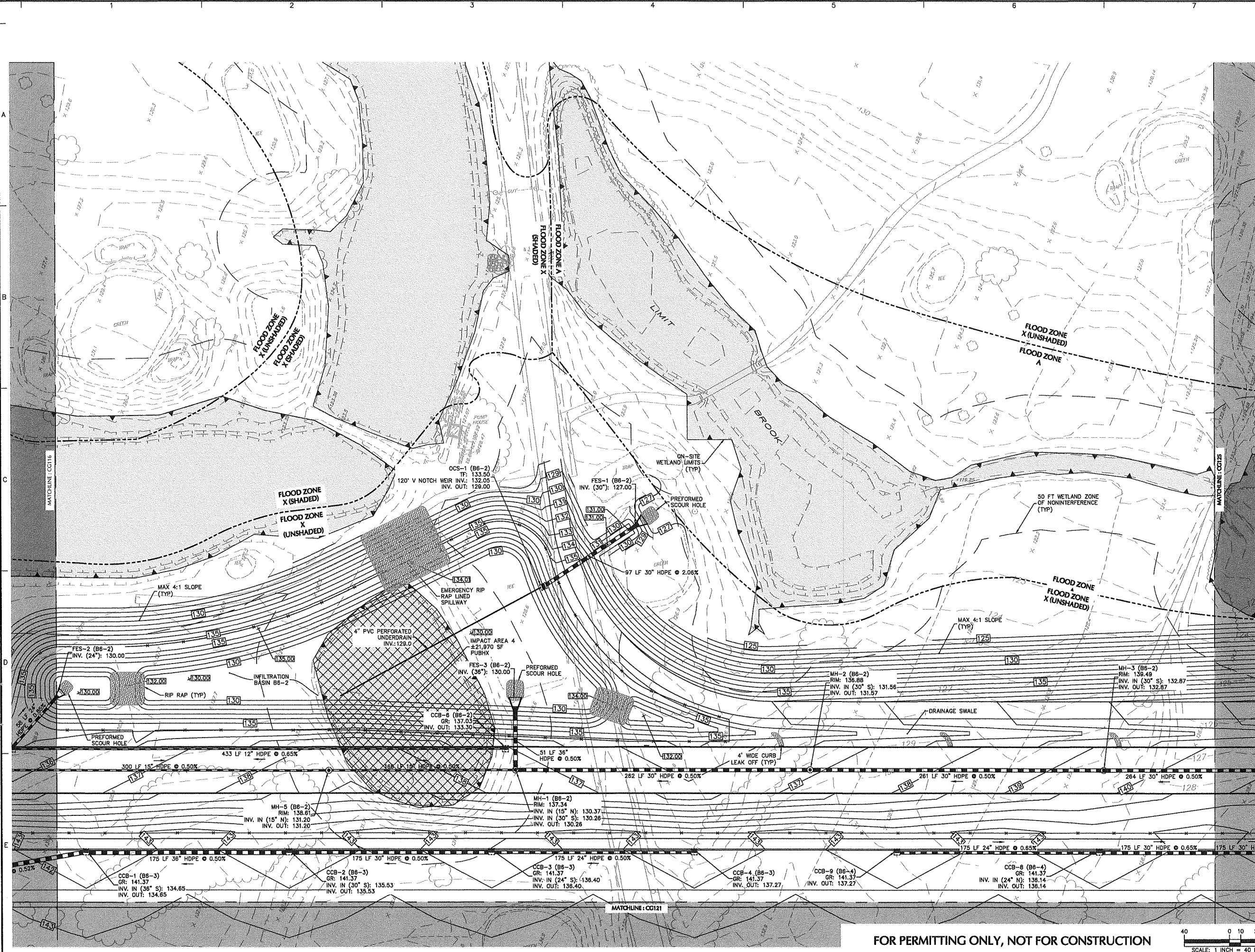
Drawing Title

GRADING & DRAINAGE PLAN XIX

Project No.	Drawing No.
151010101	CG119
Date	
04-21-2020	
Drawn By	
Checked By	CLR
	NLK

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SHEET LEGEND
1"=150'

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CG102	CG108	CG114		
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		CG119	CG123	CG128
			CG124	CG129

05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.
Revisions		
JOHN D. PLANTE NH P.E. Lic. No. 14072		

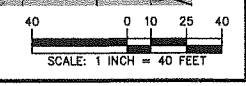
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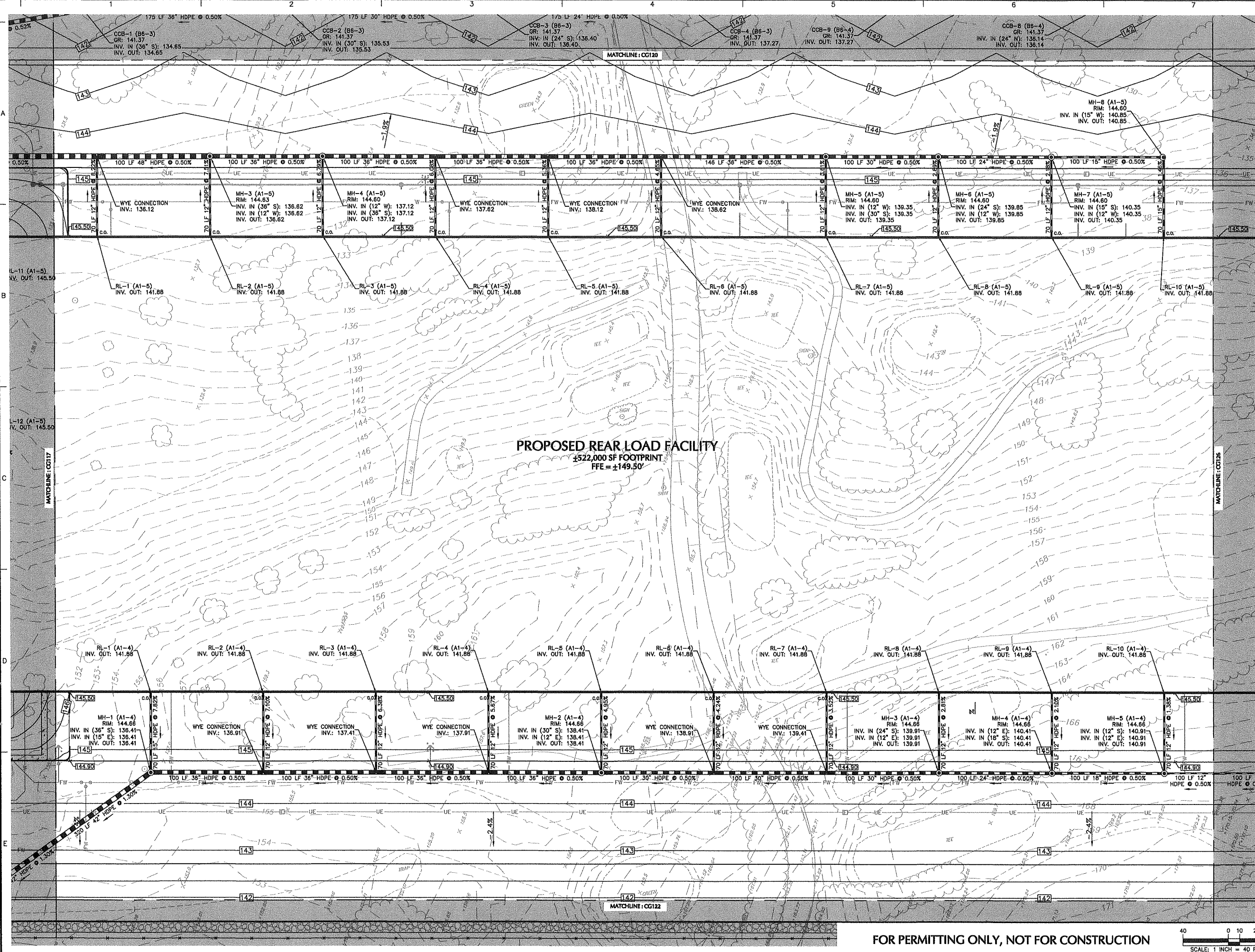
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
 Drawing Title
GRADING & DRAINAGE PLAN XX

Project No.	Drawing No.
151010101	CG120
Date	
04-21-2020	
Drawn By	
CLR	
Checked By	
NLK	

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SHEET LEGEND

1"=1500'

CG101	CG102	CG103	CG104	CG105	CG106	CG107	CG108	CG109	CG110	CG111	CG112	CG113	CG114	CG115	CG116	CG117	CG118	CG119	CG120	CG121	CG122	CG123	CG124	CG125	CG126	CG127	CG128	CG129
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NO PROPOSED GRADING & DRAINAGE IMPROVEMENTS, REMOVED FROM CG SERIES

05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.

Revisions

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No. 14072
LICENSED PROFESSIONAL ENGINEER

JOHN D. PLANTE
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Project

HUDSON LOGISTICS CENTER

MAP No. 239, LOT No. 1

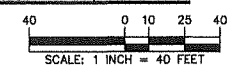
HUDSON NEW HAMPSHIRE

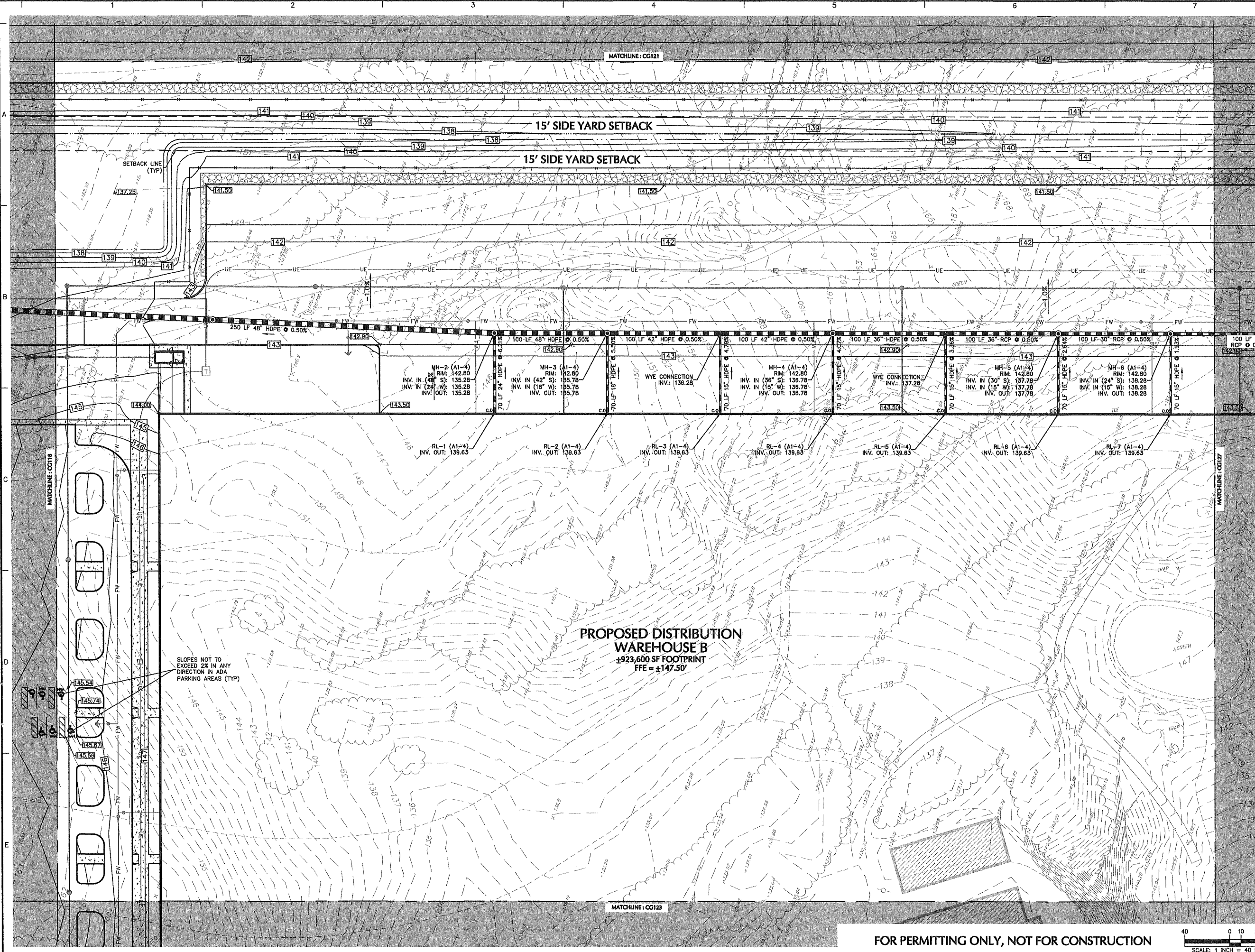
Drawing Title

GRADING & DRAINAGE PLAN XXI

Project No. 151010101	Drawing No. CG121
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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SHEET LEGEND
1"=1500'

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CG102	CG108	CG114	
CG103	CG109	CG115	
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		CG125	
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05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.

Revisions

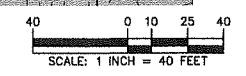
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NH P.E. Lic. No. 14072

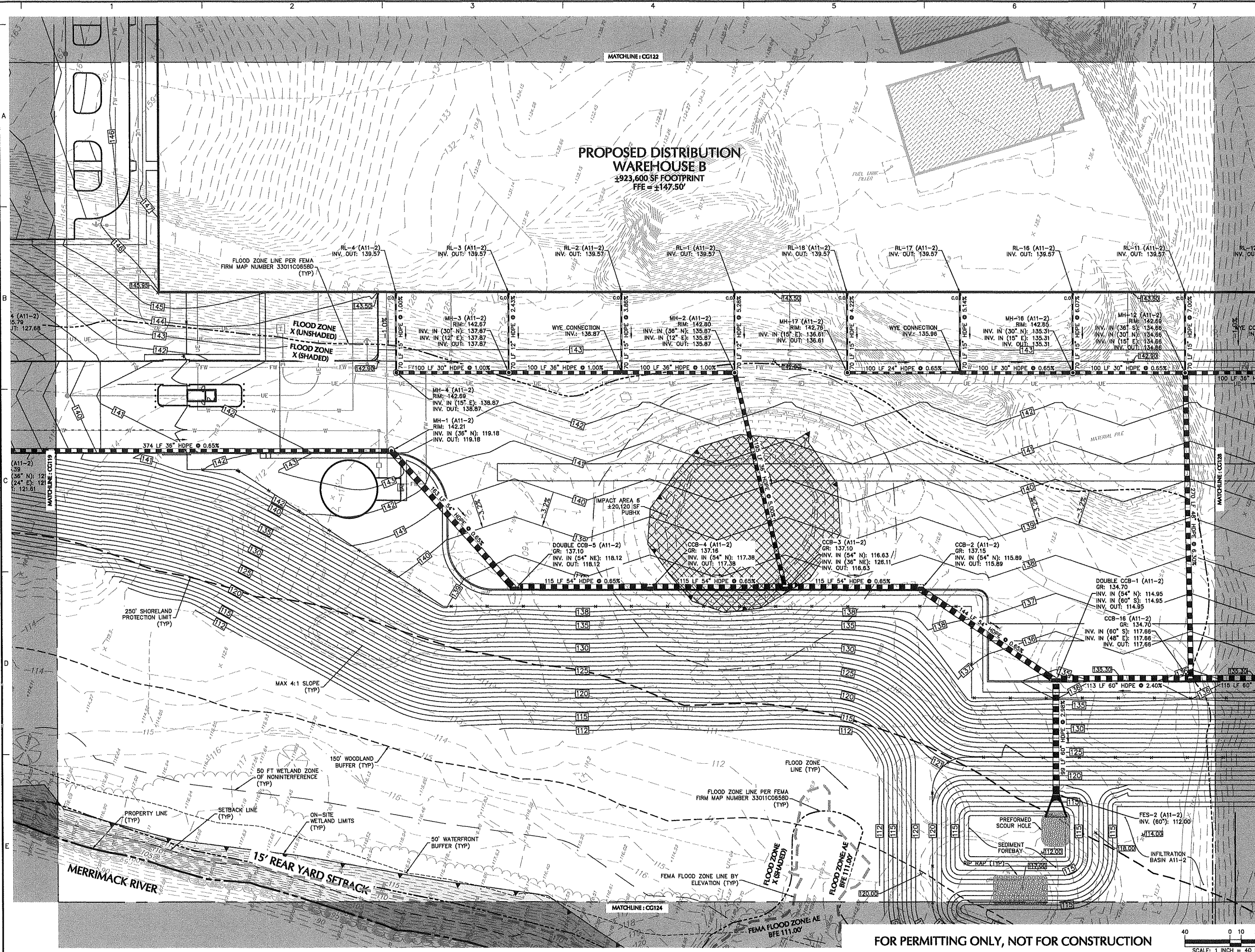
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Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE
Drawing Title
GRADING & DRAINAGE PLAN XXII

Project No. 151010101	Drawing No. CG122
Date 04-21-2020	Checked By NLK
Drawn By CLR	

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PROPOSED DISTRIBUTION WAREHOUSE B
 ±223,600 SF FOOTPRINT
 FFE = ±147.50'

SHEET LEGEND
 1"=1500'

CG101	CG107	CG113	NO PROPOSED GRADING & DRAINAGE IMPROVEMENTS, REMOVED FROM CG SERIES	
CG102	CG108	CG114		
CG103	CG109	CG115		
CG104	CG110	CG116	CG120	CG125
CG105	CG111	CG117	CG121	CG126
CG106	CG112	CG118	CG122	CG127
		CG119	CG123	CG128
			CG124	CG129

05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.

Revisions

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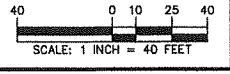
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Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

Drawing Title
GRADING & DRAINAGE PLAN XXIII

Project No. 151010101	Drawing No. CG123
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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SHEET LEGEND
1"=1500'

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CG102	CG108	CG114		
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			CG124	CG129

05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.

Revisions

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NH P.E. Lic. No. 14072

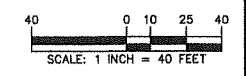
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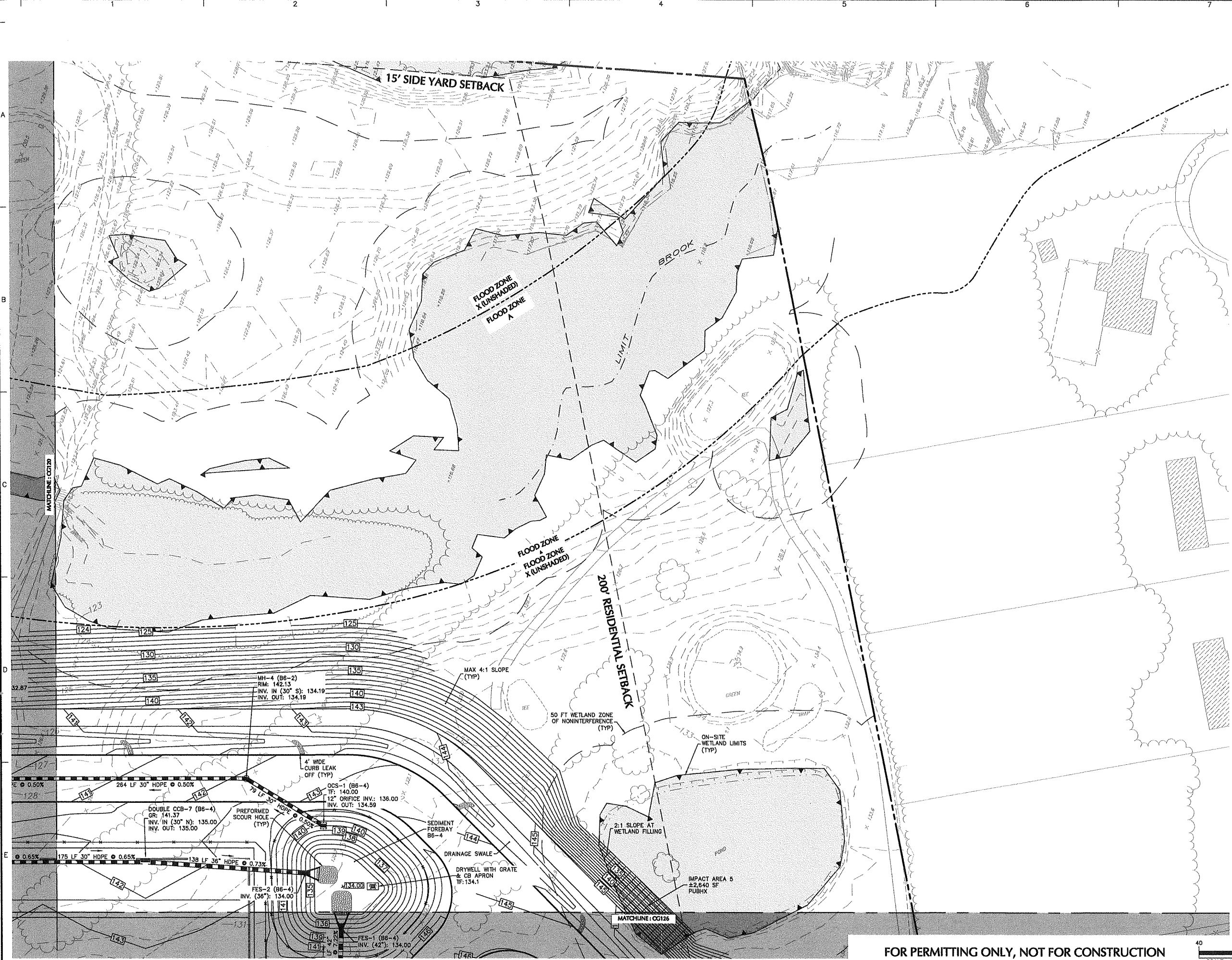
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE

Drawing Title
GRADING & DRAINAGE PLAN XXIV

Project No. 151010101	Drawing No. CG124
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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SHEET LEGEND
1"=1500'

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CG102	CG108	CG114		
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			CG124	CG129

05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.

Revisions

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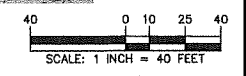
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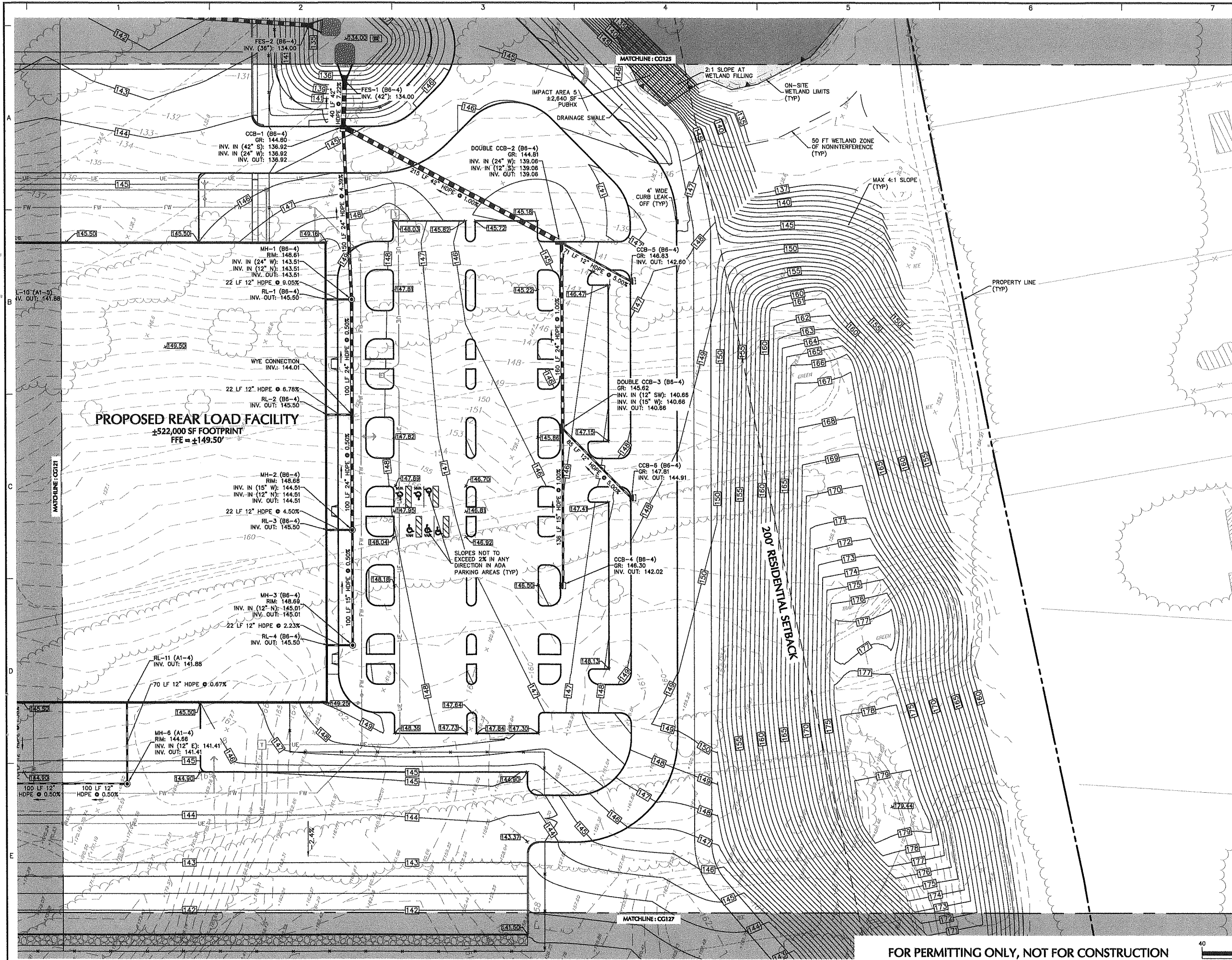
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title
GRADING & DRAINAGE PLAN XXV

Project No. 151010101	Drawing No. CG125
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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SHEET LEGEND
1"=1500'

CG101	CG107	CG113	NO PROPOSED GRADING & DRAINAGE IMPROVEMENTS, REMOVED FROM CG SERIES	
CG102	CG108	CG114		
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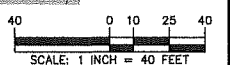
05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.
Revisions		
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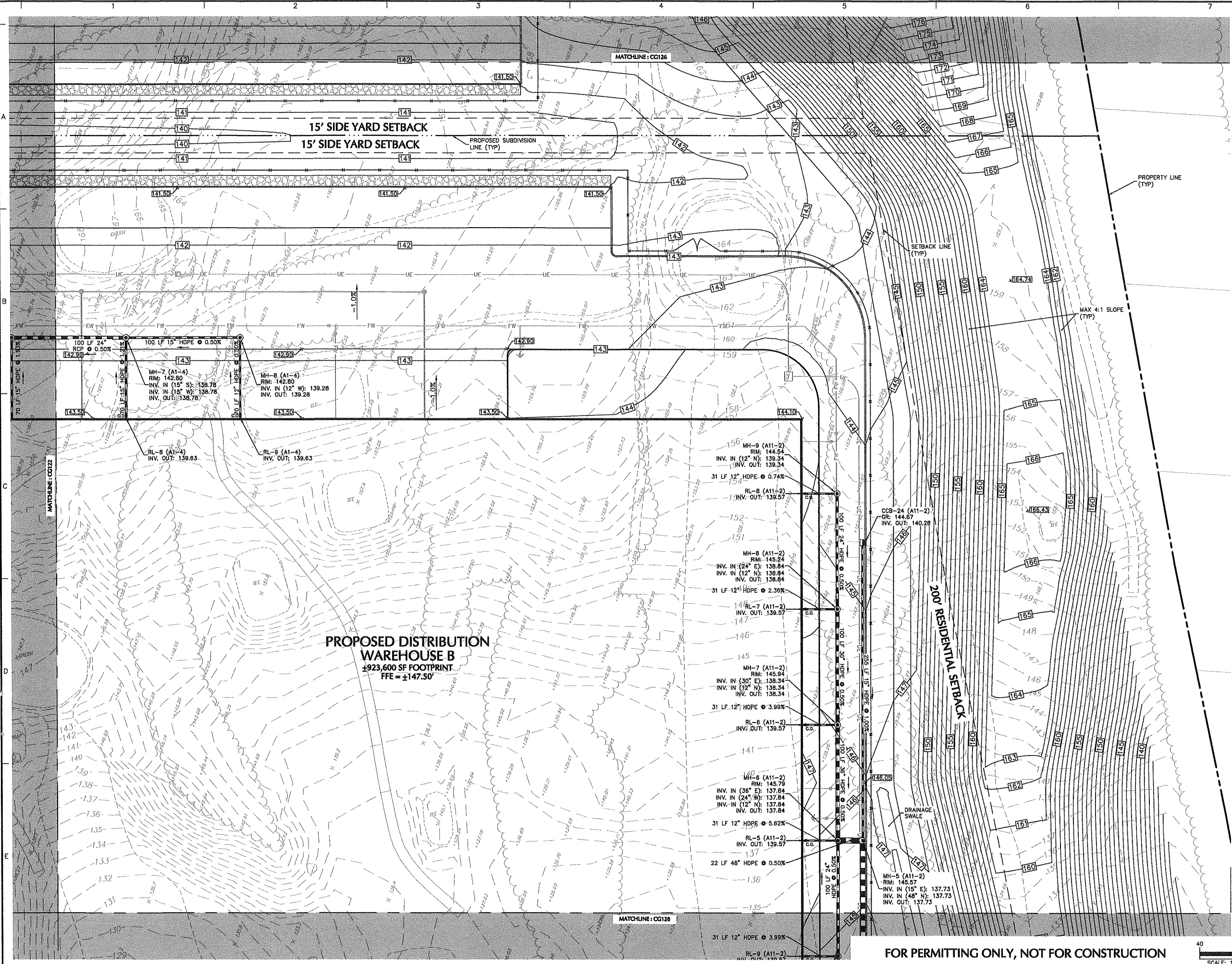
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title
GRADING & DRAINAGE PLAN XXVI

Project No. 151010101	Drawing No. CG126
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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SHEET LEGEND
1"=150'

CG101	CG107	CG113	NO PROPOSED GRADING & DRAINAGE IMPROVEMENTS, REMOVED FROM CG SERIES	
CG102	CG108	CG114		
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			CG124	CG129

05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.

Revisions

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NH P.E. Lic. No. 14072

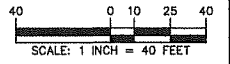
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Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title
GRADING & DRAINAGE PLAN XXVII

Project No. 1510101	Drawing No. CG127
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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PROPOSED DISTRIBUTION WAREHOUSE B
±923,600 SF FOOTPRINT
FFE ±147,50'

SHEET LEGEND
1"=150'

CG101	CG107	CG113	NO PROPOSED GRADING & DRAINAGE IMPROVEMENTS, REMOVED FROM CG SERIES
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		CG124	CG126
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			CG128
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05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.

Revisions

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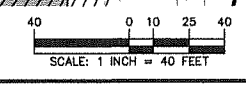
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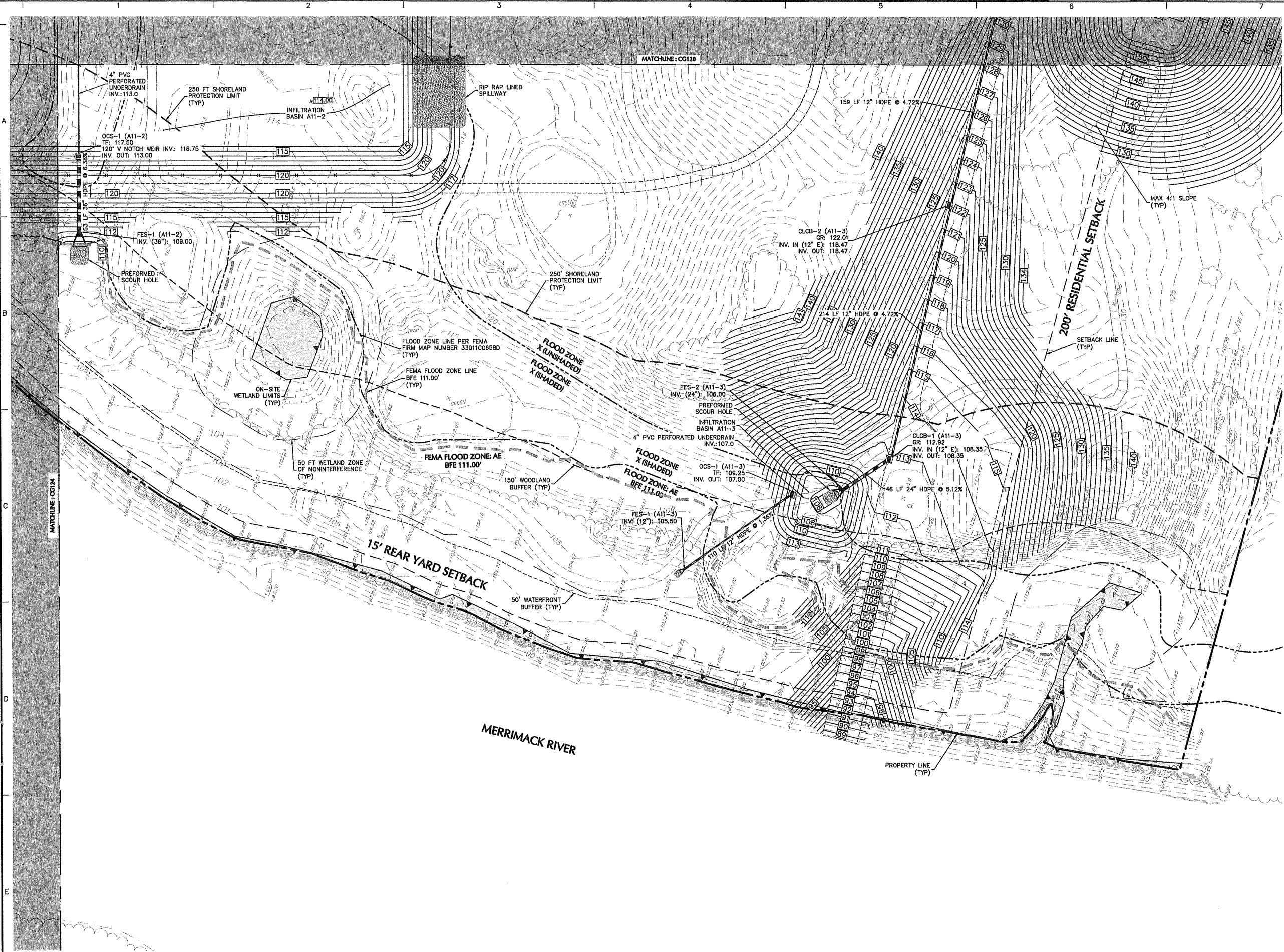
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title
GRADING & DRAINAGE PLAN XXVIII

Project No. 151010101	Drawing No. CG128
Date 04-21-2020	
Drawn By CLR	
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SHEET LEGEND
1"=150'

CG101	CG107	CG113	NO PROPOSED GRADING & DRAINAGE IMPROVEMENTS, REMOVED FROM CG SERIES
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CG103	CG109	CG115	
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		CG128	
		CG129	

05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.

Revisions

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NH P.E. Lic. No. 14072

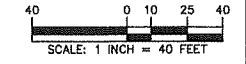
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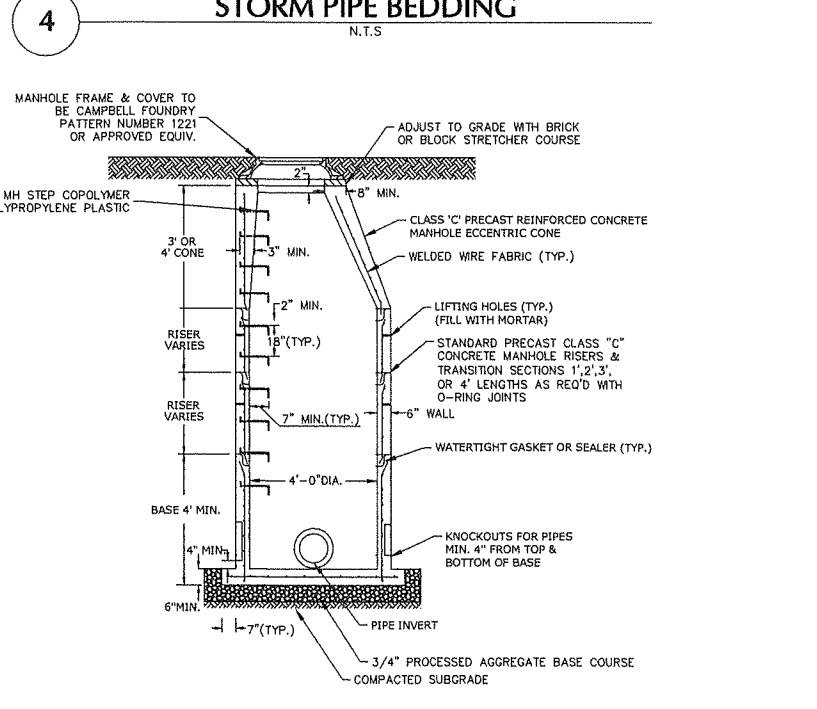
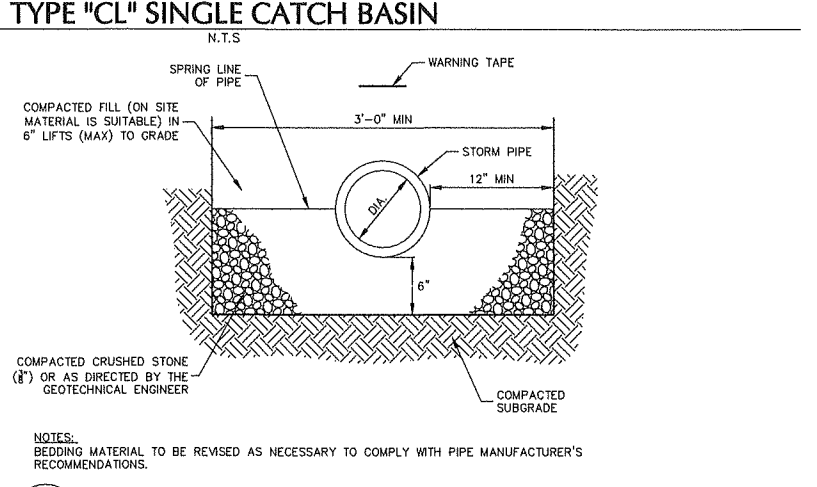
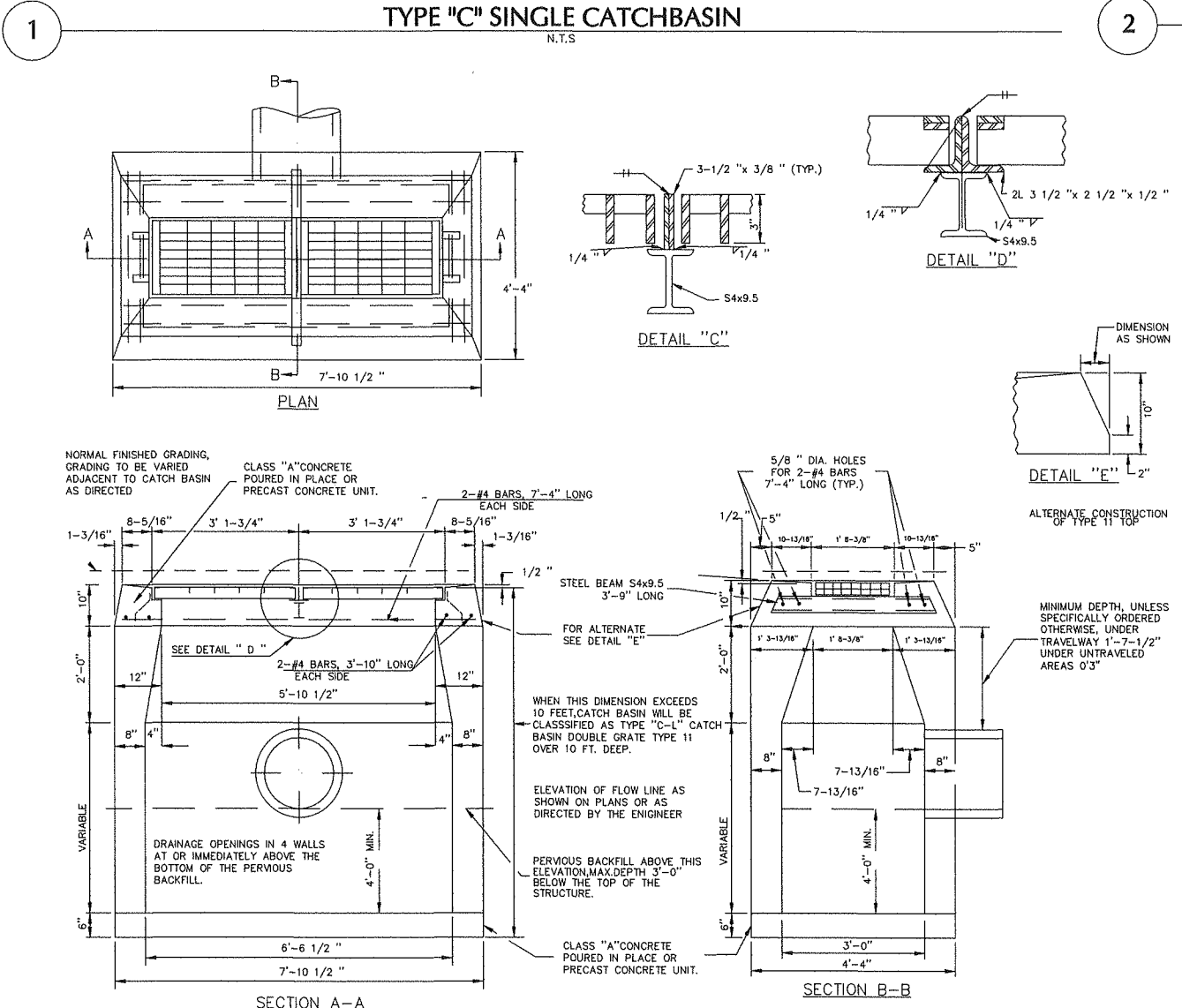
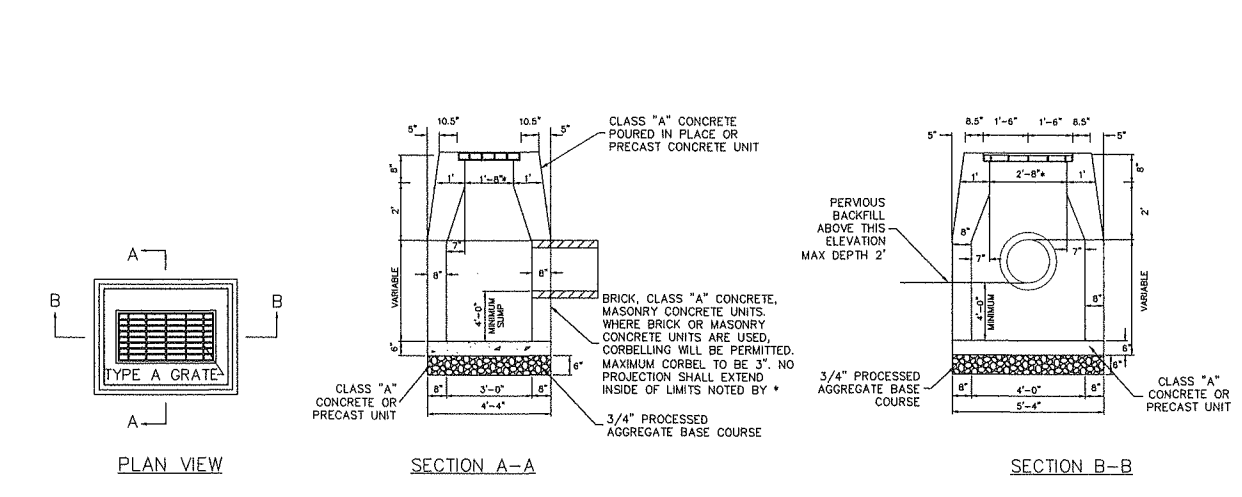
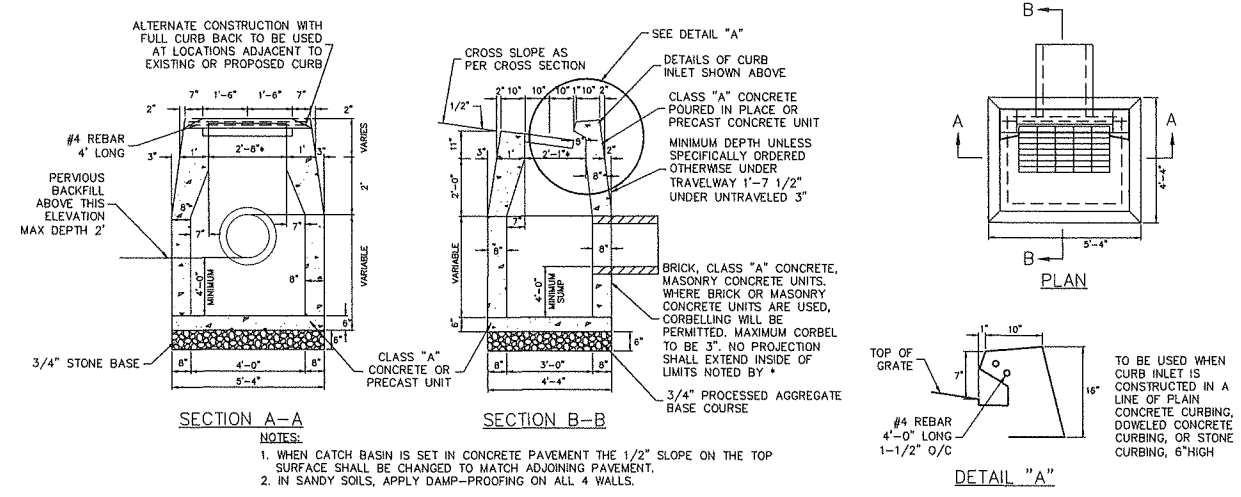
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HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title
GRADING & DRAINAGE PLAN XXIX

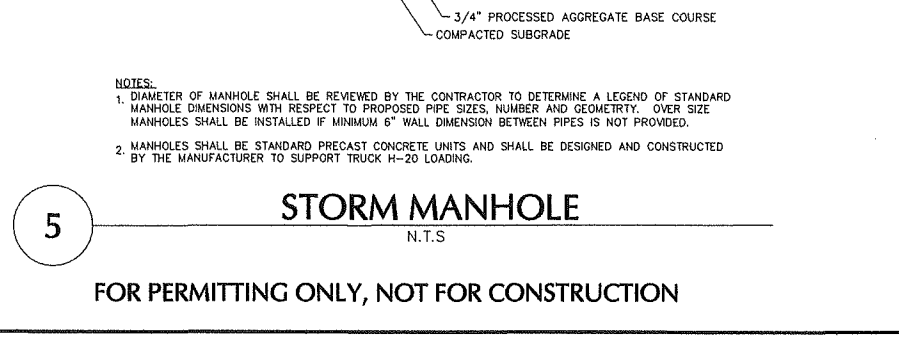
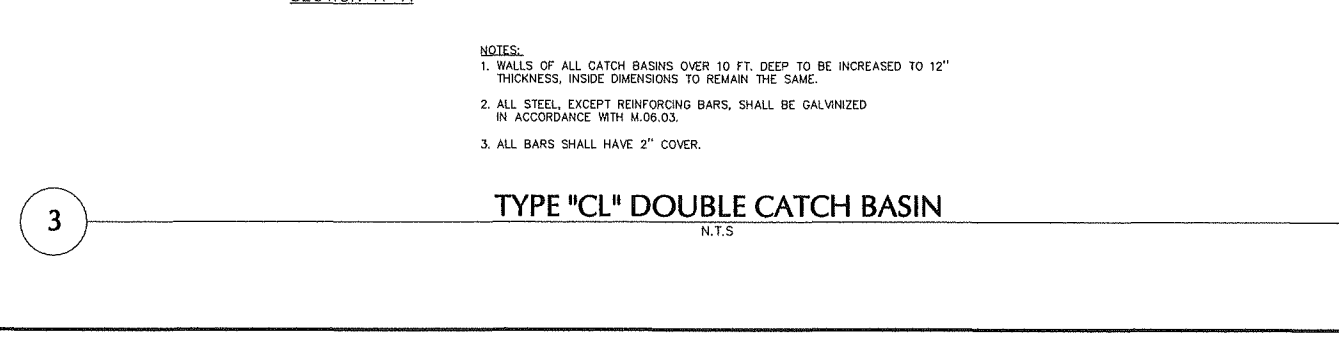
Project No. 151010101	Drawing No. CG129
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

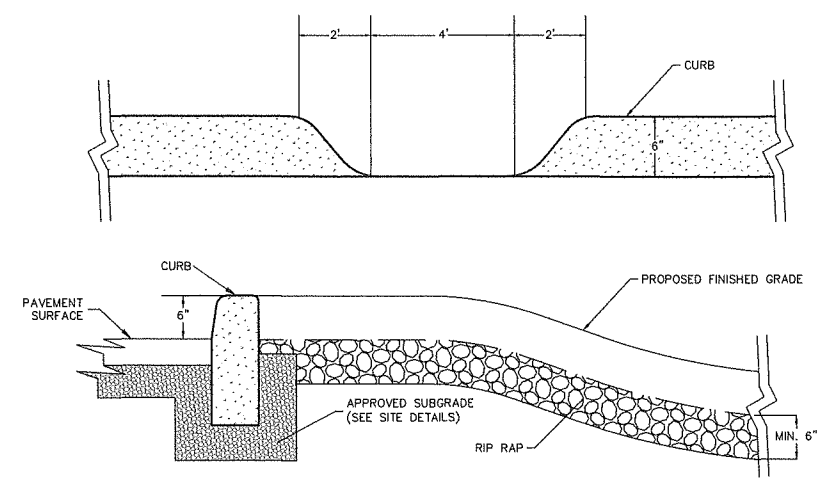
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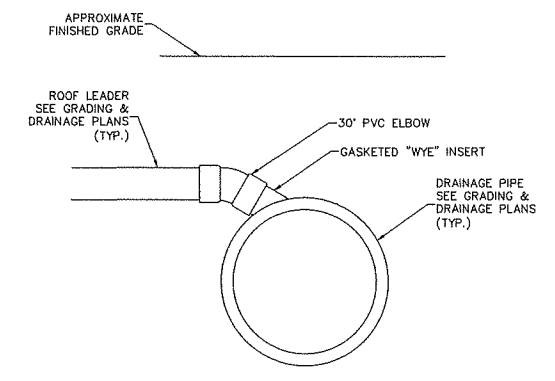


Date	Description	No.
Revisions		
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HUDSON LOGISTICS CENTER MAP No. 239, LOT No. 1		
GRADING & DRAINAGE DETAILS I		
Project No.	Drawing No.	
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Date	04-21-2020	
Drawn By	CLR	
Checked By	NLK	

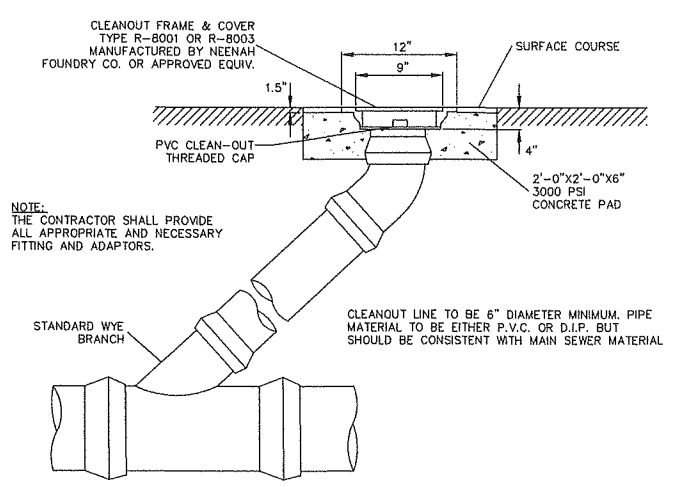




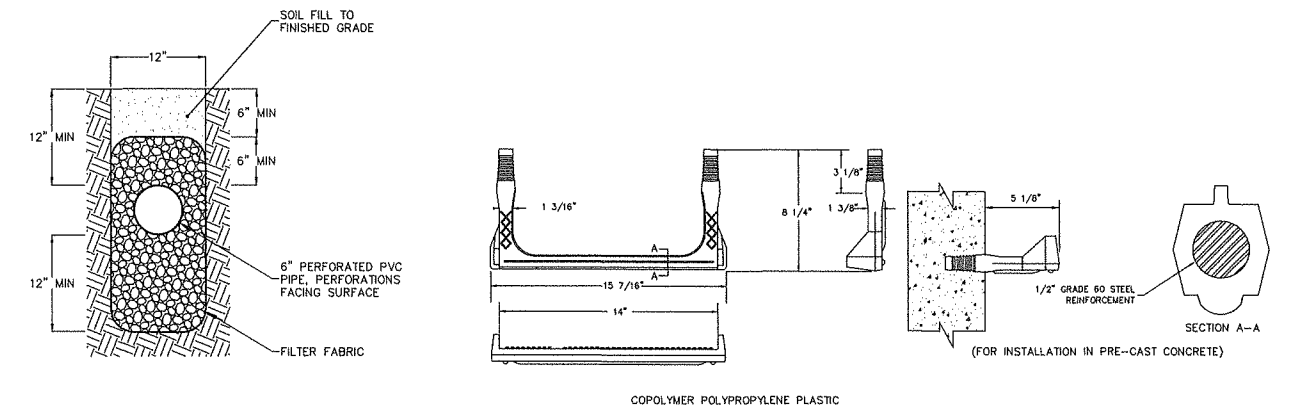
1 4' CURB LEAKOFF
N.T.S.



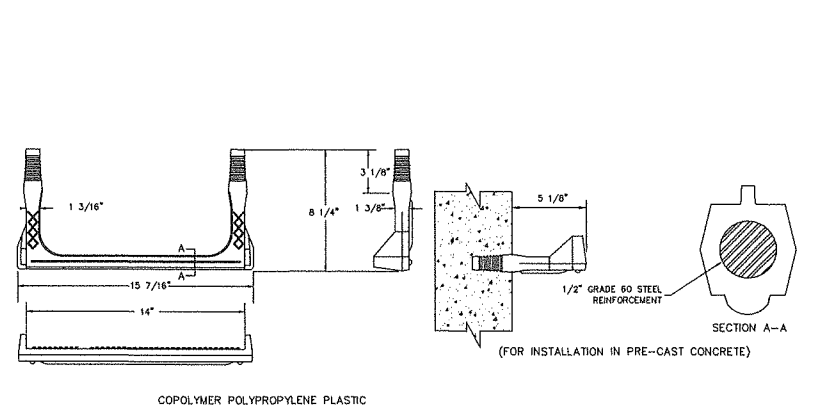
2 ROOF LEADER CONNECTION
N.T.S.



3 STORM CLEANOUT
N.T.S.



4 UNDERDRAIN
N.T.S.



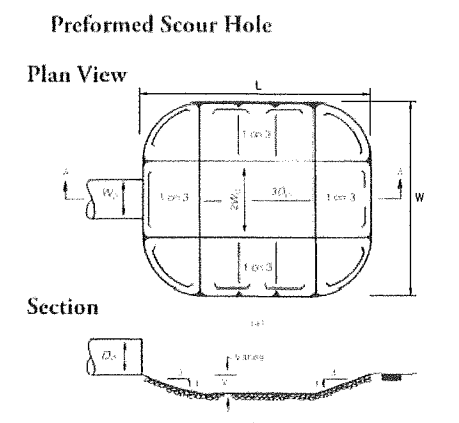
5 PLASTIC MANHOLE STEP
N.T.S. FIGURE FOUND IN MDC SANITARY AND STORM DRAIN CONNECTION MANUAL - FIGURE 60

PREFORMED SCOUR HOLE SIZING CHART

W ₀ [IN]	2W ₀ [FT]	3D ₀ [FT]	Y [FT]	W [FT]	L [FT]	RIPRAP d [IN]
12	2	3	0.5	5	6	6"-12"
15	2.5	3.75	0.625	6.25	7.5	9"-15"
18	3	4.5	0.75	7.5	9	9"-15"
24	4	6	1	10	12	12"-18"
30	5	6.5	1.25	12.5	15	12"-18"
36	6	9	1.5	15	18	12"-18"
42	7	10.5	1.75	17.5	21	12"-18"
48	8	12	2	20	24	12"-18"
60	10	15	2.5	25	30	12"-18"
72	12	18	3	30	36	12"-18"

NOTES:
RIPRAP IS TO BE WELL GRADED. OPTIMUM GRADATION OF RIPRAP IS 50 PERCENT OF THE STONE BY WEIGHT IS TO BE SMALLER THAN THE MEDIAN STONE DIAMETER. APPROXIMATE RIPRAP DIAMETER IS INDICATED IN THE ABOVE SIZING CHART AS d [IN].

6 PREFORMED SCOUR HOLE
N.T.S.



Source: ASCE (1992)

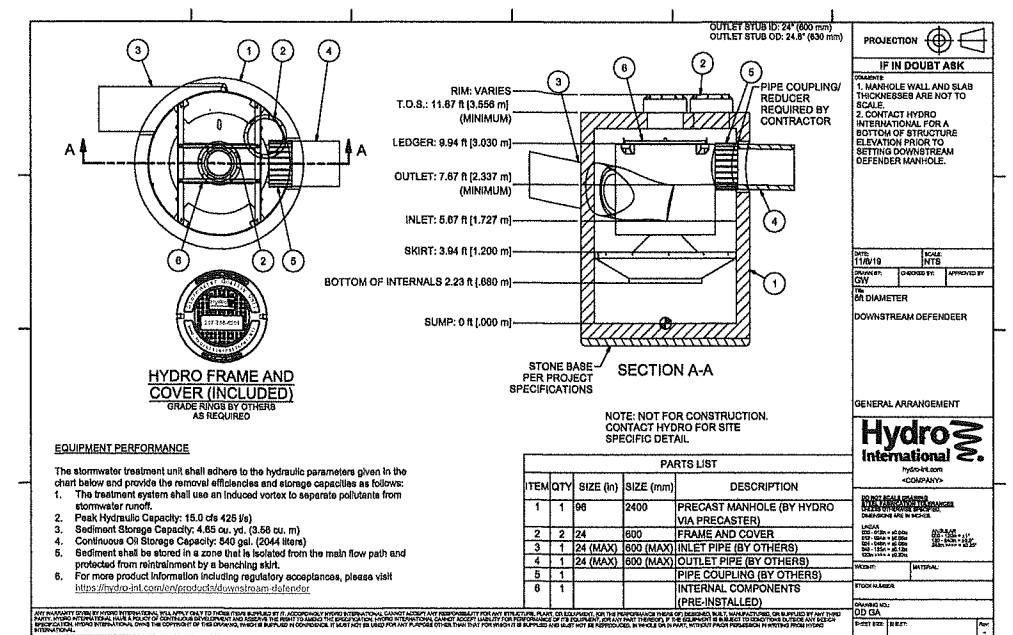
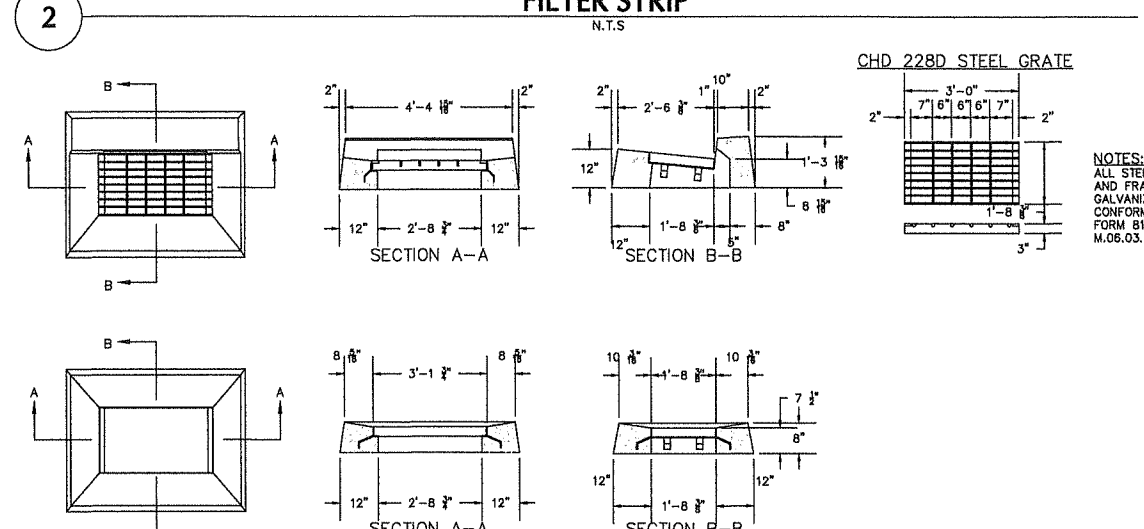
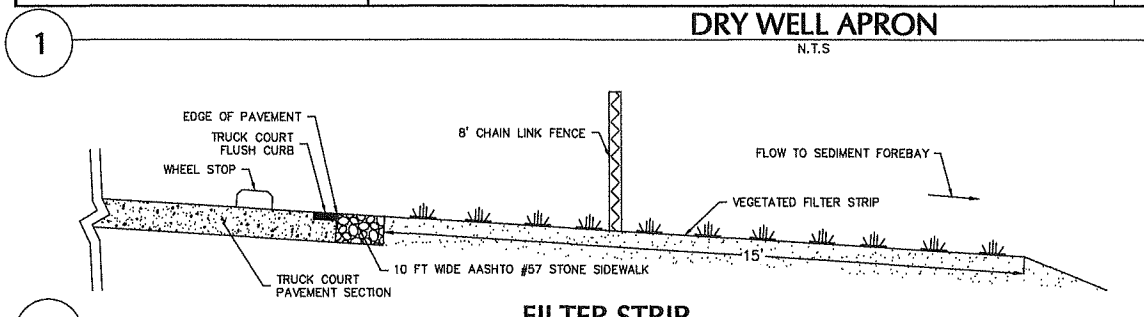
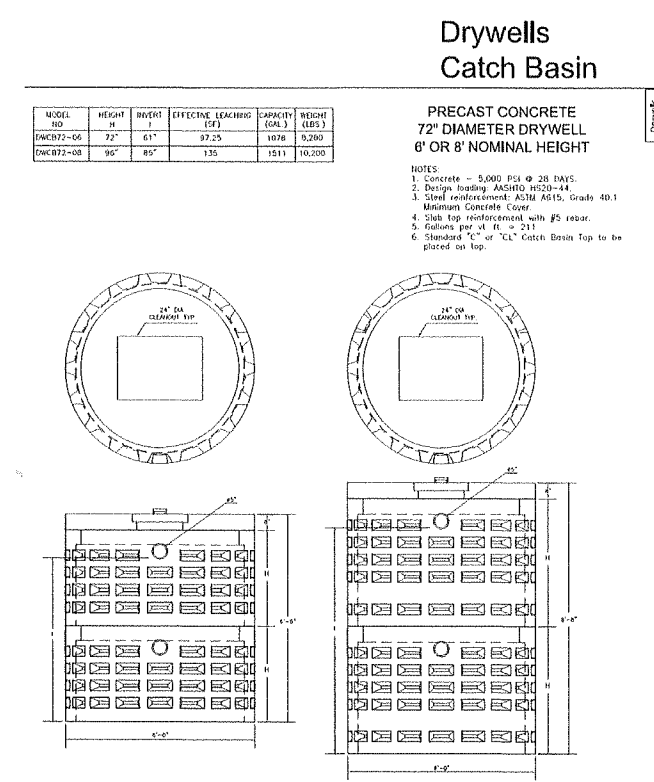
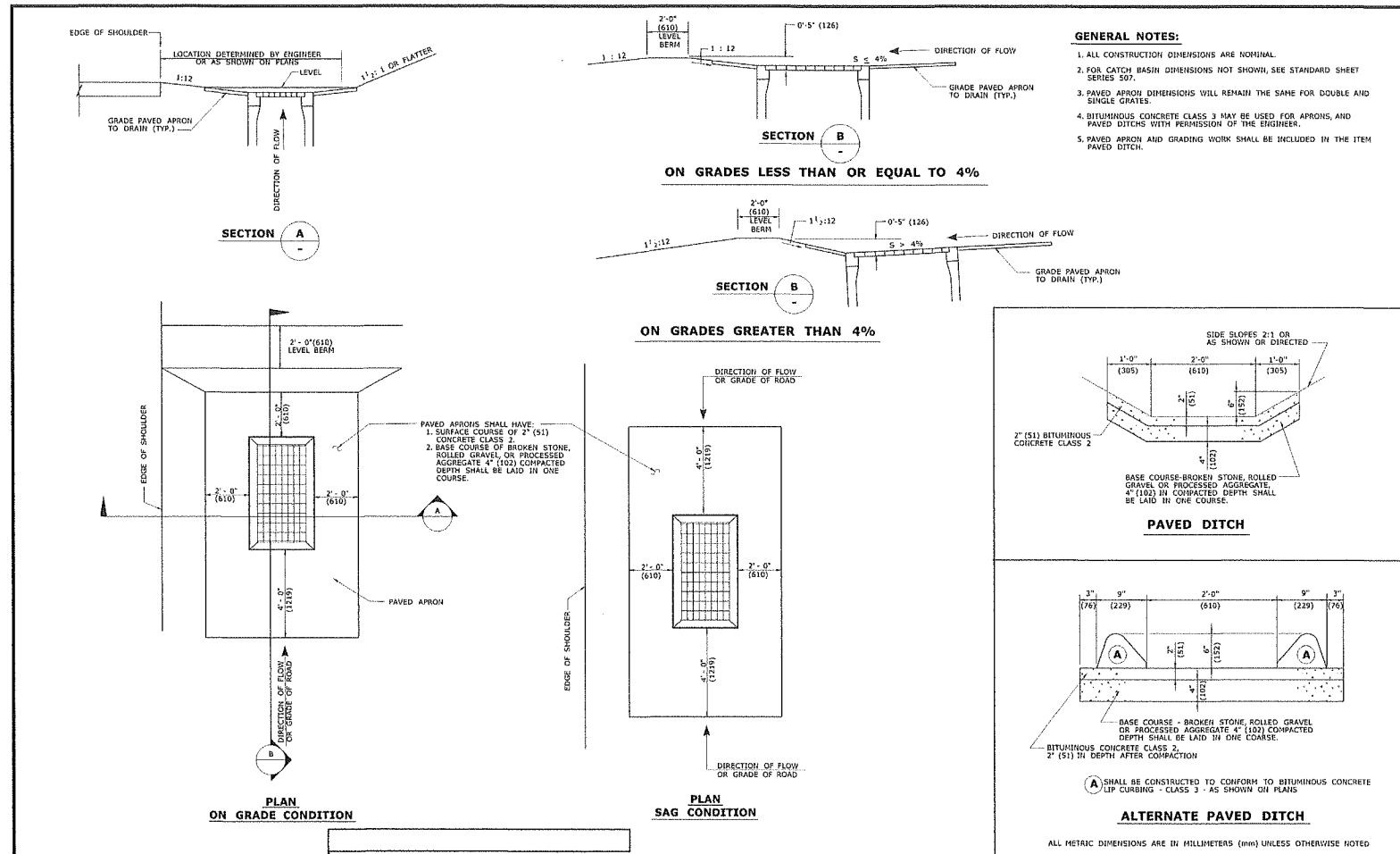
NDOT STANDARD PLANS
MORTAR RUBBLE MASONRY HEADWALLS WITH 45° WINGS
FOR PIPES OTHER THAN R.C. P.C.-6

DIAMETER D INCHES	QUANTITIES PER HEADWALL		DIMENSIONS									
	M.R.N. CU. YD.	EXC. FOR 1' DEPTH CU. YD.	A	B	C	E	F	G	H	I	J	
24	1.89	1.65	2'-3"	5'-1"	2'-2"	2'-4"	1'-11"	0'-7"	4'-6"	4'-0"	3'-6"	
30	2.54	1.94	2'-9"	5'-7"	2'-3"	2'-11"	1'-11"	0'-6"	5'-0"	4'-6"	3'-10"	
36	3.31	2.29	3'-3"	6'-1"	2'-5"	3'-7"	2'-0"	0'-6"	5'-6"	5'-0"	4'-1"	
42	4.17	2.63	3'-9"	6'-7"	2'-6"	4'-2"	2'-1"	0'-5"	6'-0"	5'-6"	4'-5"	
48	5.33	3.00	4'-4"	7'-2"	2'-8"	4'-8"	2'-2"	0'-4"	6'-6"	6'-0"	4'-8"	
60	7.65	3.76	5'-4"	8'-2"	2'-11"	6'-9"	2'-4"	0'-2"	7'-6"	7'-0"	5'-3"	
72	10.59	4.60	6'-5"	9'-3"	3'-2"	7'-2"	2'-5"	0'-1"	8'-6"	8'-0"	5'-10"	

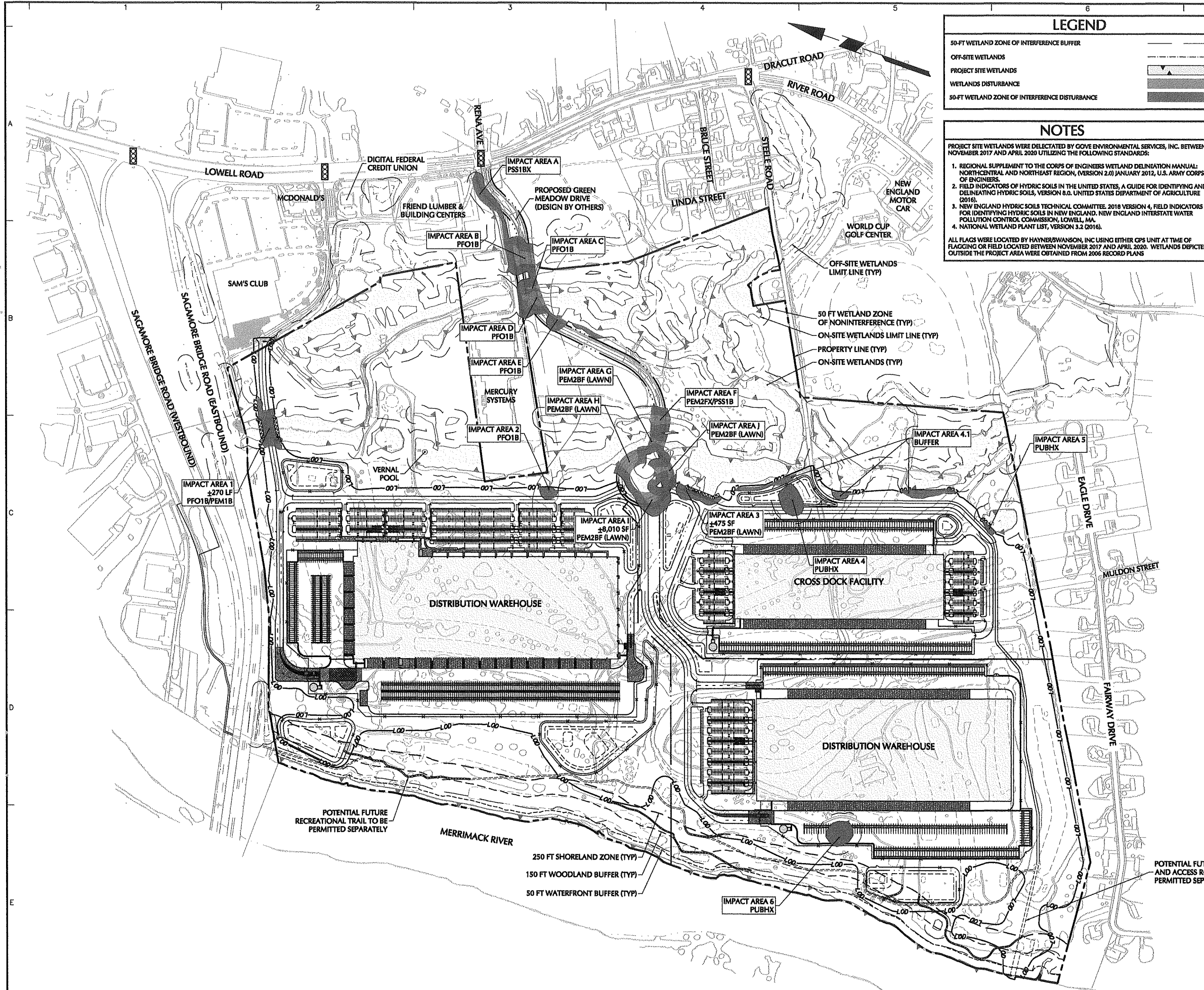
7 HEADWALL
N.T.S.

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Project HUDSON LOGISTICS CENTER MAP No. 239, LOT No. 1 HUDSON NEW HAMPSHIRE		
Drawing Title GRADING & DRAINAGE DETAILS II		
Project No.	Drawing No.	
151010101	CG502	
Date	04-21-2020	
Drawn By	CLR	
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HUDSON LOGISTICS CENTER MAP No. 239, LOT No. 1 HUDSON NEW HAMPSHIRE		
Drawing Title		
GRADING & DRAINAGE DETAILS III		
Project No.	Drawing No.	
151010101	CG503	
Date	04-21-2020	
Drawn By	CLR	
Checked By	NLK	



LEGEND

50-FT WETLAND ZONE OF INTERFERENCE BUFFER	
OFF-SITE WETLANDS	
PROJECT SITE WETLANDS	
WETLANDS DISTURBANCE	
50-FT WETLAND ZONE OF INTERFERENCE DISTURBANCE	

NOTES

PROJECT SITE WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. BETWEEN NOVEMBER 2017 AND APRIL 2020 UTILIZING THE FOLLOWING STANDARDS:

- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
- NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE, 2016 VERSION 4, FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LOWELL, MA.
- NATIONAL WETLAND PLANT LIST, VERSION 3.2 (2016).

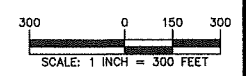
ALL FLAGS WERE LOCATED BY HAYNER/SWANSON, INC USING EITHER GPS UNIT AT TIME OF FLAGGING OR FIELD LOCATED BETWEEN NOVEMBER 2017 AND APRIL 2020. WETLANDS DEPICTED OUTSIDE THE PROJECT AREA WERE OBTAINED FROM 2006 RECORD PLANS

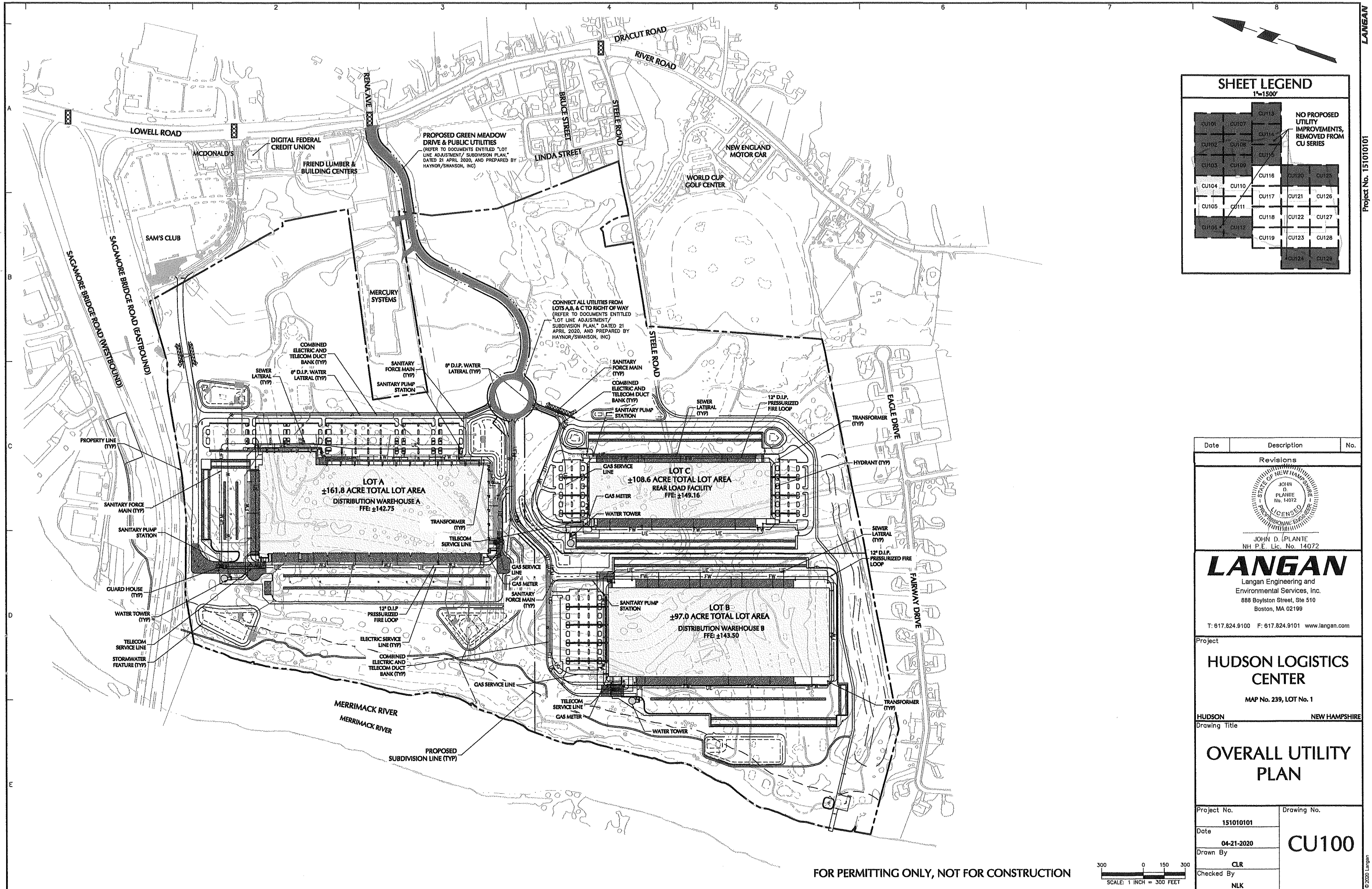
WETLANDS DISTURBANCE

IMPACT AREA	WETLAND CLASSIFICATION	REASON FOR IMPACT	SIZE (SF)	50-FT BUFFER (SF)	
A	DRAINAGE DITCH (MANMADE)	MAIN ACCESS	1,544	81,375	
B	FORESTED WETLAND	MAIN ACCESS	11,220	4,640	
C	FORESTED WETLAND	MAIN ACCESS	1,700	5,550	
D	FORESTED WETLAND	MAIN ACCESS	9,725	10,514	
E	FORESTED WETLAND	MAIN ACCESS	680	19,775	
F	POND, EMERGENT/ SCRUB, SHRUB EDGE	MAIN ACCESS	6,850	35,585	
G	WET MAINTAINED LAWN	MAIN ACCESS	3,210	-	
H	WET MAINTAINED LAWN	MAIN ACCESS	10,910	-	
I	WET MAINTAINED LAWN	MAIN ACCESS	8,010	6,527	
J	WET MAINTAINED LAWN	MAIN ACCESS	5,705	187	
1	FORESTED WETLAND PERENNIAL STRAM	SECOND ACCESS	9,125	13,298	
2	FORESTED WETLAND	LOT DEVELOPMENT	295	6,605	
3	WET MAINTAINED LAWN	LOT DEVELOPMENT	475	14,169	
4.1	WET MAINTAINED LAWN	LOT DEVELOPMENT	-	27,488	
TOTAL IMPACTS WITHIN WETLAND CONSERVATION OVERLAY DISTRICT				69,449	225,713
4	POND (MANMADE)	LOT DEVELOPMENT	21,970	N/A	
5	POND (MANMADE)	LOT DEVELOPMENT	2,640	N/A	
6	POND (MANMADE)	LOT DEVELOPMENT	20,120	N/A	
TOTAL IMPACTS TO MANMADE PONDS				44,730	N/A
TOTAL PROJECT IMPACTS				114,179	225,713

05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.
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Signature	Date	
PROFESSIONAL LICENSE No. 0000000000		
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Project		
HUDSON LOGISTICS CENTER		
MAP No. 239, LOT No. 1		
HUDSON	NEW HAMPSHIRE	
Drawing Title		
WETLAND IMPACT PLAN		
Project No.	Figure	
151010101	FG01	
Date	04/15/2020	
Drawn By	CDR	
Checked By	NLK	
Sheet 1 of 1		© 2020 Langan

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SHEET LEGEND
1"=1500'

CU101	CU107	CU113	NO PROPOSED UTILITY IMPROVEMENTS, REMOVED FROM CU SERIES
CU102	CU108	CU114	
CU103	CU109	CU115	
CU104	CU110	CU116	
CU105	CU111	CU117	
CU106	CU112	CU118	
		CU119	
		CU120	
		CU121	
		CU122	
		CU123	
		CU124	
		CU125	
		CU126	
		CU127	
		CU128	

Date	Description	No.
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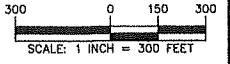
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HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

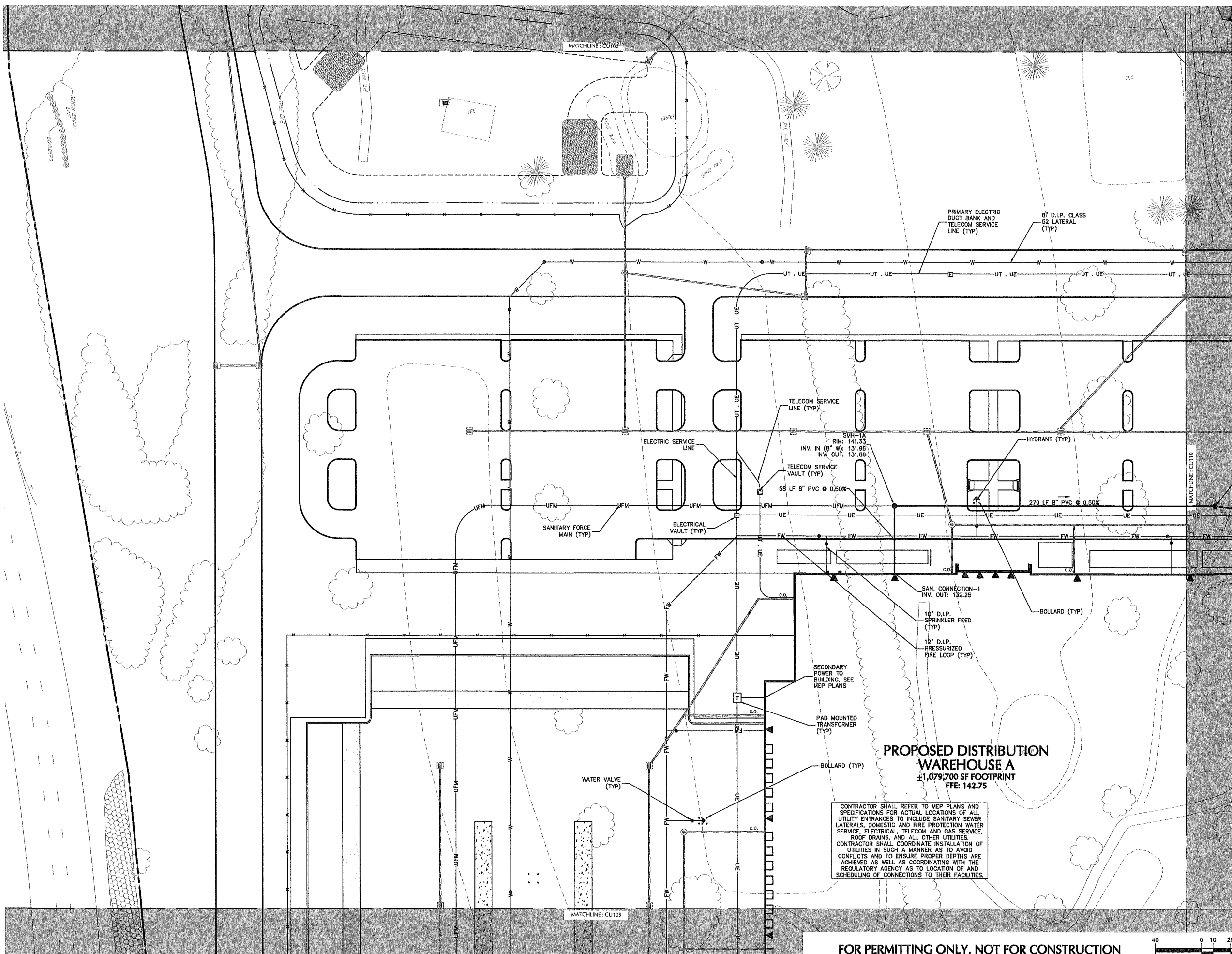
HUDSON NEW HAMPSHIRE
Drawing Title

OVERALL UTILITY PLAN

Project No. 151010101	Drawing No. CU100
Date 04-21-2020	
Drawn By CLR	
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CU102	CU108	CU114		
CU103	CU109	CU115		
CU104	CU110	CU116		
CU105	CU111	CU117		
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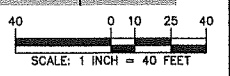
Date	Description	No.
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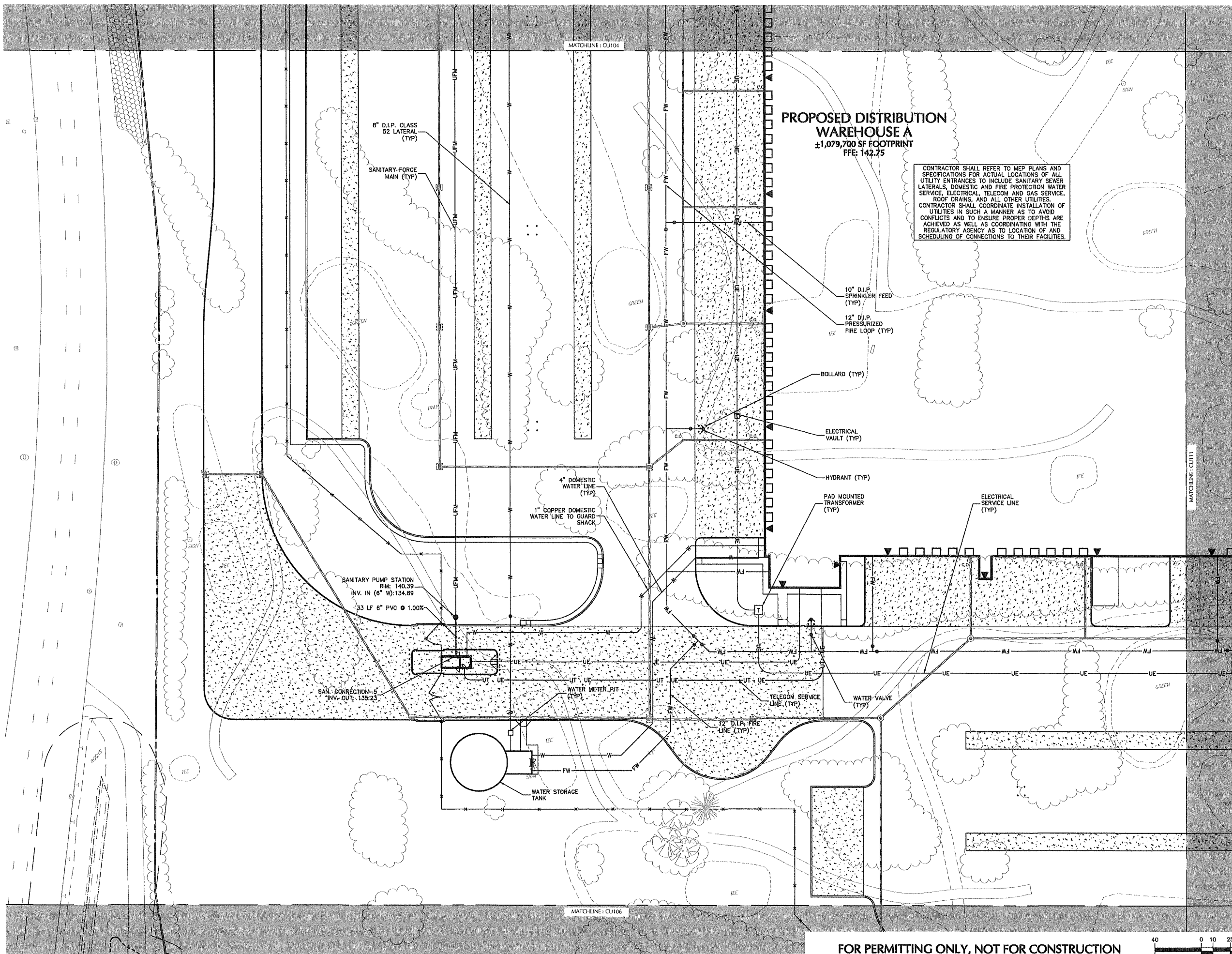
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 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE
 Drawing Title

Project No. 151010101	Drawing No. CU104
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SHEET LEGEND
 1"=1500'

CU101	CU107	CU113	NO PROPOSED UTILITY IMPROVEMENTS, REMOVED FROM CU SERIES		
CU102	CU108	CU114			
CU103	CU109	CU115			
CU104	CU110	CU116	CU120	CU123	
CU105	CU111	CU117	CU121	CU126	
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		CU119	CU123	CU128	
			CU124	CU129	

Date	Description	No.
Revisions		



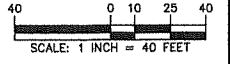
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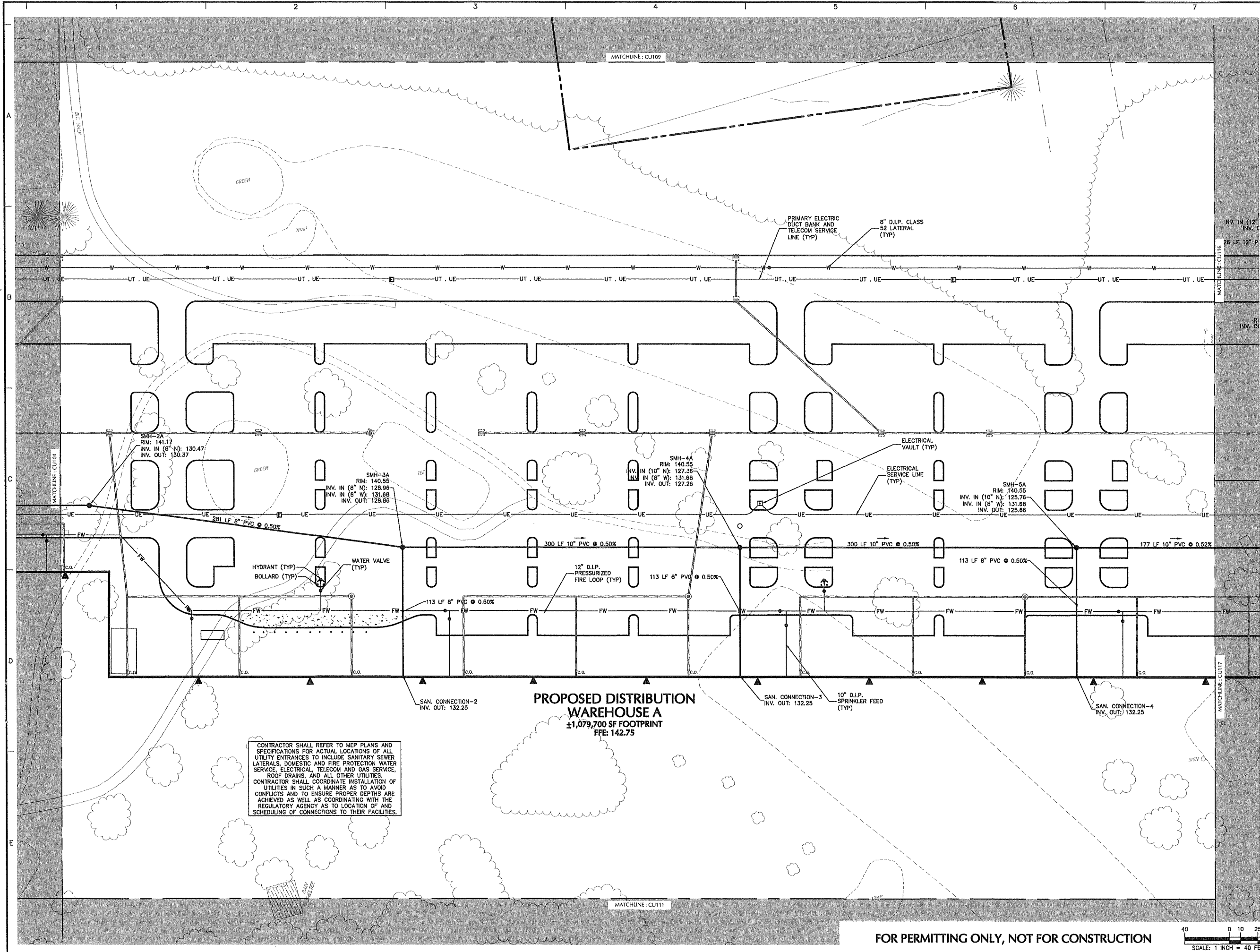
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE
 Drawing Title

UTILITY PLAN V

Project No. 151010101	Drawing No. CU105
Date 04-21-2020	
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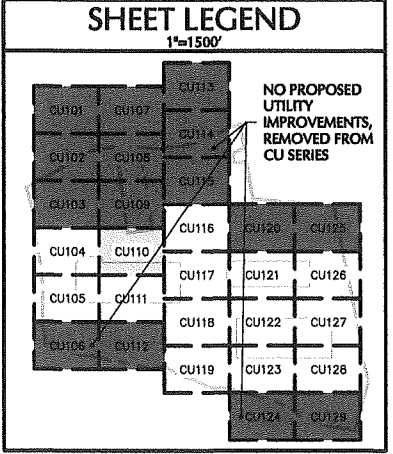
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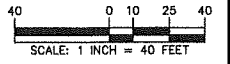
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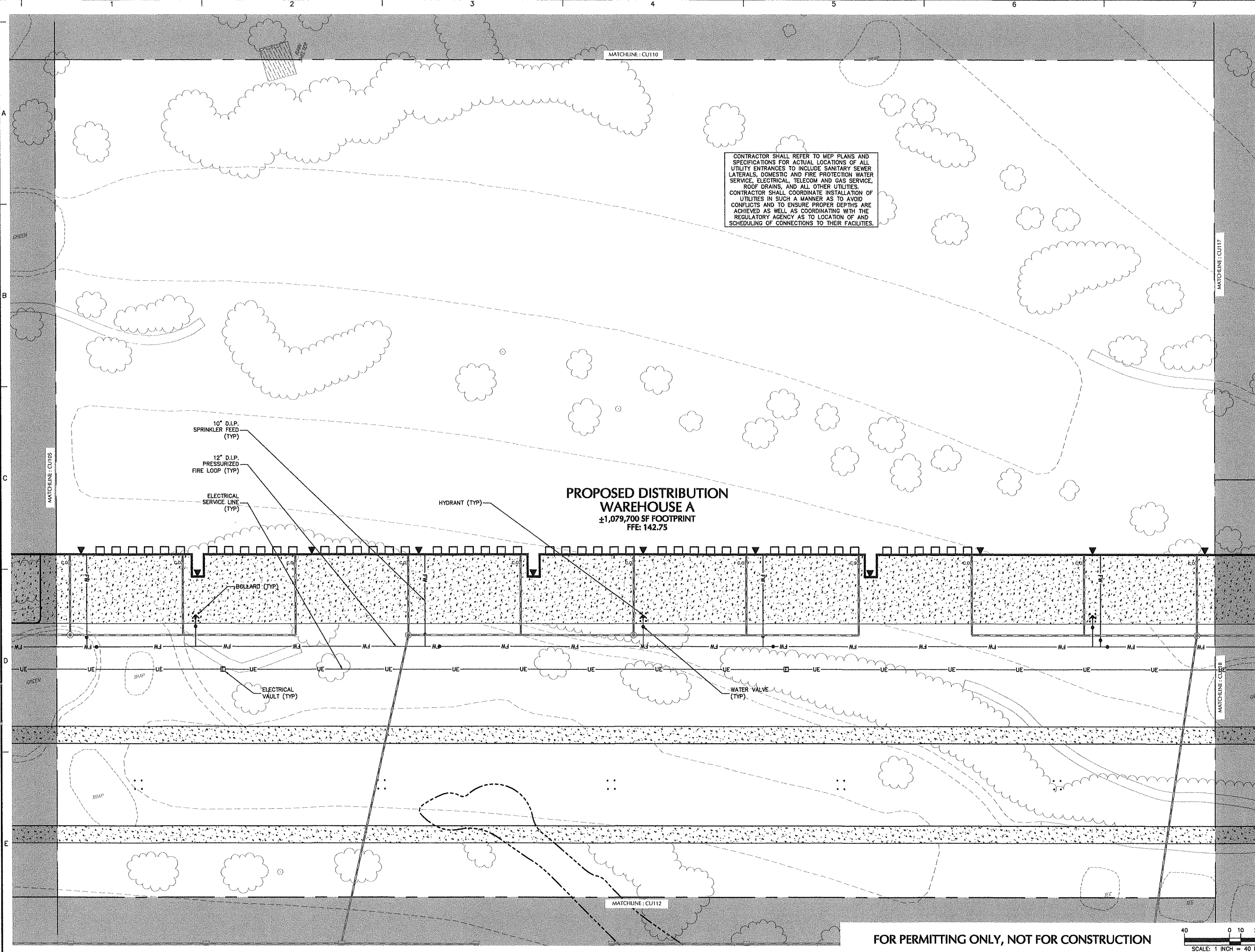
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

Drawing Title
UTILITY PLAN X

Project No. 151010101	Drawing No. CU110
Date 04-21-2020	
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CU103	CU109	CU115	
CU104	CU110	CU116	
CU105	CU111	CU117	
CU106	CU112	CU118	
		CU119	
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		CU121	
		CU122	
		CU123	
		CU124	
		CU125	
		CU126	
		CU127	
		CU128	
		CU129	

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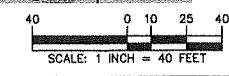
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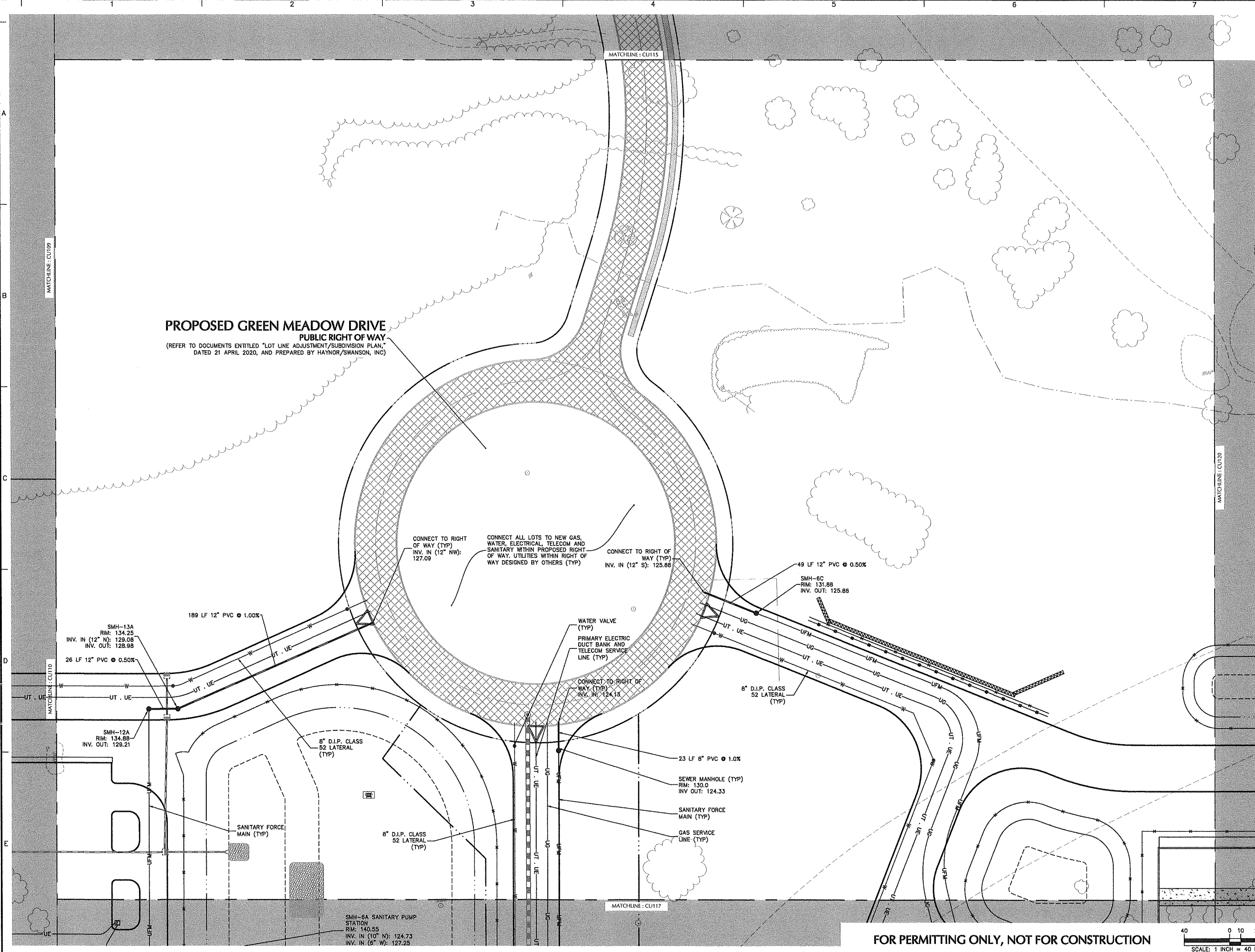
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE

Drawing Title
UTILITY PLAN XI

Project No. 151010101	Drawing No. CU111
Date 04-21-2020	
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CU101	CU107	CU113	NO PROPOSED UTILITY IMPROVEMENTS, REMOVED FROM CU SERIES	
CU102	CU108	CU114		
CU103	CU109	CU115		
CU104	CU110	CU116	CU120	CU125
CU105	CU111	CU117	CU121	CU126
CU106	CU112	CU118	CU122	CU127
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Revisions		
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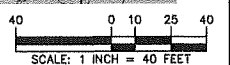
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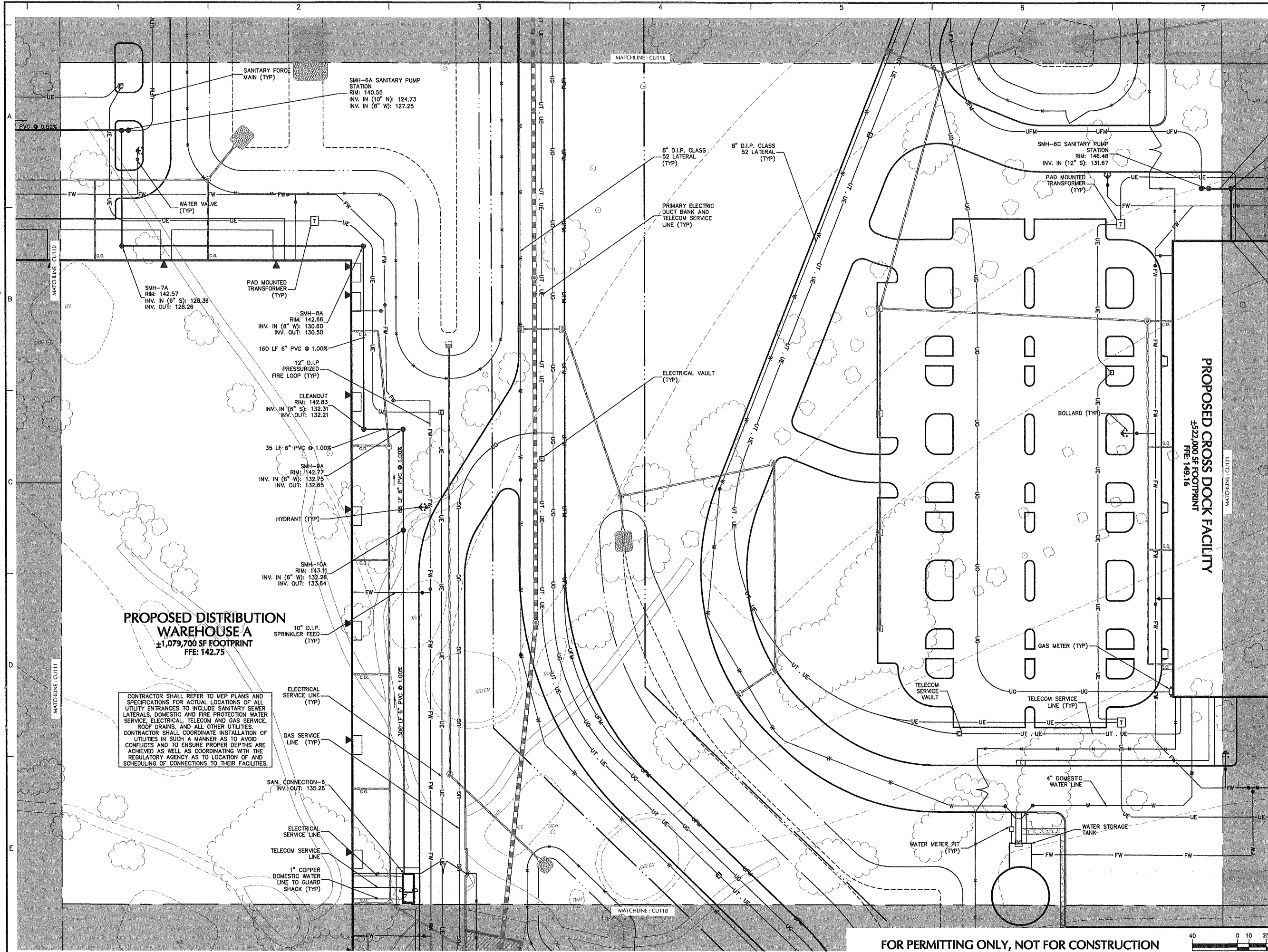
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE
Drawing Title

UTILITY PLAN XVI

Project No. 151010101	Drawing No. CU116
Date 04-21-2020	
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CU103	CU109	CU115	
CU104	CU110	CU116	
CU105	CU111	CU117	
CU106	CU112	CU118	
		CU119	
		CU120	
		CU121	
		CU122	
		CU123	
		CU124	
		CU125	
		CU126	
		CU127	
		CU128	
		CU129	

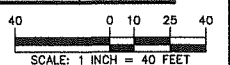
Date	Description	No.
Revisions		
JOHN D. PLANTE NH P.E. Lic. No. 14072		

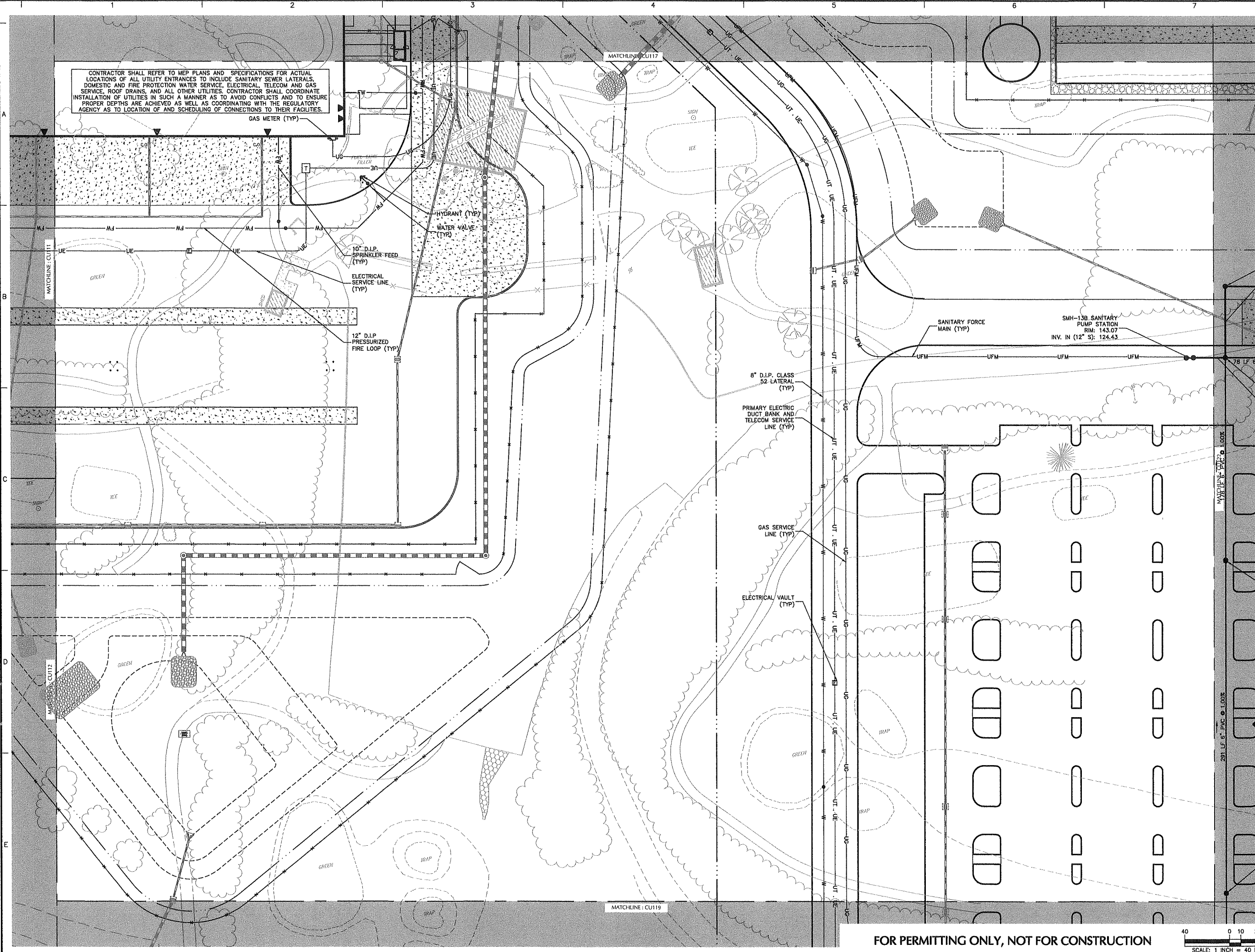
LANGAN
Langan Engineering and Environmental Services, Inc.
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Boston, MA 02199
T: 617.824.9100 F: 617.824.9101 www.langan.com

Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE
Drawing Title

UTILITY PLAN XVII

Project No. 151010101	Drawing No. CU117
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	





SHEET LEGEND
1"=1500'

CU101	CU107	CU113	NO PROPOSED UTILITY IMPROVEMENTS, REMOVED FROM CU SERIES	
CU102	CU108	CU114		
CU103	CU109	CU115		
CU104	CU110	CU116		
CU105	CU111	CU117	CU120	CU125
CU106	CU112	CU118	CU121	CU126
		CU119	CU122	CU127
			CU123	CU128
			CU124	CU129

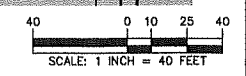
Date	Description	No.
Revisions		
JOHN D. PLANTE NH P.E. Lic. No. 14072		

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Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE
Drawing Title

Project No. 151010101	Drawing No. CU118
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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SHEET LEGEND
1"=1500'

CU101	CU107	CU113	NO PROPOSED UTILITY IMPROVEMENTS, REMOVED FROM CU SERIES	
CU102	CU108	CU114		
CU103	CU109	CU115		
CU104	CU110	CU116	CU120	CU125
CU105	CU111	CU117	CU121	CU126
CU106	CU112	CU118	CU122	CU127
		CU119	CU123	CU128
			CU124	CU129

Date	Description	No.
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Revisions

JOHN D. PLANTE
No. 14072
LICENSED PROFESSIONAL ENGINEER
STATE OF NEW HAMPSHIRE

JOHN D. PLANTE
NH P.E. Lic. No. 14072

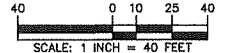
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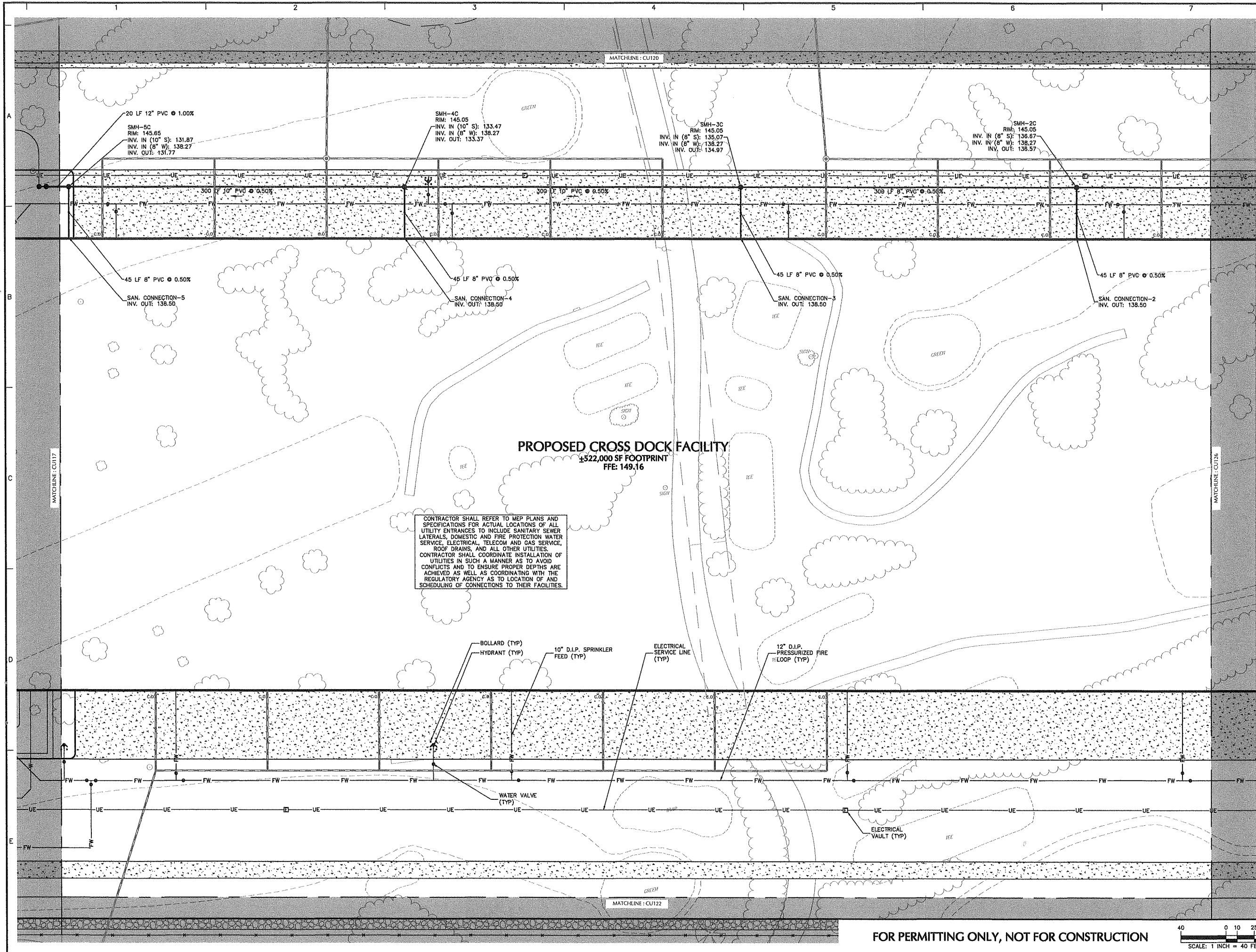
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title
UTILITY PLAN XIX

Project No. 151010101	Drawing No. CU119
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

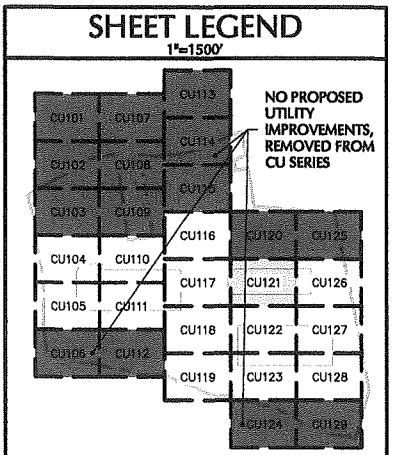
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PROPOSED CROSS DOCK FACILITY
 ±522,000 SF FOOTPRINT
 FFE: 149.16

CONTRACTOR SHALL REFER TO MEP PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELECOM AND GAS SERVICE, ROOF DRAINS, AND ALL OTHER UTILITIES. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION OF AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.



Date	Description	No.
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Revisions

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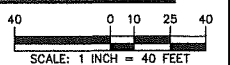
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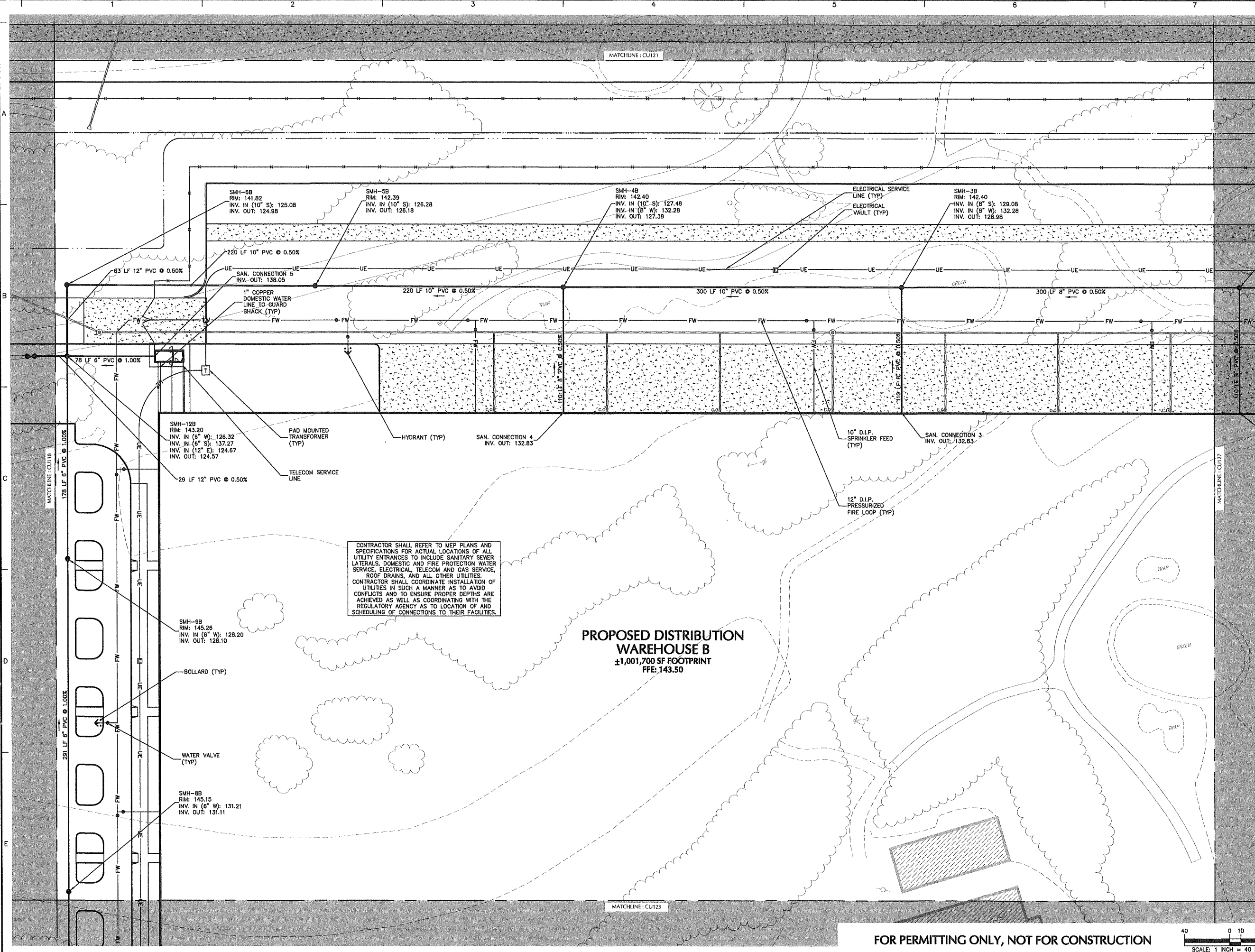
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

Drawing Title
UTILITY PLAN XXI

Project No. 151010101	Drawing No. CU121
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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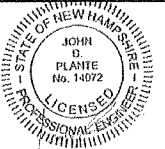
CONTRACTOR SHALL REFER TO MEP PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER, LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELECOM AND GAS SERVICE, ROOF DRAINS, AND ALL OTHER UTILITIES. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION OF AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.

PROPOSED DISTRIBUTION WAREHOUSE B
 ±1,001,700 SF FOOTPRINT
 FFE: 143.50

SHEET LEGEND
 1"=150'

CU101	CU107	CU113	NO PROPOSED UTILITY IMPROVEMENTS, REMOVED FROM CU SERIES
CU102	CU108	CU114	
CU103	CU109	CU115	
CU104	CU110	CU116	
CU105	CU111	CU117	
CU106	CU112	CU118	
		CU119	
		CU120	
		CU121	
		CU122	
		CU123	
		CU124	
		CU125	
		CU126	
		CU127	
		CU128	

Date	Description	No.
Revisions		



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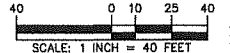
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1

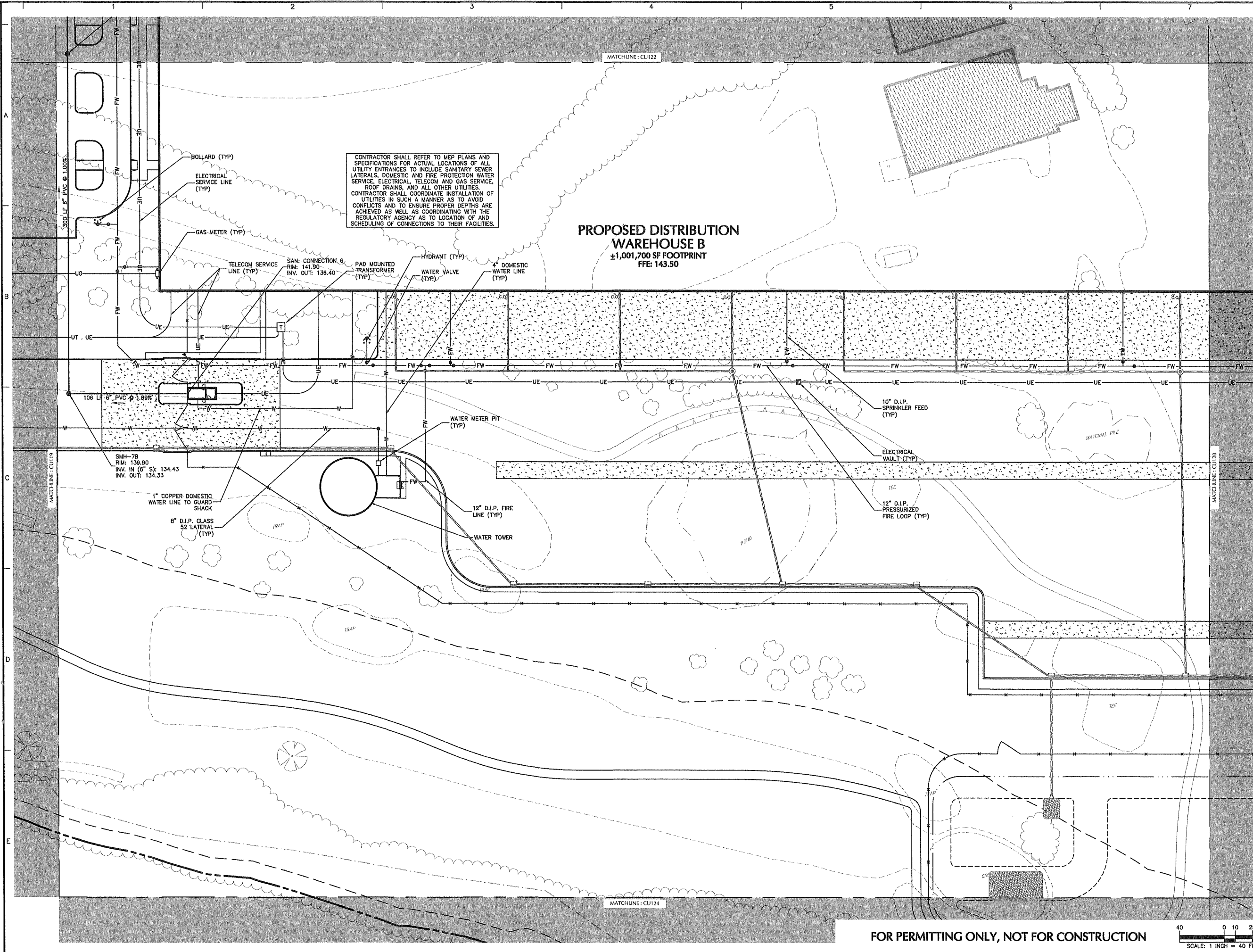
HUDSON NEW HAMPSHIRE

Drawing Title
UTILITY PLAN XXII

Project No. 151010101	Drawing No. CU122
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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 FFE: 143.50

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SHEET LEGEND
 1"=1500'

CU101	CU107	CU113	NO PROPOSED UTILITY IMPROVEMENTS, REMOVED FROM CU SERIES		
CU102	CU108	CU114			
CU103	CU109	CU115			
CU104	CU110	CU116	CU120	CU125	
CU105	CU111	CU117	CU121	CU126	
CU106	CU112	CU118	CU122	CU127	
		CU119	CU123	CU128	
			CU124	CU129	

Date	Description	No.
Revisions		



JOHN D. PLANTE
 NH P.E. Lic. No. 14072

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Project

HUDSON LOGISTICS CENTER

MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE

Drawing Title

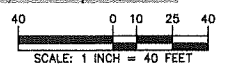
UTILITY PLAN XXIII

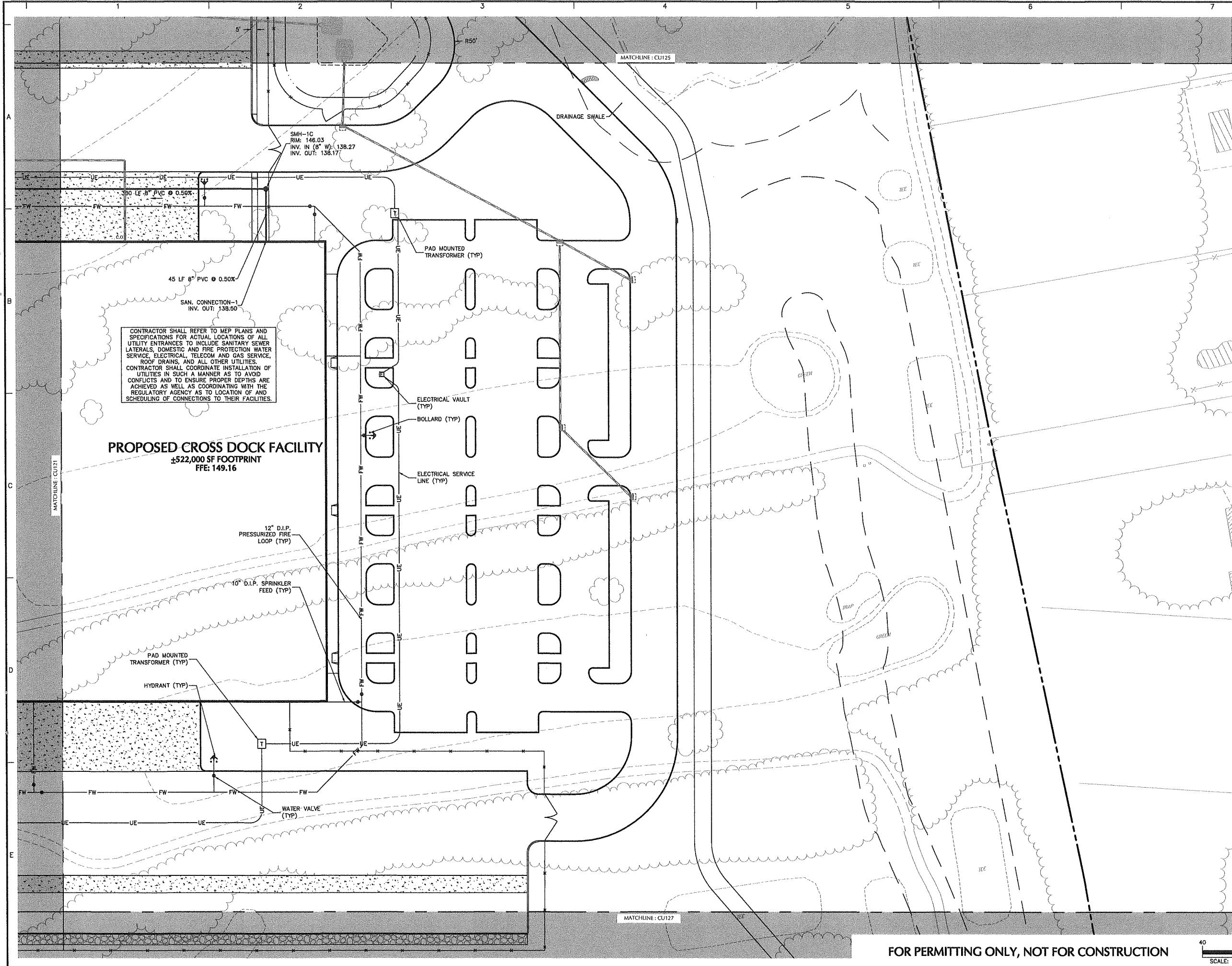
Project No. 151010101 Drawing No.

Date 04-21-2020 **CU123**

Drawn By CLR
 Checked By NLK

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SHEET LEGEND
1"=1500'

CU101	CU107	CU113	NO PROPOSED UTILITY IMPROVEMENTS, REMOVED FROM CU SERIES
CU102	CU108	CU114	
CU103	CU109	CU115	
CU104	CU110	CU116	
CU105	CU111	CU117	
CU106	CU112	CU118	
		CU119	
		CU120	
		CU121	
		CU122	
		CU123	
		CU124	
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		CU128	

Date	Description	No.
Revisions		
JOHN D. PLANTE NH P.E. Lic. No. 14072		

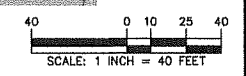
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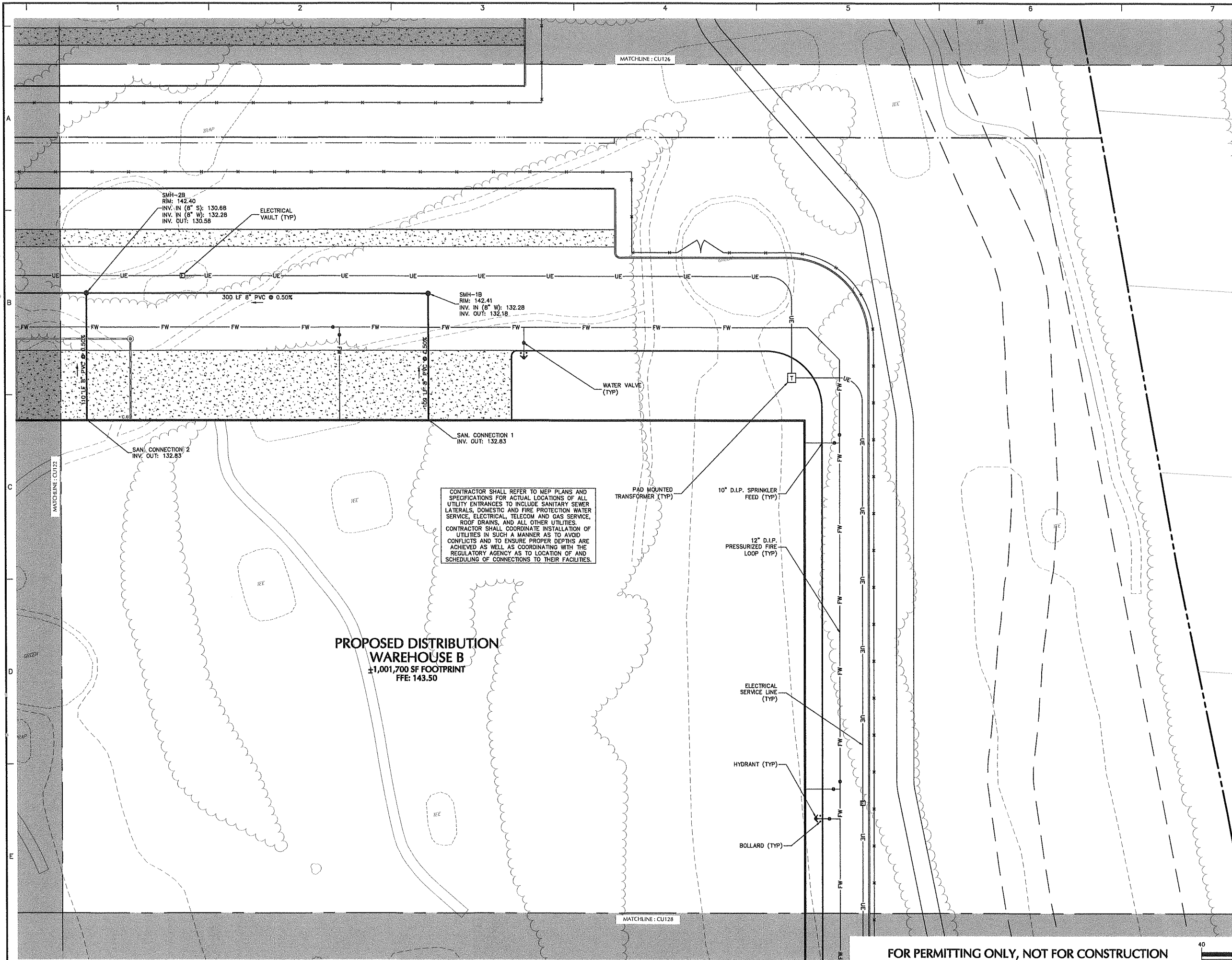
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE
Drawing Title

UTILITY PLAN XXVI

Project No. 1510101	Drawing No. CU126
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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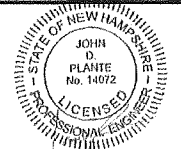


SHEET LEGEND
1"=150'

CU101	CU107	CU113
CU102	CU108	CU114
CU103	CU109	CU115
CU104	CU110	CU116
CU105	CU111	CU117
CU106	CU112	CU118
		CU119
		CU120
		CU121
		CU122
		CU123
		CU124
		CU125
		CU126
		CU127
		CU128

NO PROPOSED UTILITY IMPROVEMENTS, REMOVED FROM CU SERIES

Date	Description	No.
Revisions		



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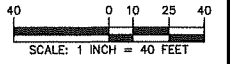
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

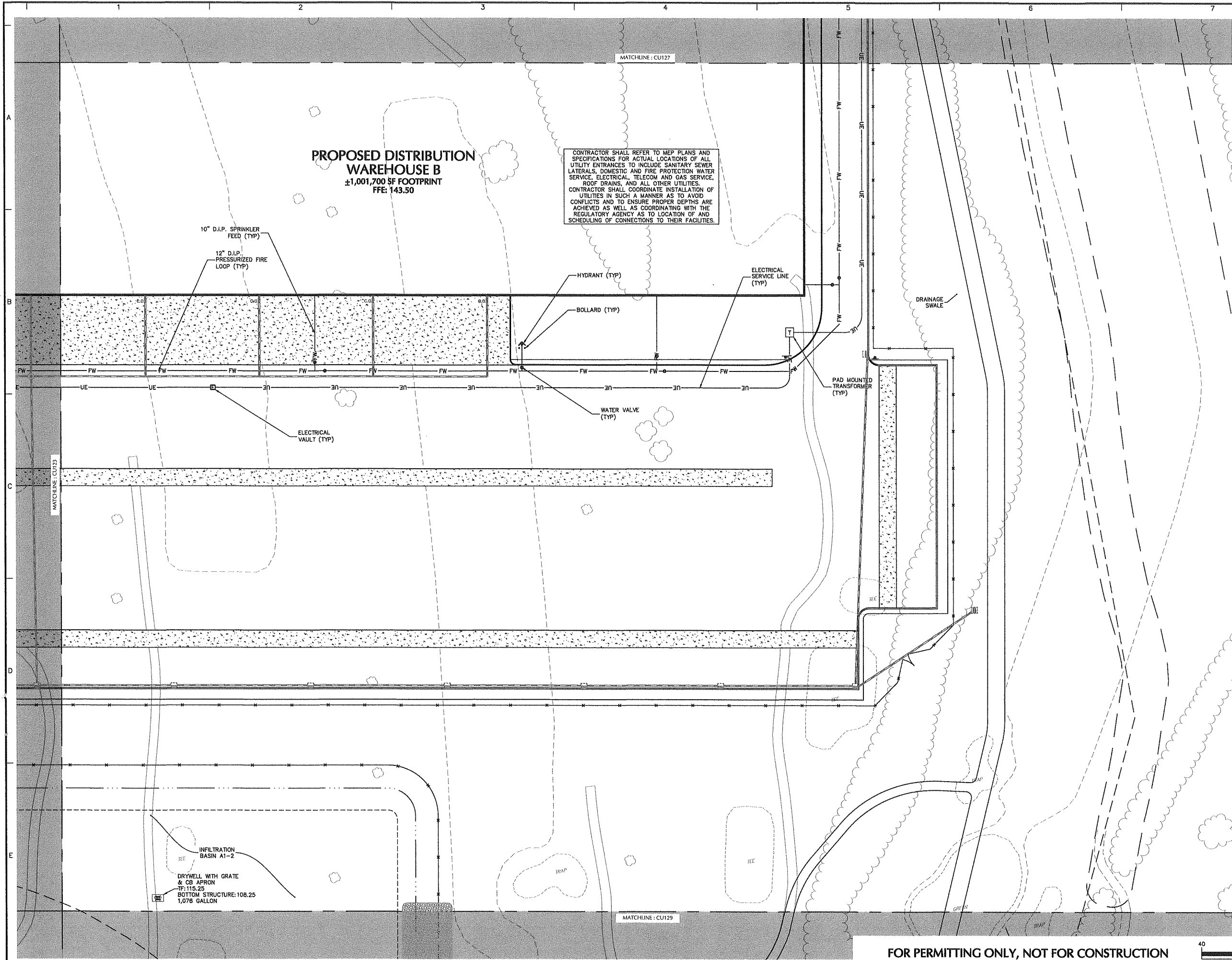
HUDSON NEW HAMPSHIRE
Drawing Title

UTILITY PLAN XXVII

Project No. 151010101	Drawing No. CU127
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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SHEET LEGEND
 1"=1500'

CU101	CU107	CU113	NO PROPOSED UTILITY IMPROVEMENTS, REMOVED FROM CU SERIES
CU102	CU108	CU114	
CU103	CU109	CU115	
CU104	CU110	CU116	CU120
CU105	CU111	CU117	CU121
CU106	CU112	CU118	CU122
		CU119	CU123
			CU124
			CU125
			CU126
			CU127
			CU128
			CU129

Date	Description	No.
------	-------------	-----

Revisions

JOHN D. PLANTE
 No. 14072
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NEW HAMPSHIRE

JOHN D. PLANTE
 NH P.E. Lic. No. 14072

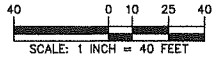
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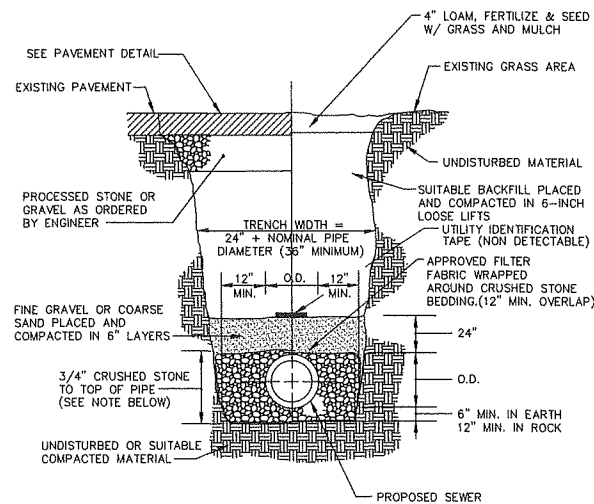
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE
 Drawing Title

UTILITY PLAN XXVIII

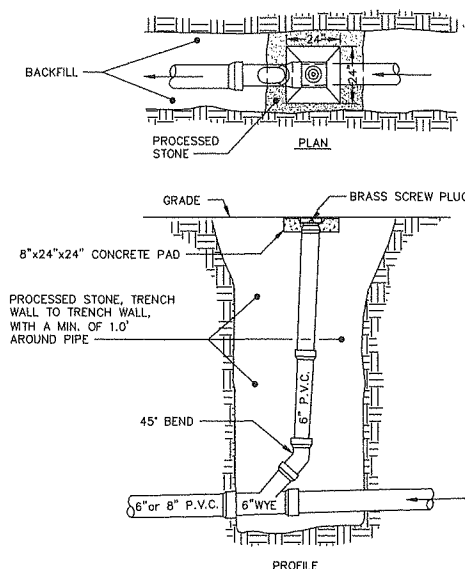
Project No. 1510101	Drawing No. CU128
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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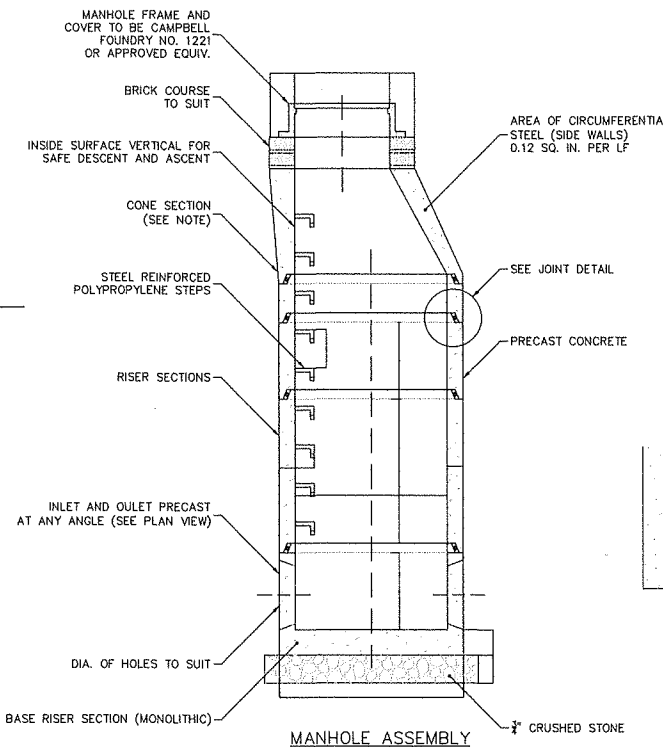
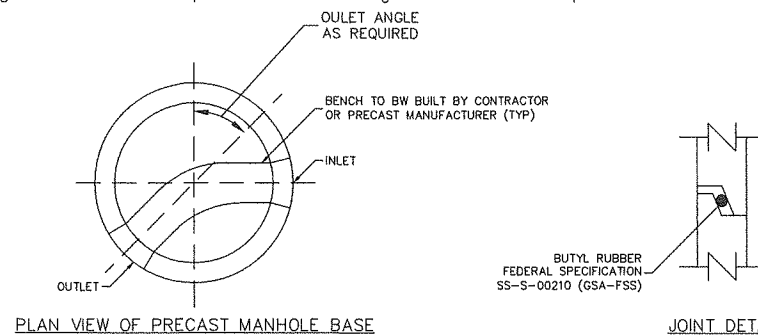




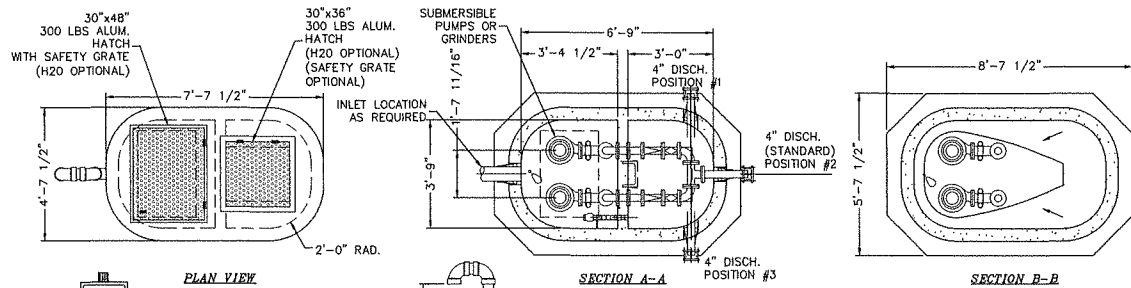
1 SEWER TRENCH SECTION N.T.S.



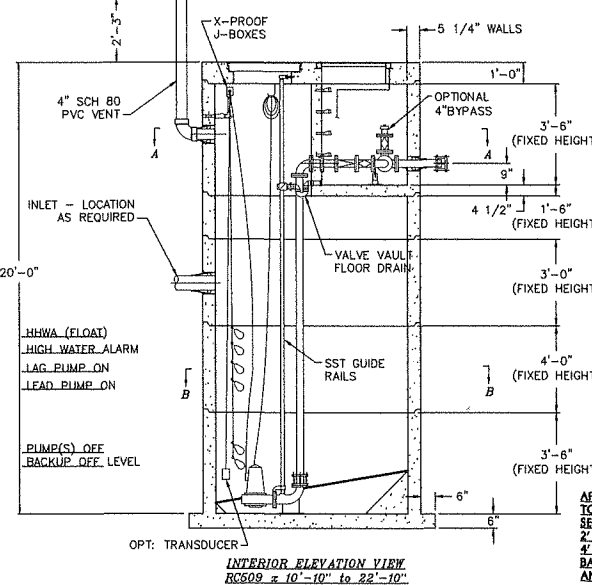
2 SEWER CLEANOUT N.T.S.



3 SEWER MANHOLE N.T.S.



PUMP CONTROL PANEL (TO BE SHIPPED LOOSE UNLESS PM MOUNTING OPTION IS SELECTED)

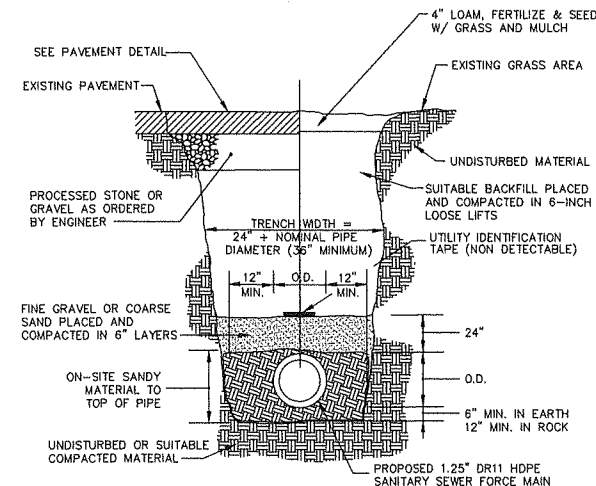


OPTION LIST:
• OVERALL STRUCTURE HEIGHT FROM 10'-10" TO 22'-10" (USING STANDARD HEIGHT COMPONENTS)
• DISCHARGE POSITION #1, #2 (STD) OR #3
• H2O LOAD RATING ON HATCHES
• 4" BYPASS OULET/INLET
• DISCHARGE PRESSURE GAUGES
• AUTOMATIC ALARM DIALER
• XYPEX CONCRETE MIX ADDITIVE (CORROSION PROTECTION)
• 2" & 3" PIPING FOR GRINDER APPLICATION
• TRASH BASKET
• PORTABLE HOIST

NOTES:
ALL PRECAST CONCRETE SHALL ALSO BE IN COMPLETE ACCORDANCE WITH PCI MNL120, "PCI DESIGN HANDBOOK - PRECAST AND PRESTRESSED CONCRETE," LATEST EDITION, WET WELL AND VALVE CHAMBER PRECAST CONCRETE INCLUDE A XYPEX C-500 OR APPROVED EQUAL WATERPROOF ADMIXTURE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

APPROX WEIGHT:
TOP SLAB - 4 TONS + VALVE SECTION - 8 TONS = 12 TONS
2" SHIM SECTION - 2.5 TONS
4" SHIM SECTION - 5 TONS
BASE SECTION W/O OUT COLLAR AND CONC. FILLETS - 12.0 TONS

4 PUMP STATION WET WELL (FOR REFERENCE ONLY) N.T.S.

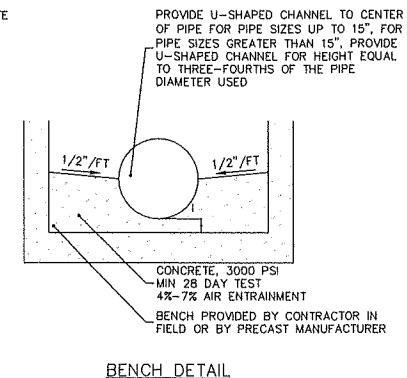


5 SANITARY FORCE MAIN TRENCH DETAIL N.T.S.

NOTE:

CONE DIMENSIONS	
DIA. OPENING	HEIGHT
24"	24" OR 36"
30"	36"

CONCRETE TO TEST 3000 P.S.I. AT 28 DAYS IN CONFORMANCE WITH ASTM C-478-68
MANHOLES SHALL HAVE PAVED INVERTS.



Date	Description	No.
Revisions		
JOHN D. PLANTE NH P.E. Lic. No. 14072		

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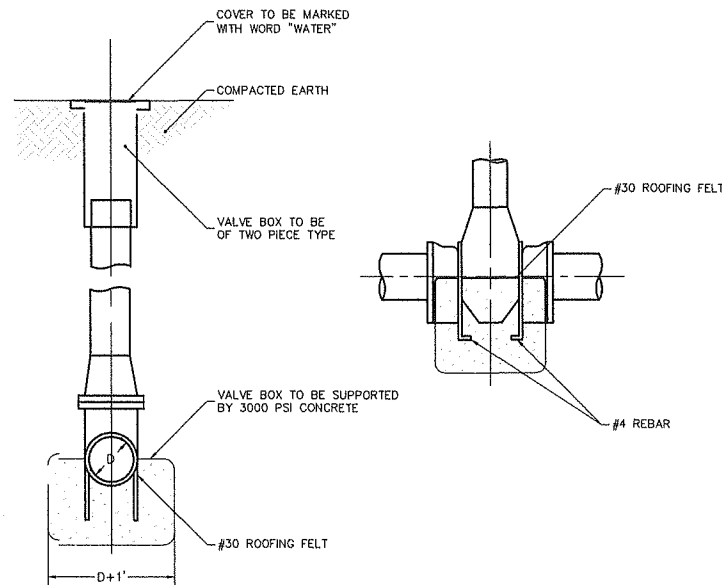
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE

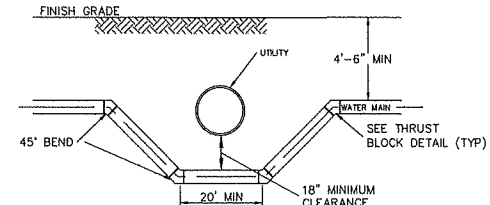
Drawing Title
UTILITY DETAILS I

Project No. 151010101	Drawing No. CU501
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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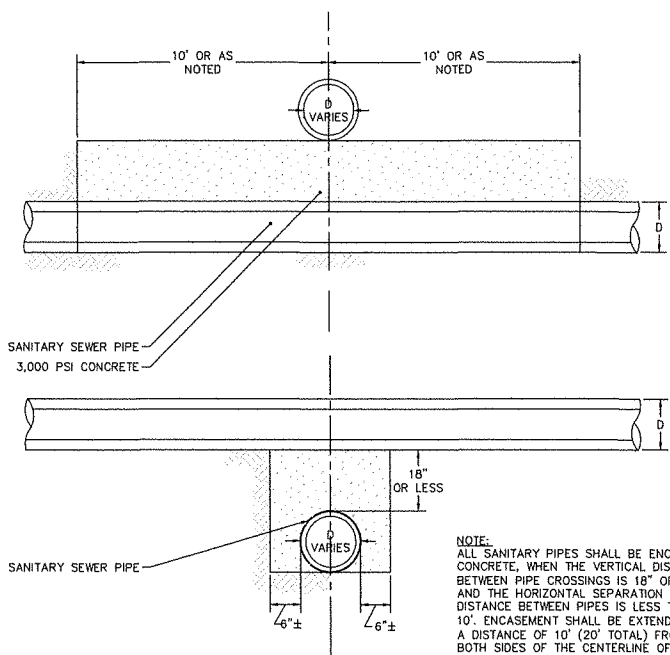


1 WATER GATE VALVE
N.T.S.



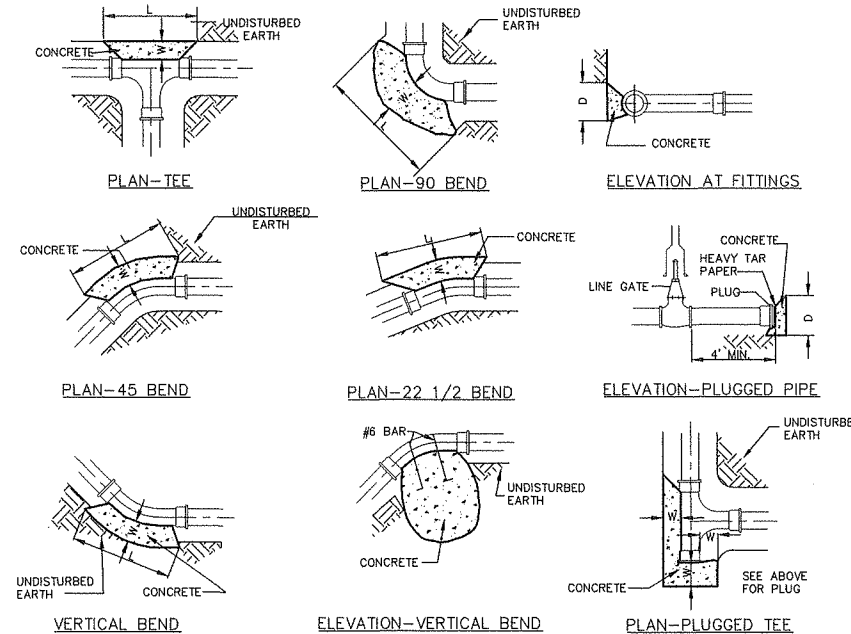
NOTE:
WATER MAIN SHALL BE CONSTRUCTED OF CEMENT LINED CLASS 52 DUCTILE IRON PIPE OR BETTER. ONE FULL LENGTH OF WATER MAIN SHOULD BE CENTERED UNDER THE CROSS PIPE SO THAT BOTH JOINTS WILL BE AS FAR FROM THE CROSSING AS POSSIBLE.

2 WATER MAIN DROP
N.T.S.



NOTE:
ALL SANITARY PIPES SHALL BE ENCASED IN CONCRETE, WHEN THE VERTICAL DISTANCE BETWEEN PIPE CROSSINGS IS 18" OR LESS AND THE HORIZONTAL SEPARATION DISTANCE BETWEEN PIPES IS LESS THEN 10'. ENCASEMENT SHALL BE EXTENDED FOR A DISTANCE OF 10' (20' TOTAL) FROM BOTH SIDES OF THE CENTERLINE OF THE PIPE OR UNTIL THE PIPE SEPARATION IS 10' HORIZONTAL, WHICH EVER IS LONGER.

5 CONCRETE ENCASEMENT FOR SANITARY SEWER
N.T.S.



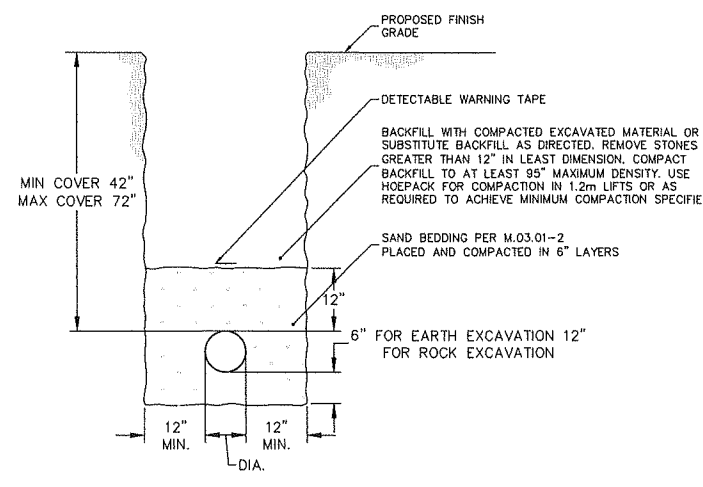
THRUST BLOCK SCHEDULE

PIPE SIZE	TEE		22 1/2		45		90		W
	L	D	L	D	L	D	L	D	
6"	18"	15"	15"	12"	15"	12"	15"	15"	21"
8"	2'	18"	18"	12"	18"	12"	2'	18"	2'
12"	3'	2'	2'	12"	2'	12"	3'	2'	28"
16"	4'	2.5'	2'	12"	2.33'	15"	4'	2.5'	31"
20"	5.25'	3'	2'	18"	3'	2'	5.25'	3'	33"
24"	7.5'	3'	3'	18"	4'	2.5'	7.5'	3'	3'

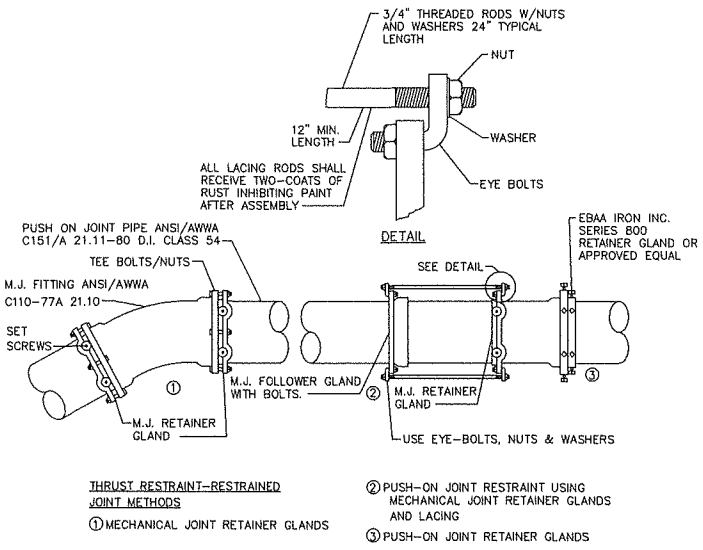
BASIS:
2,000 LB/SQ.FT. SOIL RESISTANCE 250 PSI WATER PRESSURE CORRECTION FACTORS FOR OTHER SOILS:
SOFT CLAY 4
SAND 2
SAND & GRAVEL 1.33
SHALE 0.4

NOTE:
1. IF SOFT MATERIALS ARE ENCOUNTERED, THE THRUST BLOCKS SIZES SHALL BE ADJUSTED ACCORDINGLY.
2. CONCRETE TO BE 3000 PSI.
3. TO COMPLY WITH THE THE REGIONAL WATER AUTHORITY.
4. THRUST BLOCKS TO BE USED ON SITE FIRE LOOP ONLY AND TAPS ON WASHINGTON AVENUE AND DEFCO PARK ROAD. WATER MAINS AND LATERALS TO USE RESTRAINTS.

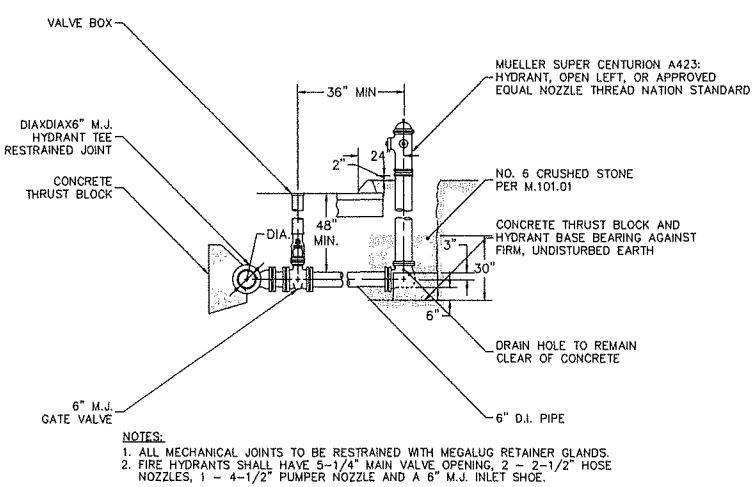
3 THRUST BLOCKS
N.T.S.



6 WATER TRENCH SECTION
N.T.S.



4 TYPICAL RESTRAINED JOINTS
N.T.S.

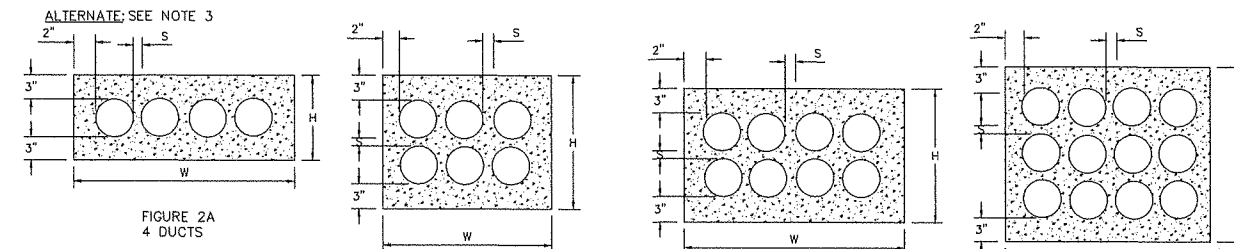
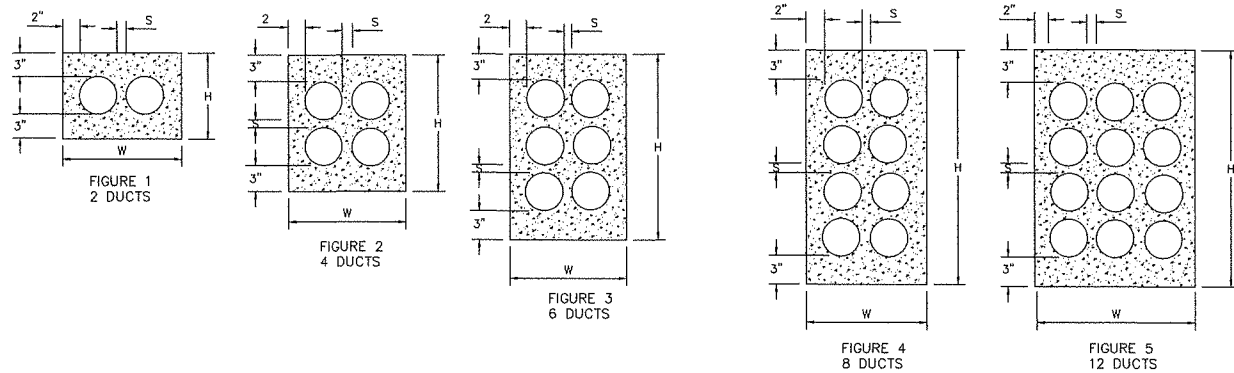


NOTES:
1. ALL MECHANICAL JOINTS TO BE RESTRAINED WITH MEGALUG RETAINER GLANDS.
2. FIRE HYDRANTS SHALL HAVE 5-1/4" MAIN VALVE OPENING, 2 - 2-1/2" HOSE NOZZLES, 1 - 4-1/2" PUMPER NOZZLE AND A 6" M.J. INLET SHOE.

7 HYDRANT
N.T.S.

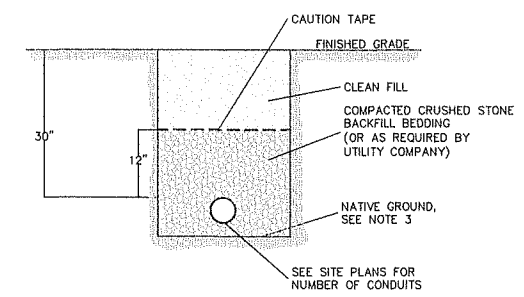
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Date	Description	No.
Revisions		
LANGAN Langan Engineering and Environmental Services, Inc. 888 Boylston Street, Ste 510 Boston, MA 02199 T: 617.824.9100 F: 617.824.9101 www.langan.com		
HUDSON LOGISTICS CENTER MAP No. 239, LOT No. 1		
UTILITY DETAILS II		
Project No.	Drawing No.	
151010101	CU502	
Date	04-21-2020	
Drawn By	CLR	
Checked By	NLK	



- NOTES:**
- AT MANHOLES CONDUIT BANKS SHALL BE PER FIGURES 1,2,3,4, OR 5
 - MINIMUM COVER FROM TOP OF CONDUIT BANK TO THE PAVEMENT OR EARTH SURFACE SHALL BE:
 - A. STATE HIGHWAYS - 36"
 - B. RAILROAD TRACKS - 60"
 - C. ALL OTHER AREAS - 24"
 - IN THE CONDUIT RUN BETWEEN MANHOLES IF OBSTRUCTIONS ARE ENCOUNTERED OR TO REDUCE TRENCH DEPTH, FIGURES 2A, 3A, 4A, OR 5A ARE PERMISSIBLE.
 - CONCRETE SHALL BE 2500 PSI, 1/2" MAXIMUM STONE, 6-9" SLUMP OF SUCH CONSISTENCY THAT SPADING WILL ENSURE THE FLOW OF CONCRETE BETWEEN AND UNDER THE INDIVIDUAL DUCTS, BUT NOT SO AS TO FLOAT THE DUCTS. FOR TIER BUILD UP CONSTRUCTION A STIFFER CONSISTENCY SHOULD BE USED.
 - CONCRETE ENCASUREMENT NOT REQUIRED FOR SINGLE CONDUIT, SEE JOINT ELECTRICAL UTILITY TRENCH DETAIL FOR TRENCH REQUIREMENTS.

FIG	DIMENSIONS IN INCHES								
	4" DUCT			5" DUCT			6" DUCT		
	W	H	S	W	H	S	W	H	S
1	14-1/2	10-1/2	1-1/2	16-1/2	11-1/2	1-1/2	19	12-1/2	2
2	14-1/2	16-1/2	1-1/2	16-1/2	18-1/2	1-1/2	19	21	2
2A	26-1/2	10-1/2	1-1/2	30-1/2	11-1/2	1-1/2	36	12-1/2	2
3	14-1/2	22-1/2	1-1/2	16-1/2	25-1/2	1-1/2	19	29-1/2	2
3A	20-1/2	16-1/2	1-1/2	23-1/2	18-1/2	1-1/2	27-1/2	21	2
4	14-1/2	28-1/2	1-1/2	16-1/2	32-1/2	1-1/2	19	38	2
4A	26-1/2	16-1/2	1-1/2	30-1/2	18-1/2	1-1/2	36	21	2
5	20-1/2	28-1/2	1-1/2	23-1/2	32-1/2	1-1/2	27-1/2	38	2
5A	26-1/2	22-1/2	1-1/2	30-1/2	25-1/2	1-1/2	36	29-1/2	2



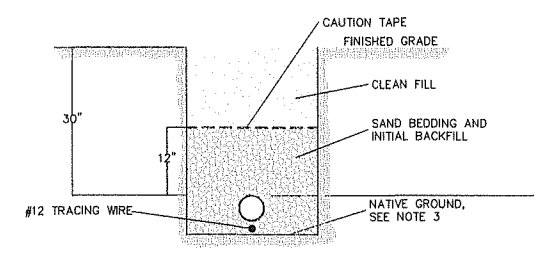
- NOTES:**
- TRENCHES IN STABLE SOIL OVER 5 FT DEEP SHALL BE REINFORCED BY APPROVED OSHA METHODS.
 - TRENCHES SHALL BE COMPACTED.
 - IF NATIVE GROUND IS NOT SUITABLE, THE CONTRACTOR SHALL EXCAVATE TO AN ACCEPTABLE DEPTH AND INSTALL MATERIALS AS APPROVED BY ENGINEERS AND UTILITY COMPANY.

ELECTRICAL CONDUIT BANK

N.T.S.

TELEPHONE TRENCH DETAIL

N.T.S.

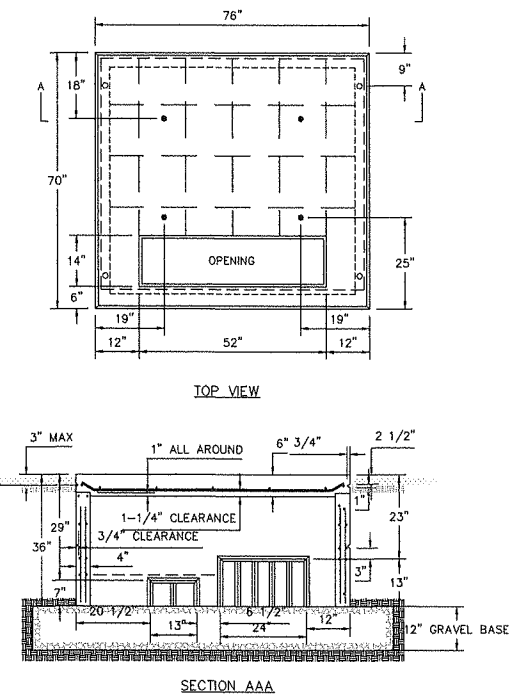


- NOTES:**
- TRENCHES IN STABLE SOIL OVER 5 FT DEEP SHALL BE REINFORCED BY APPROVED OSHA METHODS.
 - TRENCHES SHALL BE COMPACTED.
 - IF NATIVE GROUND IS NOT SUITABLE, THE CONTRACTOR SHALL EXCAVATE TO AN ACCEPTABLE DEPTH AND INSTALL MATERIALS AS APPROVED BY ENGINEERS AND UTILITY COMPANY.
 - CONTRACTOR TO PROVIDE EXCAVATION, BEDDING, SAND BACKFILL AND FIND BACKFILL. GAS COMPANY TO PROVIDE INSTALLATION OF ALL GAS PIPING AND SERVICES.

GAS MAIN TRENCH DETAIL

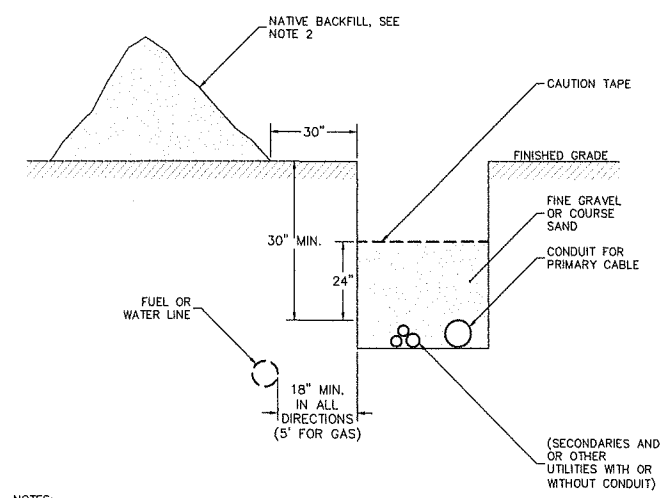
N.T.S.

- NOTES:**
- ROOF LOAD DESIGN OF 4000 LBS SPREAD OVER 1-FOOT-SQUARE AREA ANYWHERE ON ROOF
 - WALLS SHALL RESIST A SOIL PRESSURE OF EQUIVALENT FLUID PRESSURE OF 33 PCF. SURCHARGE OF 2.5 FEET OF SOIL WEIGHING 120 PCF.
 - CONCRETE SHALL BE 4000 PSI AT 28 DAYS. ENTRAINED AIR 6-9%. STEEL SHALL BE ASTM A615-1992, GRADE 40.
 - ALL CONCRETE AND REINFORCEMENT IN ACCORDANCE WITH ACI 318-1999.
 - FOR LIFTING TOP OR BOTTOM SECTION, CAST IN FOUR 3/4-INCH-SECTION, DAYTON SUREGRIP (OR APPROVED EQUAL) COIL LOOP INSERTS, GALVANIZED, WITH T21 PLASTIC SETTING PLUGS. INSERTS ARE TO BE SECURED IN PLACE WITH REBAR.
 - TOP: CATALOG TYPE B16, 3/4-INCH-DIAMETER X 4 INCHES LONG. BOTTOM: CATALOG TYPE B16, 3/4-INCH-DIAMETER X 4 INCHES LONG. PROVIDE 3-INCH-LONG GROOVE (3/4 INCH X 1 INCH) FOR LIFTING SLING AT EACH CORNER, EACH SIDE.
 - MANUFACTURE'S IDENTIFICATION AND MONTH/YEAR WHEN MANUFACTURED SHALL BE LEGIBLY MARKED IN/ON CONCRETE IN THE SIDE.
 - ZINC ALLOY INSERTS 3/4 INCH - 10 INCHES X 3 INCHES FOR CABLE PULLING. TO BE LOCATED 4 INCHES ABOVE (7 INCH X 13 INCH) KNOCKOUTS FOUR).



PRECAST TRANSFORMER PAD

N.T.S.



- NOTES:**
- ALL DIRECT-BURIED CABLES SHALL BE INSTALLED AT A DEPTH OF AT LEAST 30 INCHES IN THE FOLLOWING ORDER:
 - A. ENSURE THAT THE BOTTOM OF THE TRENCH IS WELL-TAMPED AND FREE OF ROCKS.
 - B. INSTALL THE CONDUIT, GLUING ALL COUPLINGS.
 - C. INSTALL SECONDARIES AND OTHER UTILITY CABLES OR CONDUITS LARGER THAN 2 INCHES IN MAXIMUM DIAMETER.
 - D. BACKFILL WITH 12 INCHES CLEAN FILL NOT TO CONTAIN STONES LARGER THAN 2 INCHES IN MAXIMUM DIAMETER.
 - E. INSTALL CABLE WARNING TAPE 12 INCHES OVER THE CONDUIT.
 - F. FILL IN THE REMAINDER OF THE TRENCH WITH NATIVE BACKFILL.
 - THE TRENCH SHALL BE BACKFILLED IMMEDIATELY FOLLOWING PLACEMENT OF THE CONDUIT.
 - 1/4-INCH NYLON ROPE AND PLASTIC CONDUIT PLUG TO BE SUPPLIED AND INSTALLED BY CONTRACTOR.

ELECTRICAL UTILITY TRENCH

N.T.S.

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Date	Description	No.
Revisions		
LANGAN Langan Engineering and Environmental Services, Inc. 888 Boylston Street, Ste 510 Boston, MA 02199 T: 617.824.9100 F: 617.824.9101 www.langan.com		
Project		
HUDSON LOGISTICS CENTER MAP No. 239, LOT No. 1		
HUDSON NEW HAMPSHIRE		
Drawing Title		
UTILITY DETAILS III		
Project No.	Drawing No.	
151010101	CU503	
Date	04-21-2020	
Drawn By	CLR	
Checked By	NLK	

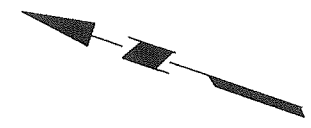
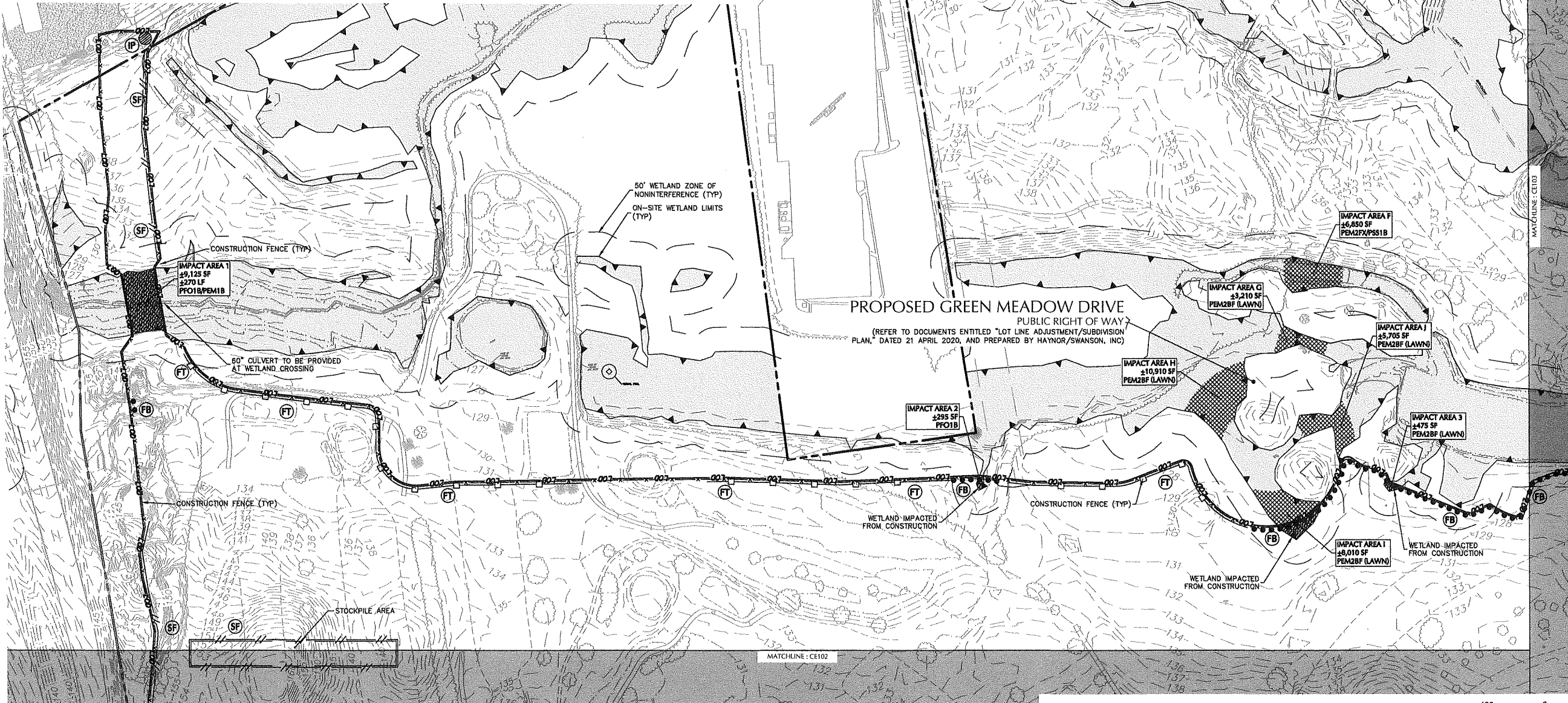
LEGEND

SYMBOL	KEY	TITLE	SYMBOL	KEY	TITLE
	(IP)	PROPOSED INLET PROTECTION			EXISTING STORM LINE TO REMAIN
	(RR)	RIP-RAP PROTECTION			SOIL EROSION CONTROL BLANKET
	(CE)	CONSTRUCTION ENTRANCE			DISTURBED WETLAND AREA
		LIMIT OF DISTURBANCE			STOCKPILE AREA
	(FT)	COMPOST FILTER TUBE & SILT FENCE			STABILIZED DIVERSION CHANNEL WITH STONE CHECK DAMS
	(FB)	COMPOST FILTER TUBE BERM & SILT FENCE			CONSTRUCTION FENCING
	(SF)	SILT FENCE			TEMPORARY DRAINAGE AREA
	(SB)	SEDIMENT BASIN			FUTURE BUILDING FOOTPRINT
	(ST)	SEDIMENT TRAP		(PS)	PERMANENT SEEDING
		INFILTRATION BASIN PROTECTION AREA		(SR)	SOIL ROUGHENING

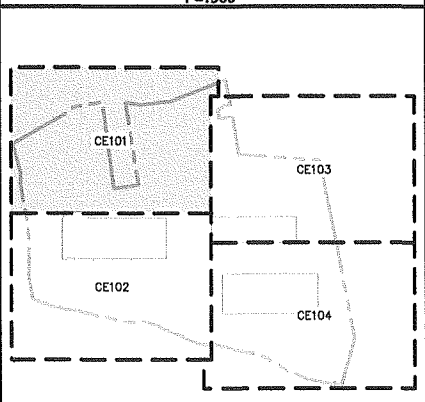
CONSTRUCTION SEQUENCING

Q3 2020 CONSTRUCTION START
 INSTALL PHASE 1 SESC FEATUERS
 INITIAL CONSTRUCTION AND DEMOLISH STAGING
 UTILITY AND SERVICE DISCONNECT / ESTABLISH TEMPORARY SERVICE
 SITE DEMOLITION, CLEARING AND GRUBBING

Q4 2020 INSTALL AND CONSTRUCT NORTHEASTERN STREAM CROSSING (WETLAND IMPACT 1)

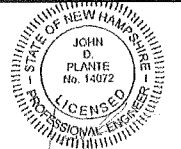


SHEET LEGEND



Date	Description	No.
05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1

Revisions



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Project: HUDSON LOGISTICS CENTER

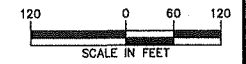
MAP No. 239, LOT No. 1

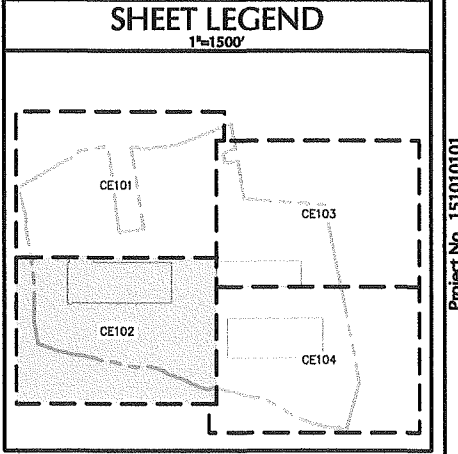
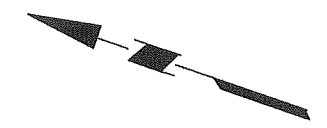
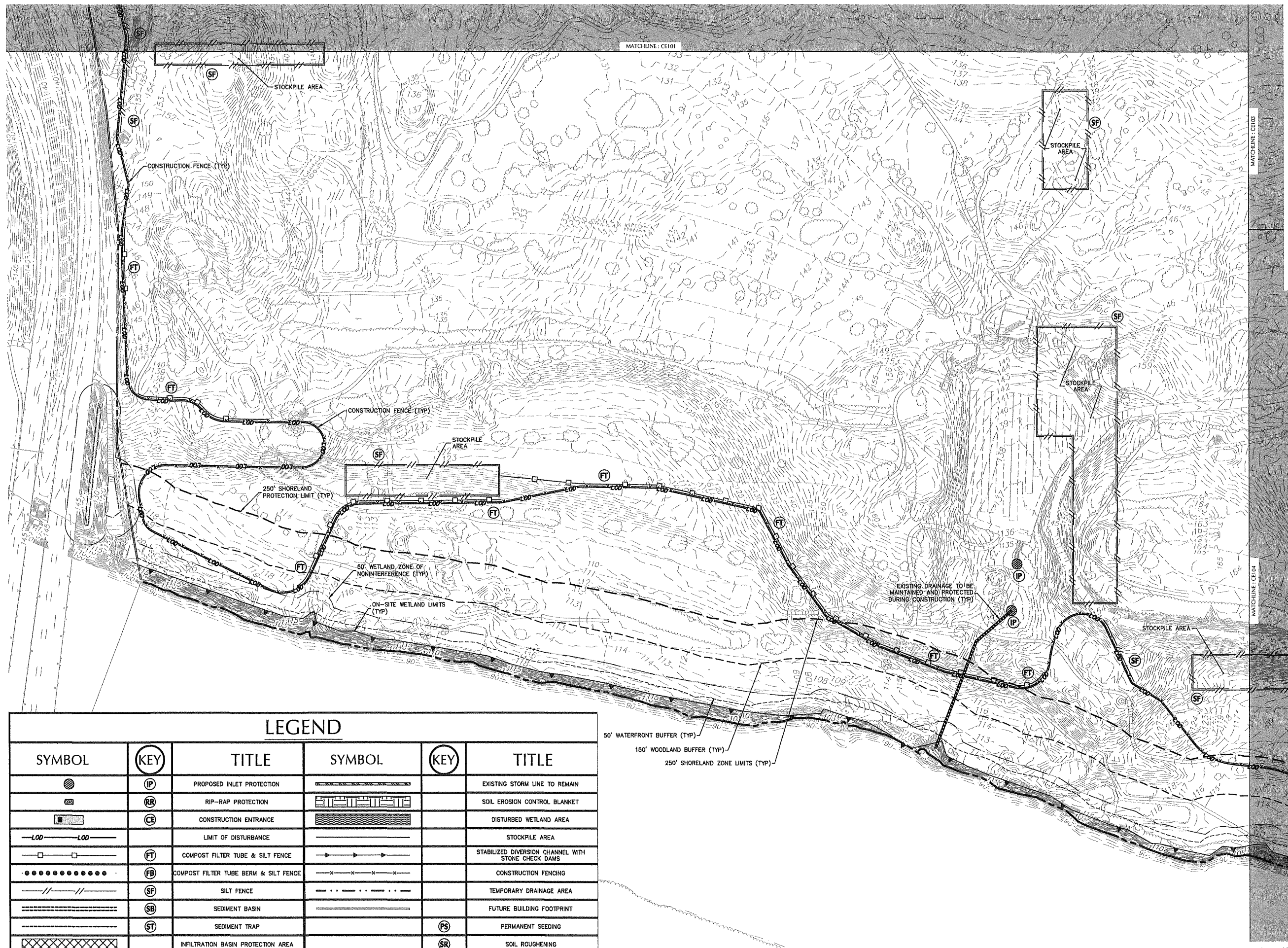
HUDSON NEW HAMPSHIRE

SOIL EROSION & SEDIMENT CONTROL PLAN I (PHASE 1)

Project No. 151010101	Drawing No. CE101
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.

Revisions

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Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

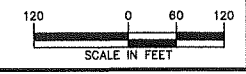
HUDSON NEW HAMPSHIRE
Drawing Title
SOIL EROSION & SEDIMENT CONTROL PLAN II (PHASE 1)

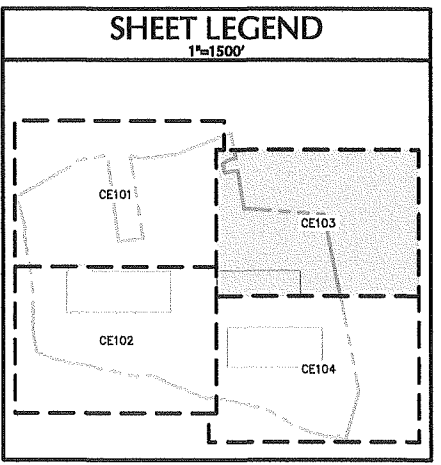
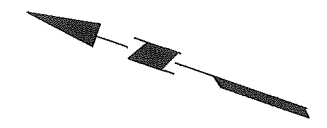
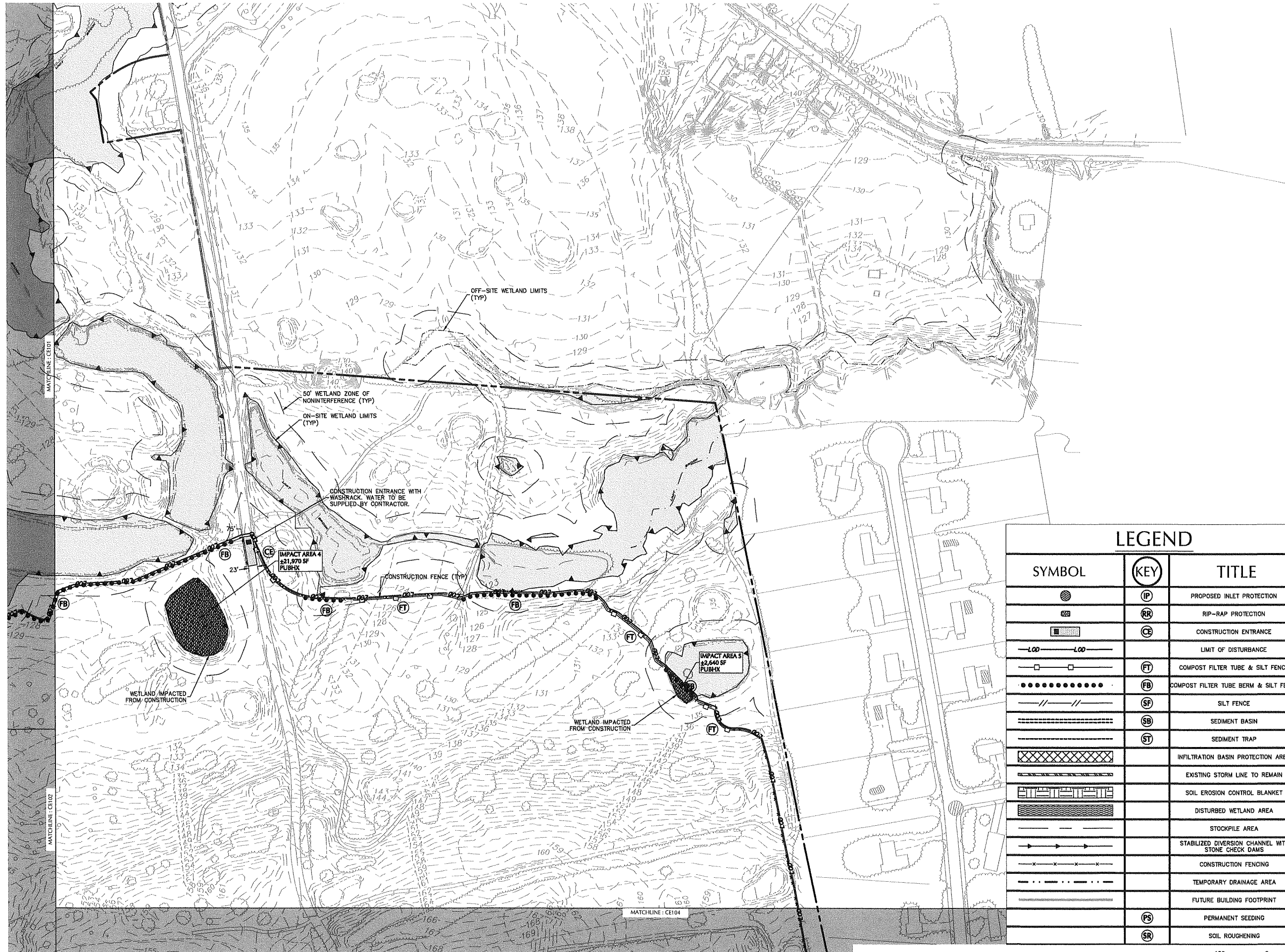
Project No. 151010101	Drawing No. CE102
Date 04-21-2020	Drawn By CLR
Checked By NLK	

LEGEND

SYMBOL	KEY	TITLE	SYMBOL	KEY	TITLE
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	(RR)	RIP-RAP PROTECTION			SOIL EROSION CONTROL BLANKET
	(CE)	CONSTRUCTION ENTRANCE			DISTURBED WETLAND AREA
		LIMIT OF DISTURBANCE			STOCKPILE AREA
	(FT)	COMPOST FILTER TUBE & SILT FENCE			STABILIZED DIVERSION CHANNEL WITH STONE CHECK DAMS
	(FB)	COMPOST FILTER TUBE BERM & SILT FENCE			CONSTRUCTION FENCING
	(SF)	SILT FENCE			TEMPORARY DRAINAGE AREA
	(SB)	SEDIMENT BASIN			FUTURE BUILDING FOOTPRINT
	(ST)	SEDIMENT TRAP		(PS)	PERMANENT SEEDING
	(SR)	INFILTRATION BASIN PROTECTION AREA		(SR)	SOIL ROUGHENING

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LEGEND

SYMBOL	KEY	TITLE
	IP	PROPOSED INLET PROTECTION
	RR	RIP-RAP PROTECTION
	CE	CONSTRUCTION ENTRANCE
	LOD	LIMIT OF DISTURBANCE
	FT	COMPOST FILTER TUBE & SILT FENCE
	FB	COMPOST FILTER TUBE BERM & SILT FENCE
	SF	SILT FENCE
	SB	SEDIMENT BASIN
	ST	SEDIMENT TRAP
		INFILTRATION BASIN PROTECTION AREA
		EXISTING STORM LINE TO REMAIN
		SOIL EROSION CONTROL BLANKET
		DISTURBED WETLAND AREA
		STOCKPILE AREA
		STABILIZED DIVERSION CHANNEL WITH STONE CHECK DAMS
		CONSTRUCTION FENCING
		TEMPORARY DRAINAGE AREA
		FUTURE BUILDING FOOTPRINT
	PS	PERMANENT SEEDING
	SR	SOIL ROUGHENING

Date	Description	No.
05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1

Revisions

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Project

HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

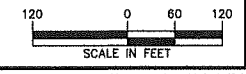
HUDSON NEW HAMPSHIRE

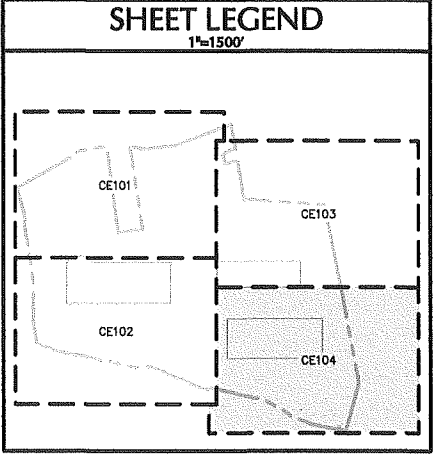
Drawing Title

SOIL EROSION & SEDIMENT CONTROL PLAN III (PHASE 1)

Project No.	Drawing No.
151010101	CE103
Date	
04-21-2020	
Drawn By	
CLR	
Checked By	
NLK	

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LEGEND

SYMBOL	KEY	TITLE
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	(RR)	RIP-RAP PROTECTION
	(CE)	CONSTRUCTION ENTRANCE
	(LOD)	LIMIT OF DISTURBANCE
	(FT)	COMPOST FILTER TUBE & SILT FENCE
	(FB)	COMPOST FILTER TUBE BERM & SILT FENCE
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	(SB)	SEDIMENT BASIN
	(ST)	SEDIMENT TRAP
		INFILTRATION BASIN PROTECTION AREA
		EXISTING STORM LINE TO REMAIN
		SOIL EROSION CONTROL BLANKET
		DISTURBED WETLAND AREA
		STOCKPILE AREA
		STABILIZED DIVERSION CHANNEL WITH STONE CHECK DAMS
		CONSTRUCTION FENCING
		TEMPORARY DRAINAGE AREA
		FUTURE BUILDING FOOTPRINT
	(PS)	PERMANENT SEEDING
	(SR)	SOIL ROUGHENING

05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.

Revisions

JOHN D. PLANTE
NH P.E. Lic. No. 14072

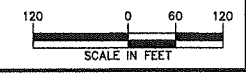
LANGAN
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Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title
SOIL EROSION & SEDIMENT CONTROL PLAN IV (PHASE 1)

Project No. 151010101	Drawing No. CE104
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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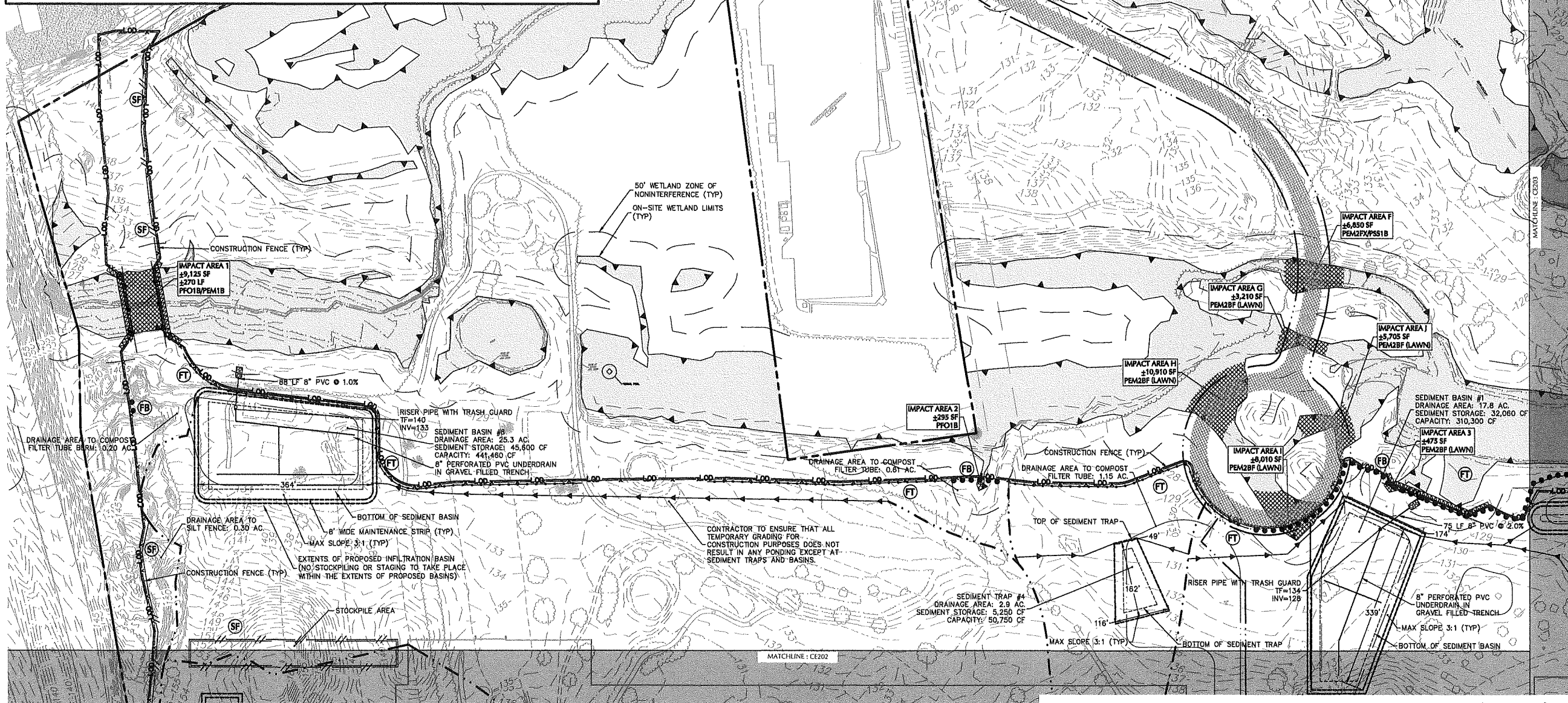


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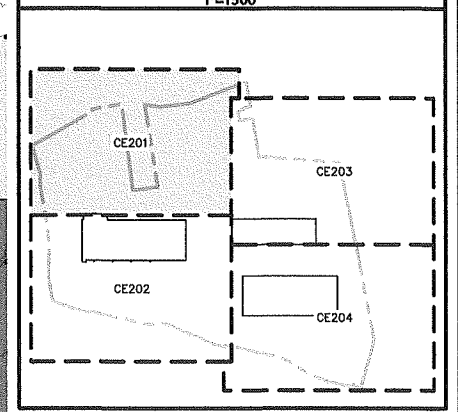
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	IP	PROPOSED INLET PROTECTION			EXISTING STORM LINE TO REMAIN
	RR	RIP-RAP PROTECTION			SOIL EROSION CONTROL BLANKET
	CE	CONSTRUCTION ENTRANCE			DISTURBED WETLAND AREA
		LIMIT OF DISTURBANCE			STOCKPILE AREA
	FT	COMPOST FILTER TUBE & SILT FENCE			STABILIZED DIVERSION CHANNEL WITH STONE CHECK DAMS
	FB	COMPOST FILTER TUBE BERM & SILT FENCE			CONSTRUCTION FENCING
	SF	SILT FENCE			TEMPORARY DRAINAGE AREA
	SB	SEDIMENT BASIN			FUTURE BUILDING FOOTPRINT
	ST	SEDIMENT TRAP		PS	PERMANENT SEEDING
		INFILTRATION BASIN PROTECTION AREA		SR	SOIL ROUGHENING

CONSTRUCTION SEQUENCING

Q4 2020	INSTALL PHASE 2 SESC FEATURES MASS EARTHWORK AND ROUGH GRADING RETAINING WALL CONSTRUCTION BUILDING PAD CONSTRUCTION
Q4 2020 / Q1 2021	BEGIN CONSTRUCTION ON PROPOSED R.O.W. (WETLAND IMPACT AREAS A, B, C, D, E, F, G, H, I, J)



SHEET LEGEND



Date	Description	No.
Revisions		
JOHN D. PLANTE NH P.E. Lic. No. 14072		
LANGAN Langan Engineering and Environmental Services, Inc. 888 Boylston Street, Ste 510 Boston, MA 02199 T: 617.824.9100 F: 617.824.9101 www.langan.com		

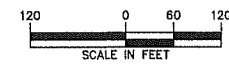
Project: **HUDSON LOGISTICS CENTER**
 MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
 Drawing Title: **SOIL EROSION & SEDIMENT CONTROL PLAN I (PHASE 2)**

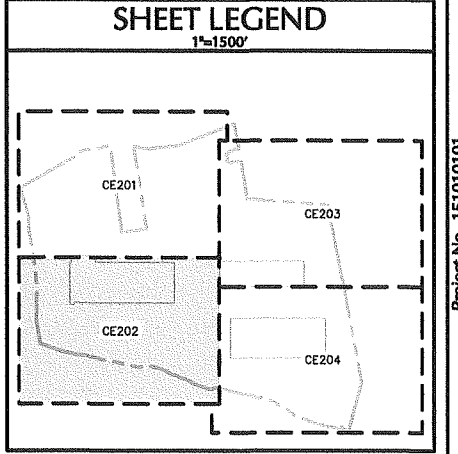
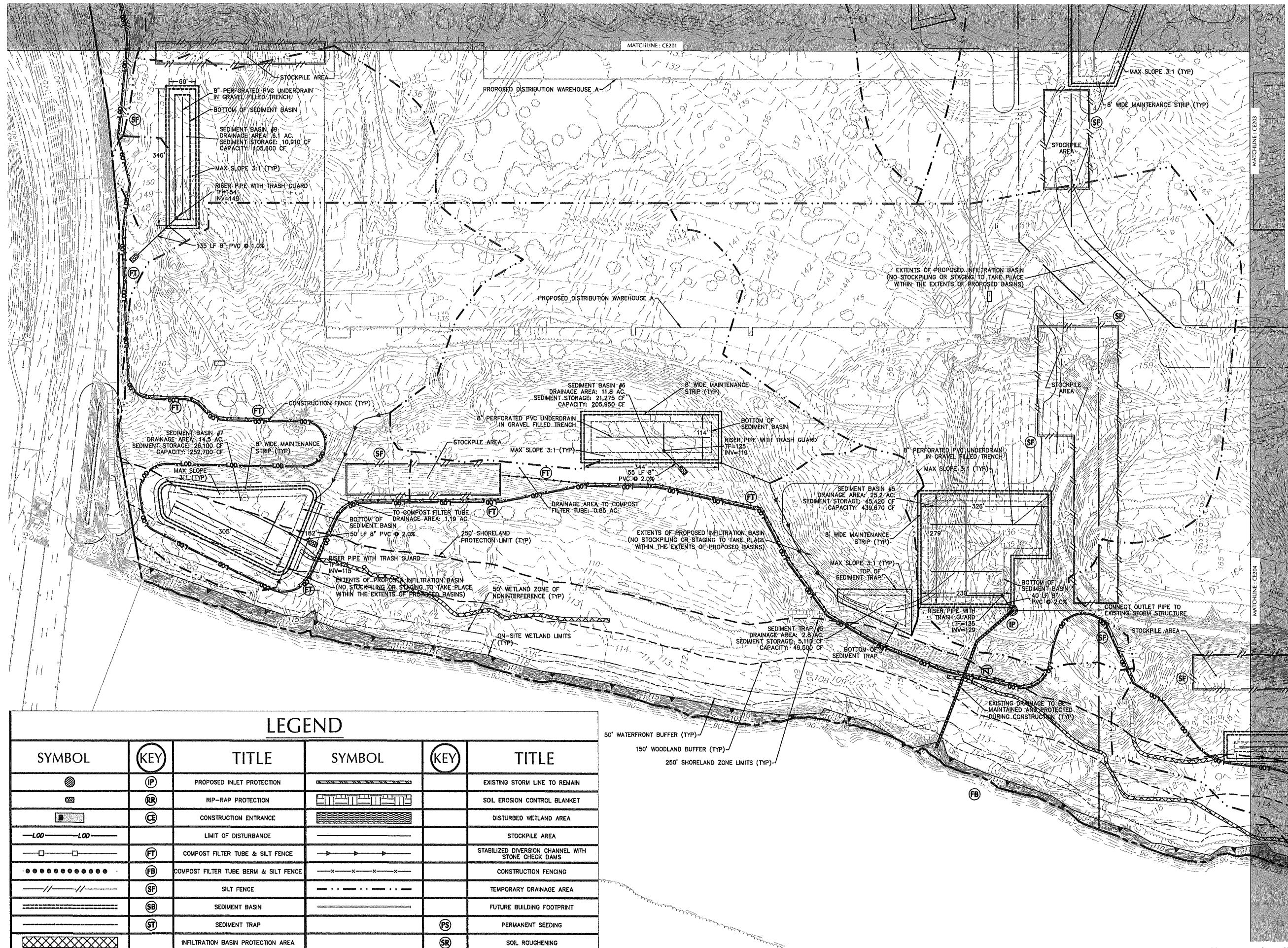
Project No.	151010101
Date	04-21-2020
Drawn By	CLR
Checked By	NLK

Drawing No. **CE201**

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Project No. 151010101



05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.

Revisions

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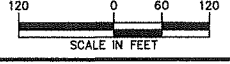
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

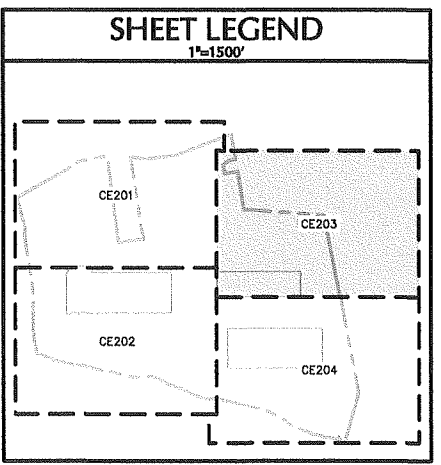
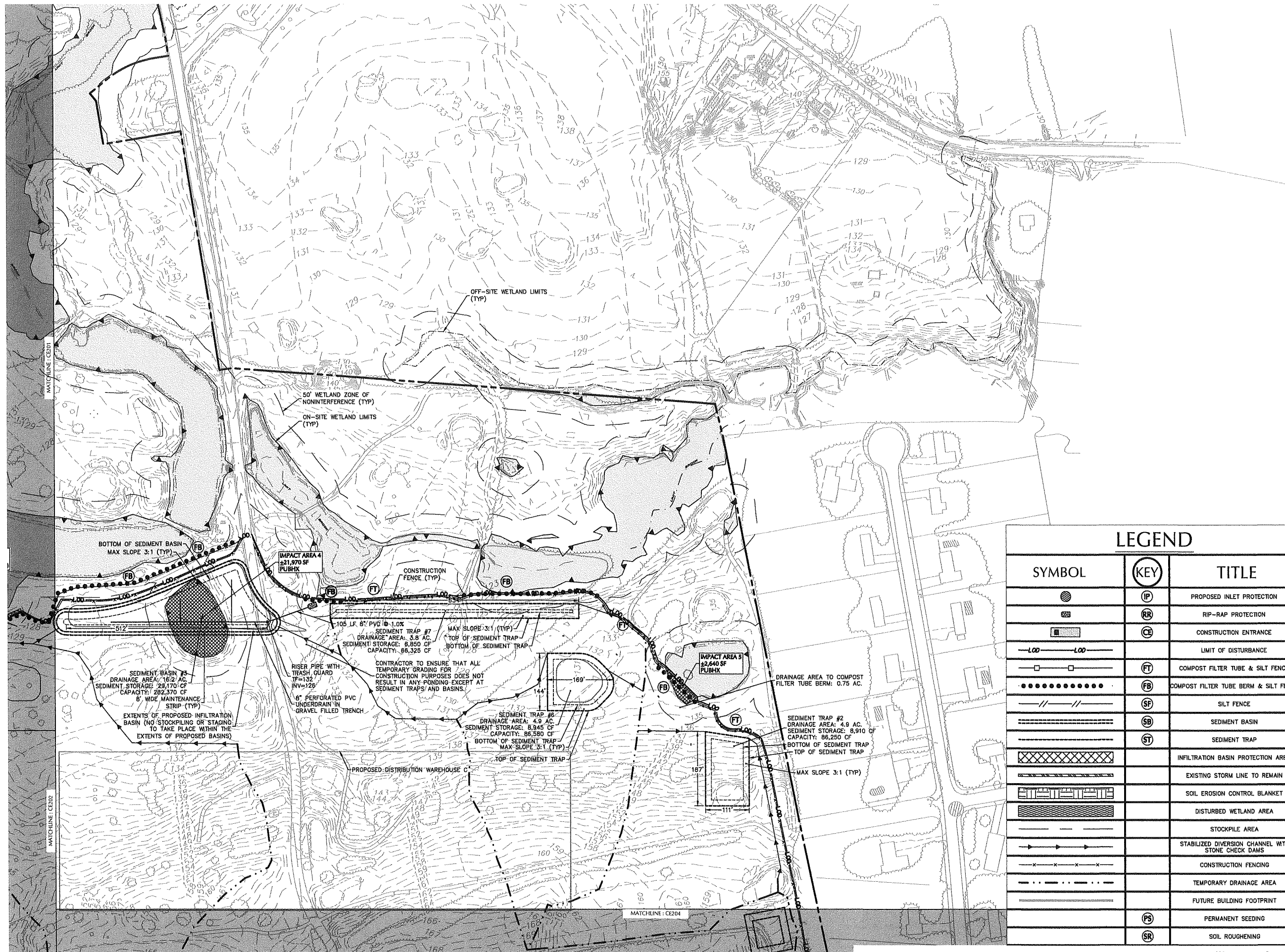
HUDSON NEW HAMPSHIRE
Drawing Title
SOIL EROSION & SEDIMENT CONTROL PLAN II (PHASE 2)

Project No. 151010101	Drawing No. CE202
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

LEGEND					
SYMBOL	KEY	TITLE	SYMBOL	KEY	TITLE
	IP	PROPOSED INLET PROTECTION			EXISTING STORM LINE TO REMAIN
	RR	RIP-RAP PROTECTION			SOIL EROSION CONTROL BLANKET
	CE	CONSTRUCTION ENTRANCE			DISTURBED WETLAND AREA
		LIMIT OF DISTURBANCE			STOCKPILE AREA
	FT	COMPOST FILTER TUBE & SILT FENCE			STABILIZED DIVERSION CHANNEL WITH STONE CHECK DAMS
	FB	COMPOST FILTER TUBE BERM & SILT FENCE			CONSTRUCTION FENCING
	SF	SILT FENCE			TEMPORARY DRAINAGE AREA
	SB	SEDIMENT BASIN			FUTURE BUILDING FOOTPRINT
	ST	SEDIMENT TRAP		PS	PERMANENT SEEDING
		INFILTRATION BASIN PROTECTION AREA		SR	SOIL ROUGHENING

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LEGEND		
SYMBOL	KEY	TITLE
	IP	PROPOSED INLET PROTECTION
	RR	RIP-RAP PROTECTION
	CE	CONSTRUCTION ENTRANCE
		LIMIT OF DISTURBANCE
	FT	COMPOST FILTER TUBE & SILT FENCE
	FB	COMPOST FILTER TUBE BERM & SILT FENCE
	SF	SILT FENCE
	SB	SEDIMENT BASIN
	ST	SEDIMENT TRAP
		INFILTRATION BASIN PROTECTION AREA
		EXISTING STORM LINE TO REMAIN
		SOIL EROSION CONTROL BLANKET
		DISTURBED WETLAND AREA
		STOCKPILE AREA
		STABILIZED DIVERSION CHANNEL WITH STONE CHECK DAMS
		CONSTRUCTION FENCING
		TEMPORARY DRAINAGE AREA
		FUTURE BUILDING FOOTPRINT
	PS	PERMANENT SEEDING
	SR	SOIL ROUGHENING

Date	Description	No.
05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1

Revisions

JOHN D. PLANTE
NH P.E. Lic. No. 14072

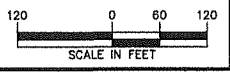
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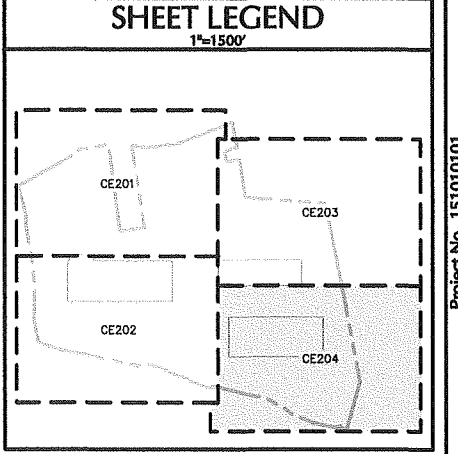
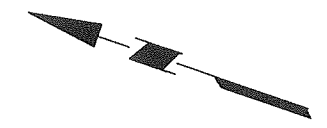
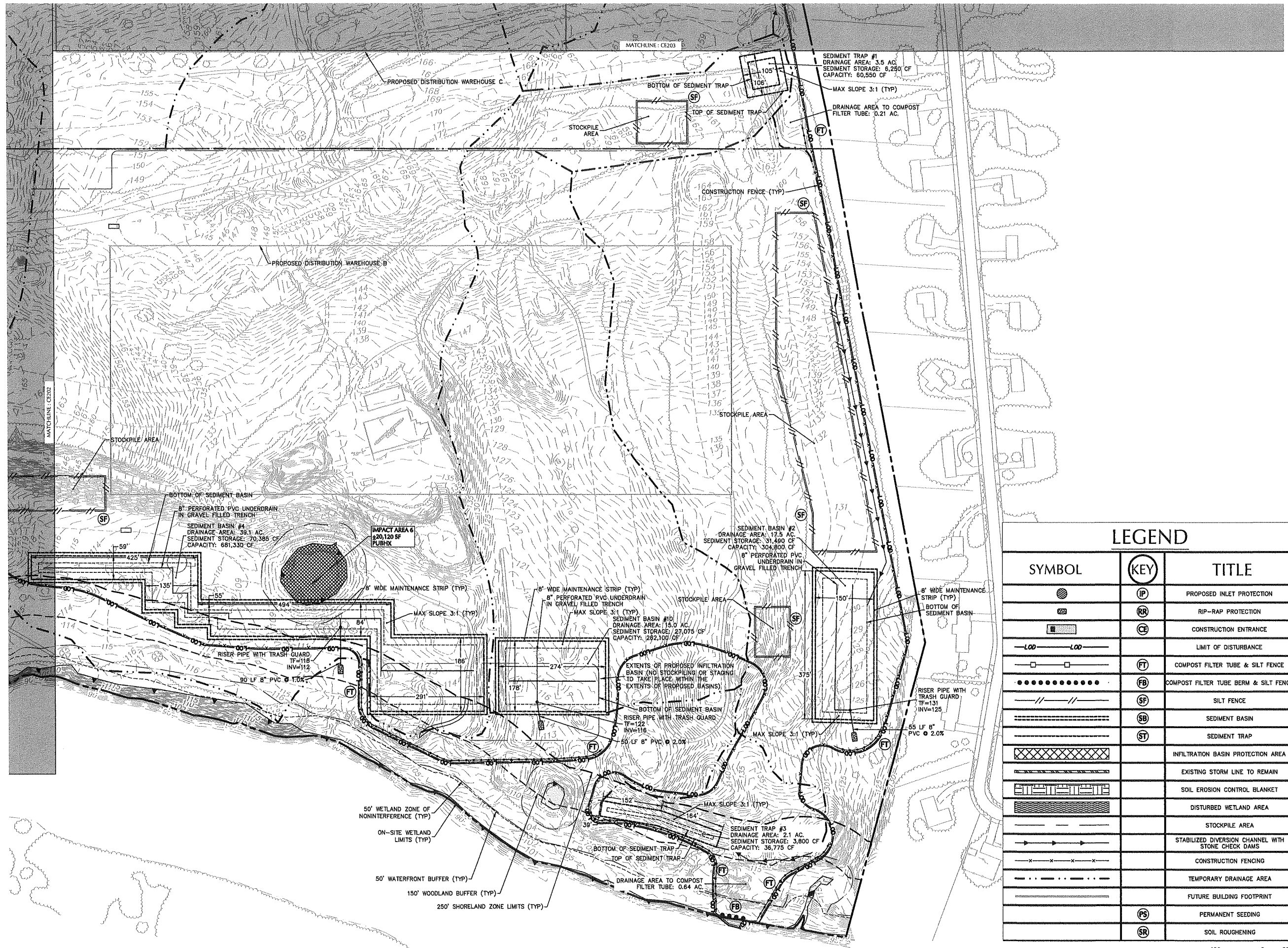
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title
SOIL EROSION & SEDIMENT CONTROL PLAN III (PHASE 2)

Project No. 1510101	Drawing No. CE203
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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LEGEND		
SYMBOL	KEY	TITLE
	IP	PROPOSED INLET PROTECTION
	RR	RIP-RAP PROTECTION
	CE	CONSTRUCTION ENTRANCE
		LIMIT OF DISTURBANCE
	FT	COMPOST FILTER TUBE & SILT FENCE
	FB	COMPOST FILTER TUBE BERM & SILT FENCE
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		CONSTRUCTION FENCING
		TEMPORARY DRAINAGE AREA
		FUTURE BUILDING FOOTPRINT
	PS	PERMANENT SEEDING
	SR	SOIL ROUGHENING

Date	Description	No.
05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1

Revisions

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NH P.E. Lic. No. 14072

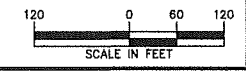
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Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title
SOIL EROSION & SEDIMENT CONTROL PLAN IV (PHASE 2)

Project No. 151010101	Drawing No. CE204
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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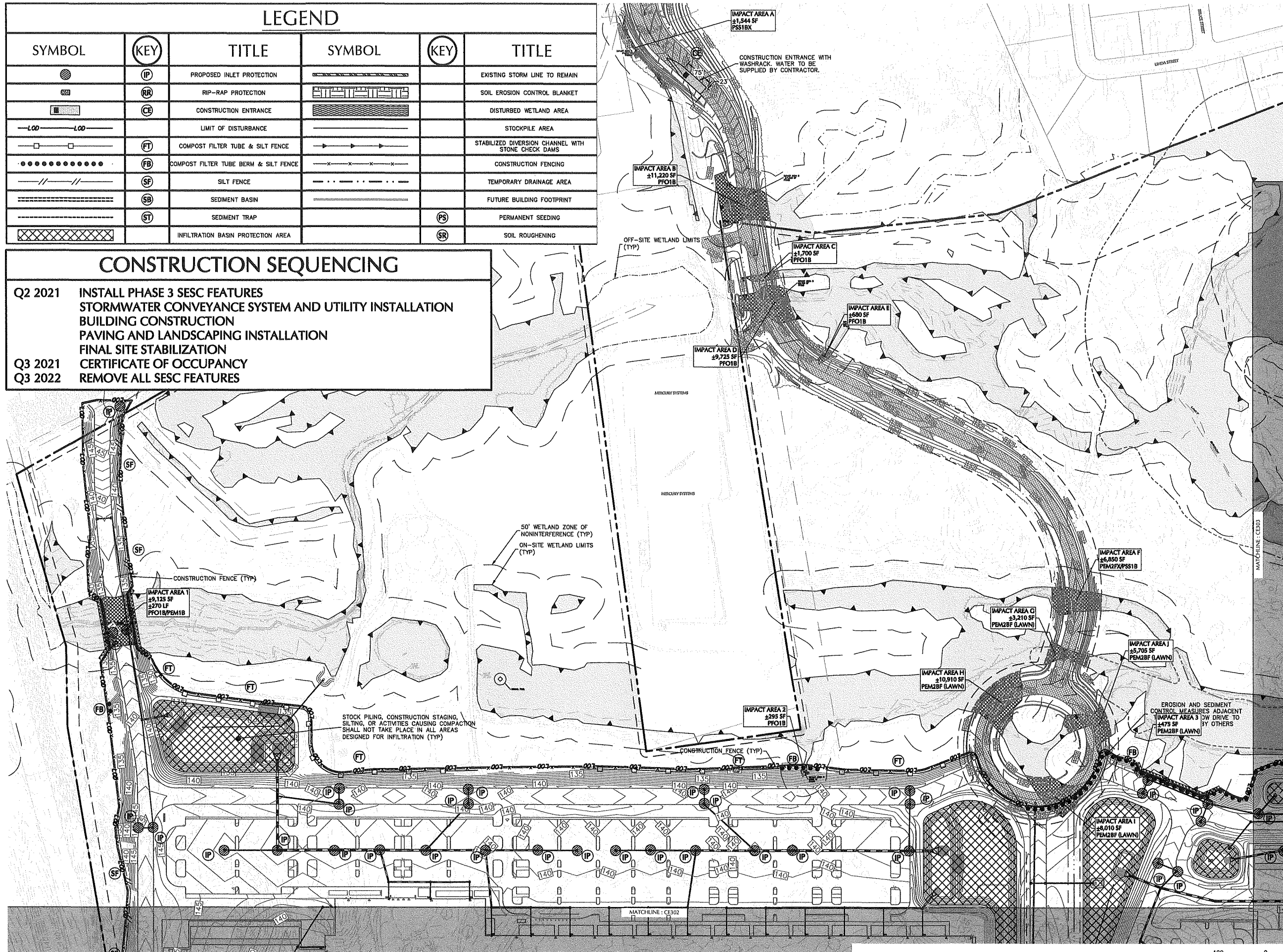


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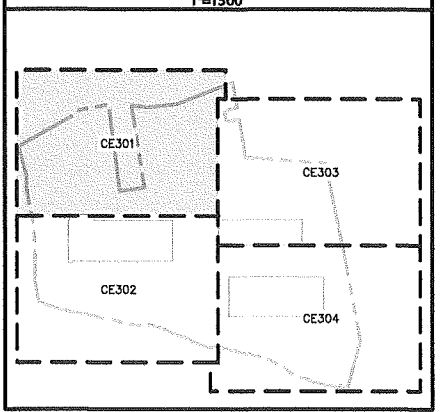
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	IP	PROPOSED INLET PROTECTION			EXISTING STORM LINE TO REMAIN
	RR	RIP-RAP PROTECTION			SOIL EROSION CONTROL BLANKET
	CE	CONSTRUCTION ENTRANCE			DISTURBED WETLAND AREA
		LIMIT OF DISTURBANCE			STOCKPILE AREA
	FT	COMPOST FILTER TUBE & SILT FENCE			STABILIZED DIVERSION CHANNEL WITH STONE CHECK DAMS
	FB	COMPOST FILTER TUBE BERM & SILT FENCE			CONSTRUCTION FENCING
	SF	SILT FENCE			TEMPORARY DRAINAGE AREA
	SB	SEDIMENT BASIN			FUTURE BUILDING FOOTPRINT
	ST	SEDIMENT TRAP		PS	PERMANENT SEEDING
		INFILTRATION BASIN PROTECTION AREA		SR	SOIL ROUGHENING

CONSTRUCTION SEQUENCING

Q2 2021 INSTALL PHASE 3 SESC FEATURES
 STORMWATER CONVEYANCE SYSTEM AND UTILITY INSTALLATION
 BUILDING CONSTRUCTION
 PAVING AND LANDSCAPING INSTALLATION
 FINAL SITE STABILIZATION
Q3 2021 CERTIFICATE OF OCCUPANCY
Q3 2022 REMOVE ALL SESC FEATURES



SHEET LEGEND



Date	Description	No.
05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1

Revisions

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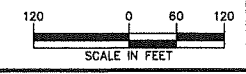
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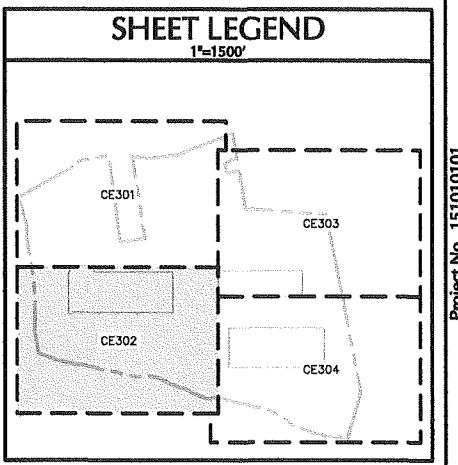
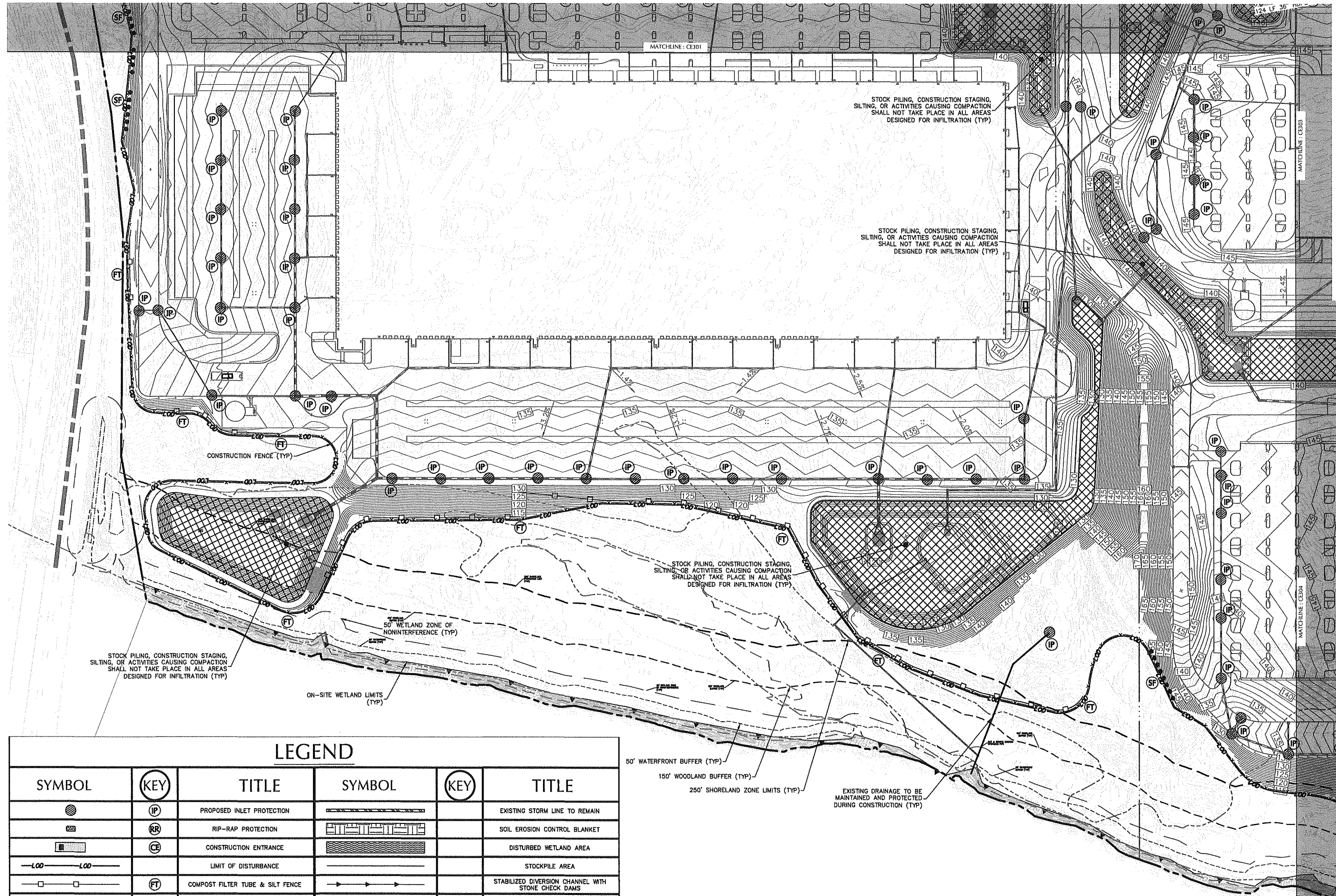
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
 Drawing Title
SOIL EROSION & SEDIMENT CONTROL PLAN I (PHASE 3)

Project No.	1510101	Drawing No.	CE301
Date	04-21-2020	Drawn By	CLR
Checked By	NLK		

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05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1
Date	Description	No.

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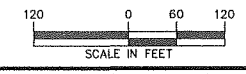
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

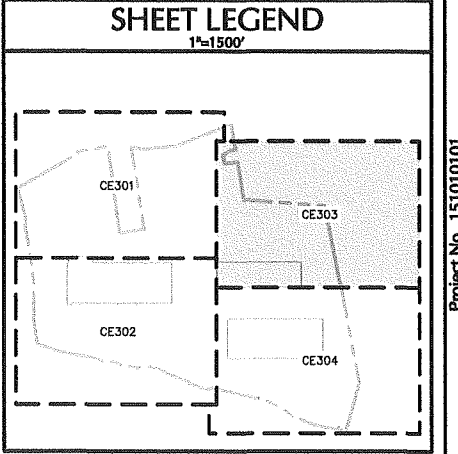
HUDSON NEW HAMPSHIRE
Drawing Title
SOIL EROSION & SEDIMENT CONTROL PLAN II (PHASE 3)

Project No. 151010101	Drawing No. CE302
Date 04-21-2020	Drawn By CLR
Checked By NLK	

LEGEND					
SYMBOL	KEY	TITLE	SYMBOL	KEY	TITLE
	IP	PROPOSED INLET PROTECTION		RR	EXISTING STORM LINE TO REMAIN
	RR	RIP-RAP PROTECTION		CE	SOIL EROSION CONTROL BLANKET
	CE	CONSTRUCTION ENTRANCE			DISTURBED WETLAND AREA
		LIMIT OF DISTURBANCE			STOCKPILE AREA
	FT	COMPOST FILTER TUBE & SILT FENCE			STABILIZED DIVERSION CHANNEL WITH STONE CHECK DAMS
	FB	COMPOST FILTER TUBE BERM & SILT FENCE			CONSTRUCTION FENCING
	SF	SILT FENCE			TEMPORARY DRAINAGE AREA
	SB	SEDIMENT BASIN			FUTURE BUILDING FOOTPRINT
	ST	SEDIMENT TRAP		PS	PERMANENT SEEDING
		INFILTRATION BASIN PROTECTION AREA		SR	SOIL ROUGHENING

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LEGEND		
SYMBOL	KEY	TITLE
	(IP)	PROPOSED INLET PROTECTION
	(RR)	RIP-RAP PROTECTION
	(CE)	CONSTRUCTION ENTRANCE
		LIMIT OF DISTURBANCE
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		CONSTRUCTION FENCING
		TEMPORARY DRAINAGE AREA
		FUTURE BUILDING FOOTPRINT
	(PS)	PERMANENT SEEDING
	(SR)	SOIL ROUGHENING

STOCK PILING, CONSTRUCTION STAGING, SILTING, OR ACTIVITIES CAUSING COMPACTION SHALL NOT TAKE PLACE IN ALL AREAS DESIGNED FOR INFILTRATION (TYP)

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Date	Description	No.
05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1

Revisions

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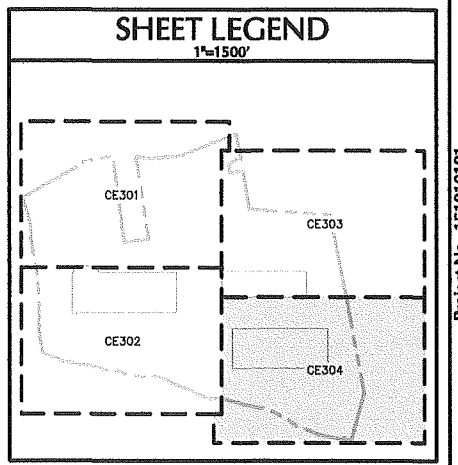
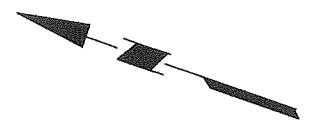
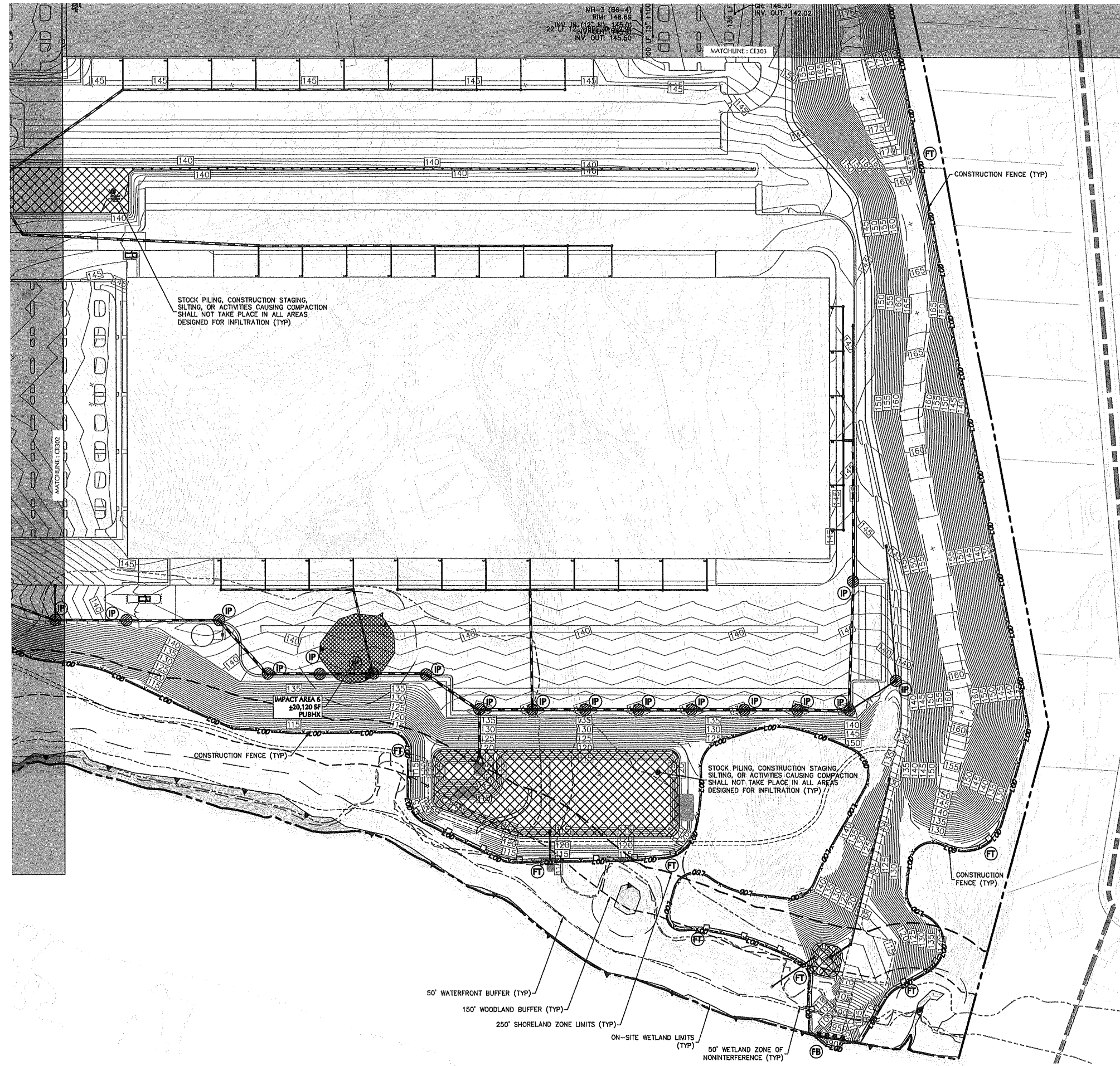
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Project

HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title
SOIL EROSION & SEDIMENT CONTROL PLAN III (PHASE 3)

Project No. 151010101	Drawing No. CE303
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	



LEGEND		
SYMBOL	KEY	TITLE
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	RR	RIP-RAP PROTECTION
	CE	CONSTRUCTION ENTRANCE
	FT	LIMIT OF DISTURBANCE
	FT	COMPOST FILTER TUBE & SILT FENCE
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	PS	PERMANENT SEEDING
	SR	SOIL ROUGHENING

Date	Description	No.
05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1

Revisions

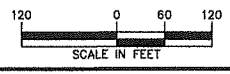
JOHN D. PLANTE
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Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE
Drawing Title
SOIL EROSION & SEDIMENT CONTROL PLAN IV (PHASE 3)

Project No. 151010101	Drawing No. CE304
Date 04-21-2020	
Drawn By CLR	
Checked By NLK	

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SOIL EROSION-SEDIMENT CONTROL NOTES

PROPOSED DEVELOPMENT

- CONSTRUCTION SHALL INCLUDE EARTHWORK, CURBING, PAVING, UTILITY INSTALLATION, LANDSCAPING AND BUILDING CONSTRUCTION. ALL DEMOLITION DEBRIS AND SOIL REMOVAL RELATED TO CONSTRUCTION SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAWS GOVERNING SUCH ACTIVITIES.
- THE DETAILED EROSION AND SEDIMENT CONTROL MEASURES ARE SHOWN ON THIS DRAWING. THE PROPOSED MEASURES HAVE BEEN DESIGNED TO PREVENT THE MIGRATION OF SOIL SEDIMENT FROM THE SITE.

SOIL EROSION AND SEDIMENT CONTROL NOTES

- THE SOIL AND SEDIMENT CONTROL PRACTICES MUST BE INSTALLED IN ACCORDANCE WITH THE LOCAL GOVERNING AUTHORITY, THE NEW HAMPSHIRE EROSION AND SEDIMENT CONTROL GUIDELINES AND THE NEW HAMPSHIRE STORMWATER STANDARDS.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO START OF DEMOLITION AND CONSTRUCTION AND DISTURBANCE OF SITE CONTRIBUTORY DRAINAGE AREAS. THE OWNER OR ITS CONTRACTOR SHALL INSPECT, REPAIR AND REMOVE ALL SEDIMENT AND EROSION CONTROL DEVICES, AS INDICATED HEREIN.
- DISPOSAL OF COLLECTED SEDIMENT SHALL BE MADE TO AREA DESIGNATED BY THE OWNER'S SOIL ENGINEER.
- FILTER FABRIC/SILT FENCE WILL BE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
- ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING/LANDSCAPED AREAS SHALL BE REMOVED FROM THE SITE IMMEDIATELY, IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAW. ALL TOPSOIL TO BE USED IN LANDSCAPED AREAS SHALL BE STORED/STOCKPILED IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAW STANDARDS.
- ALL AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
- SEDIMENT DISPOSAL AREAS AND TOPSOIL STOCKPILES NOT SCHEDULED FOR CONSTRUCTION ACTIVITIES WITHIN THIRTY (30) DAYS OF DISTURBANCE SHALL BE STABILIZED AS FOLLOWS:
 - GROUND LIMESTONE AT A RATE OF 135 LBS. PER 1,000 SF.
 - FERTILIZER AT A RATE OF 14 LBS. PER 1,000 SF USING A 10-20-10 ANALYSIS OR AN EQUIVALENT.
 - ANNUAL RYE GRASS SEEDING APPLIED AT A RATE OF NOT LESS THAN 1 LB. PER 1,000 SF.
 - MULCH ALL NEWLY SEEDDED AREAS WITHIN 80 LBS. OF SALT HAY OR SMALL GRAIN STRAW PER 1,000 SF.
- BETWEEN OCTOBER 15 AND MARCH 15, WHEN DISTURBED AREAS ARE SCHEDULED FOR IMMEDIATE LANDSCAPING, THEY MAY BE MULCHED AND SEEDDED PER ITEM D ABOVE.
- PAVEMENT BASE COURSE MUST BE PLACED IN ALL NEW ROADWAY AREAS UPON COMPLETION OF FINE GRADING.

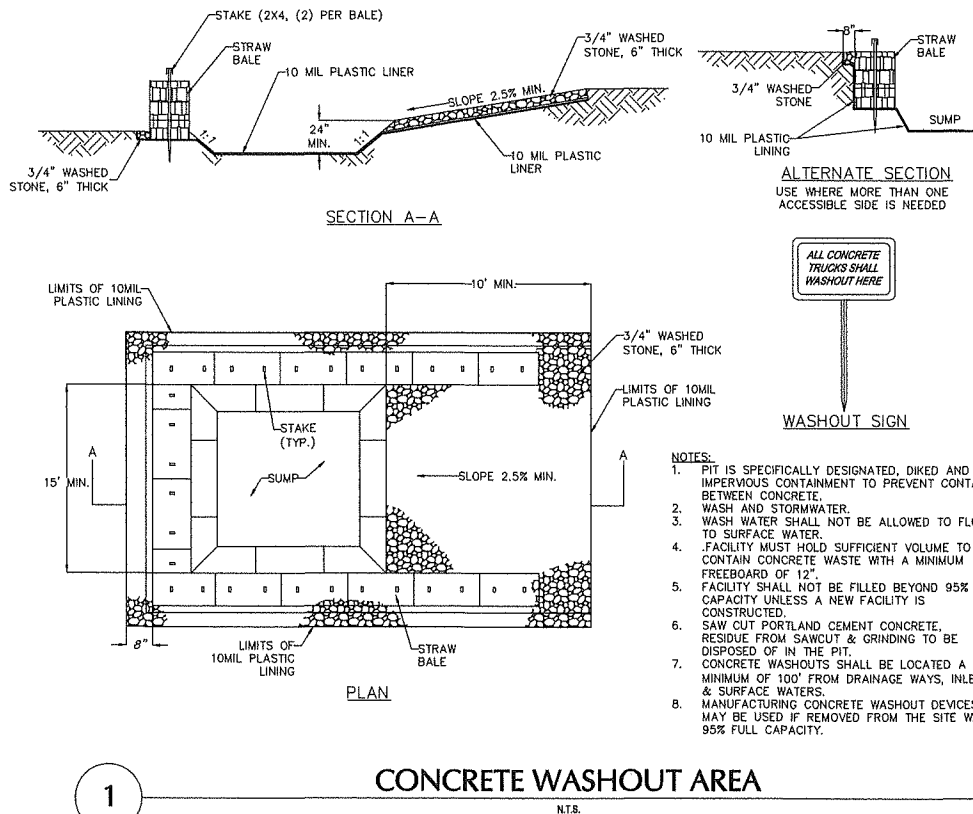
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PAVED ROADWAYS, ON AND OFF-SITE, WHICH MUST BE KEPT FREE OF SITE GENERATED SEDIMENT AT ALL TIMES. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHOD.
- ALL STORM DRAINAGE OUTLETS MUST BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING INLET PROTECTION TO ALL INLET LOCATIONS ON SITE.
- SILT FENCES AND BARRIERS MUST BE CLEANED OR REPLACED PERIODICALLY TO REMOVE BUILT-UP SILT.
- ALL EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSPECTED ON A DAILY BASIS AND CLEANED IMMEDIATELY AFTER EACH STORM.
- ALL EXPOSED SURFACES WILL BE TREATED WITH 6" OF TOPSOIL PRIOR TO FINAL STABILIZATION.
- PERMANENT VEGETATION IS TO BE SEEDDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH AS NECESSARY FOR SEED PROTECTION AND ESTABLISHMENT. LIME AND FERTILIZER PRIOR TO PERMANENT SEEDING.
- SOIL EROSION AND SEDIMENT CONTROL SHALL INCLUDE, BUT NOT BE LIMITED TO THE ABOVE MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT ANY OMISSIONS, ERRORS, OR FIELD OPERATIONS IMMEDIATELY AND IN ACCORDANCE WITH THE GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
- PERMANENT
 - MATERIALS SPECIFICATION: LAWN AREAS.
 - SOIL
ANY SOIL HAVING A pH OF 4 OR LESS CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE INCHES OF SOIL HAVING A pH OF FIVE OR MORE PRIOR TO SEED BED PREPARATION.
 - LIME
THREE TONS PER ACRE GROUND LIMESTONE INCORPORATED FOUR INCHES INTO SOIL.
 - FERTILIZER
500 L.S. PER ACRES 10-20-10 INCORPORATED FOUR INCHES INTO SOIL.
 - SEED
DATES 4/15-6/15 AND 9/1-10/15. 6-8 LBS PER ACRE, LESCO GRASS SEED - ALL PRO TRANSITION MIX (3 TURF-TYPE TALL-FESCUE GRASSES) OR APPROVED EQUAL.
 - SHADE AREAS
15 LBS OF SPREADING FESCUE, 15 LBS OF CHEWINGS RED FESCUE, 30 LBS KENTUCKY BLUEGRASS, AND 10 LBS OF PERENNIAL RYE GRASS PER ACRE. MULCH SHOULD BE APPLIED AFTER SEEDING FOR ADDED PROTECTION.

- MULCHING SHALL BE DONE AT THE RATE OF SEVENTY TO NINETY POUNDS (70-90 LBS) PER 1,000 SQUARE FEET WITH UNROTATED SALT HAY.
- LIQUID MULCH BINDERS MUST BE USED TO ANCHOR SALT HAY, HAY OR STRAY MULCHES.
 - APPLICATIONS SHOULD BE HEAVY AT EDGES WHERE WIND CATCHES THE MULCH IN VALLEYS AND AT CREATED BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.
 - USE ONE OF THE FOLLOWING: SYNTHETIC OR ORGANIC BINDERS, BINDERS SUCH AS CURASOL DCA-70, PETRO SET, TERRA TACH, HYDRO MULCH AND AEROSPRAY MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER OF ANCHOR MULCH MATERIALS. BINDERS CONTAINING PETROLEUM PRODUCTS SHALL NOT BE USED.
NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE TO THE EXCLUSION OF OTHER PRODUCTS.
- FILL MATERIAL SHALL BE FREE FROM DEBRIS, PERISHABLE OR COMBUSTIBLE MATERIAL AND FROZEN OR WET EARTH OR STONES LARGER THAN THREE INCHES IN MAXIMUM DIMENSION.
- CONSTRUCTION AREAS SHALL BE PERIODICALLY SPRAYED WITH WATER UNTIL THE SURFACE IS WET TO CONTROL THE GENERATION OF DUST.
- ALL REVISIONS AFTER APPROVAL HAS BEEN GRANTED SHALL BE FORWARDED TO THE APPROPRIATE DISTRICT FOR REVIEW.
- THE LOCAL GOVERNING AUTHORITY SHALL RECEIVE WRITTEN NOTIFICATION SEVENTY TWO HOURS BEFORE THE START OF ANY CONSTRUCTION.
- SEEDDED PREPARATION:
 - TOPSOIL SHOULD BE A MINIMUM OF SIX INCHES DEEP (COMPACTED) BEFORE SEEDING.
 - HAVE TOPSOIL TESTED FOR pH, ADD LIME AS NECESSARY TO ACHIEVE pH OF 6.5. APPLY FERTILIZER AT A RATE OF 300 POUNDS PER ACRE OR SEVEN POUNDS PER 4,000 SQUARE FEET USING 10-20-10 OR EQUIVALENT. IN ADDITION, 300 POUNDS 38-0-0 PER ACRE OF SLOW RELEASE NITROGEN MAY BE USED IN LIEU OF TOP DRESSING.
 - WORK LIME AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF FOUR INCHES WITH A DISC, SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE ALL CLAY OR SILTY SOIL AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEED BED WHEREVER FEASIBLE.
 - REMOVE FROM THE SURFACE ALL STONES ONE INCH OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLOUDS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
 - INSPECT SEED BED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT SOIL COMPACT, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

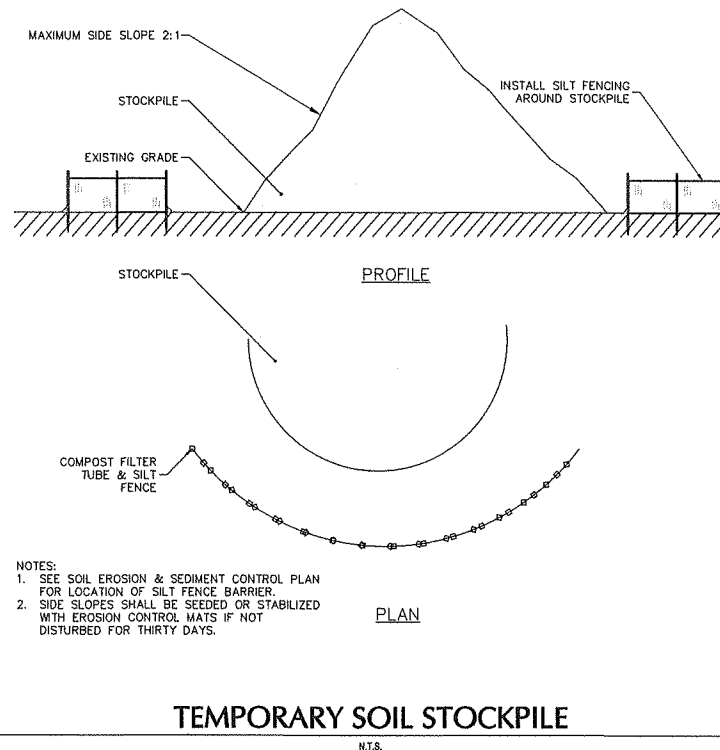
- THE PROJECT SHALL BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
- PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS.
- TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC.) MUST BE USED AS NECESSARY UNTIL AREAS ARE ESTABLISHED.
- PONDS AND SWALES SHALL BE INSTALLED EARLY ON IN THE CONSTRUCTION SEQUENCE (BEFORE ROUGH GRADING OF THE SITE).
- ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIRAP HAS BEEN INSTALLED.
 - OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- ALL AREAS SHALL BE STABILIZED WITHIN THIRTY (30) DAYS OF INITIAL DISTURBANCE.

WINTER NOTES

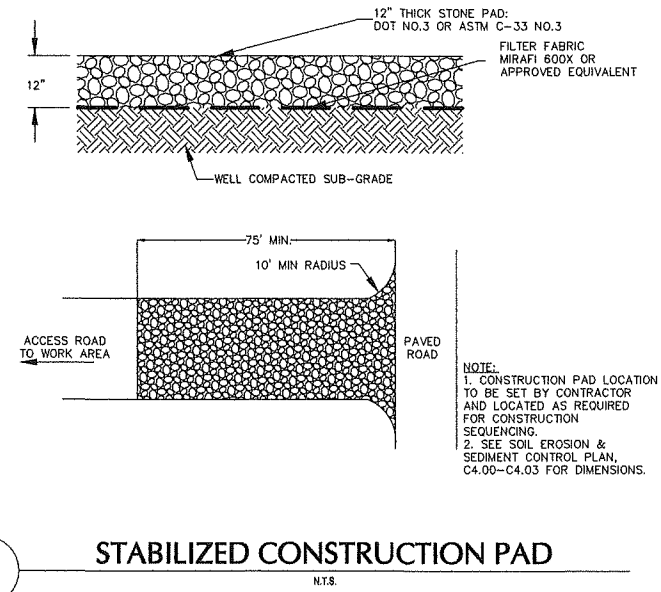
- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATED GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATED GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.



1 CONCRETE WASHOUT AREA



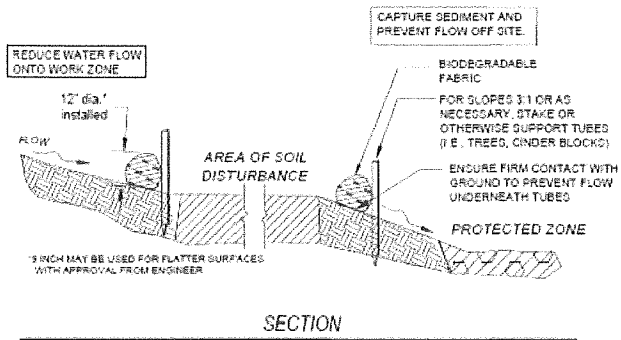
3 TEMPORARY SOIL STOCKPILE



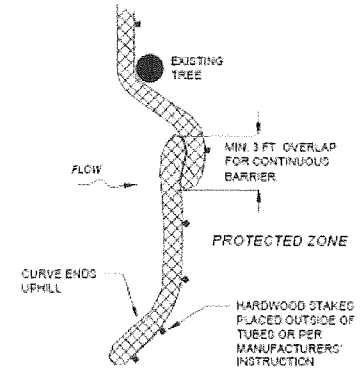
3 STABILIZED CONSTRUCTION PAD

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Project HUDSON LOGISTICS CENTER MAP No. 239, LOT No. 1		
HUDSON NEW HAMPSHIRE Drawing Title SOIL EROSION & SEDIMENT CONTROL DETAILS I		
Project No.	Drawing No.	
151010101	CE501	
Date	04-21-2020	
Drawn By	CLR	
Checked By	NLK	

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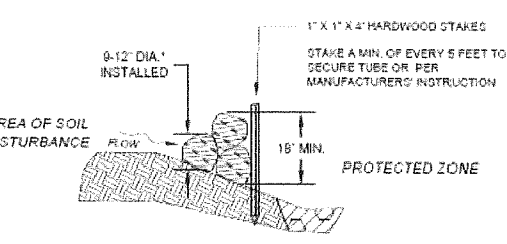
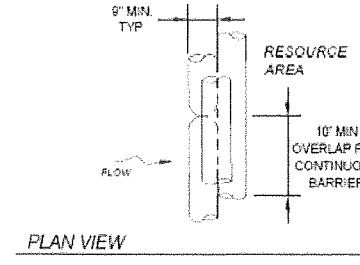


SEDIMENT BARRIERS - COMPOST FILTER TUBES
NOT TO SCALE

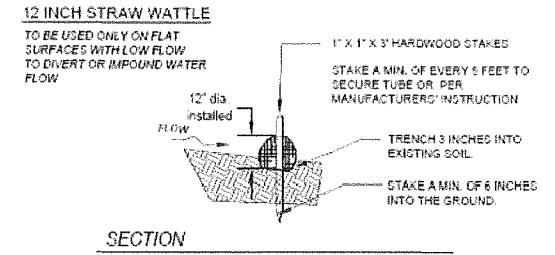


PLACE TUBE ALONG CONTOURS AND PERPENDICULAR TO FLOW.
PLACE AS CLOSE TO LIMIT OF SOIL DISTURBANCE AS POSSIBLE.
ADJUST LOCATION AS REQUIRED FOR OPTIMUM EFFECTIVENESS. DO NOT INSTALL IN WATERWAYS.
PLACE STAKES AS NEEDED TO SECURE TUBES IN PLACE.

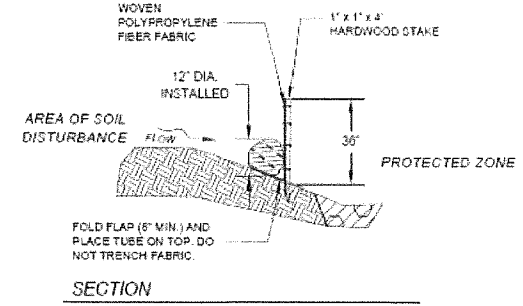
SEDIMENT BARRIERS
NOT TO SCALE



COMPOST FILTER TUBE BERM (SLOPES 2:1 OR STEEPER)
NOT TO SCALE

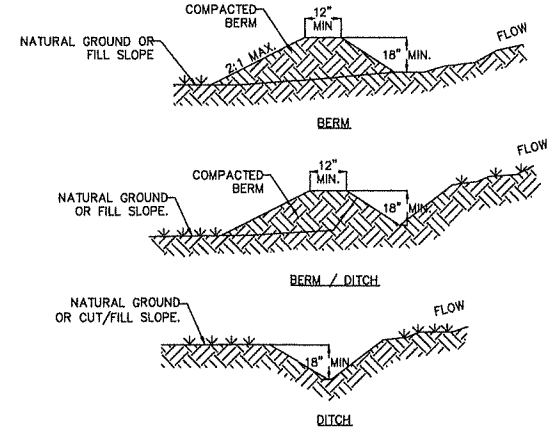


SEDIMENT BARRIERS - STRAW WATTLE
NOT TO SCALE

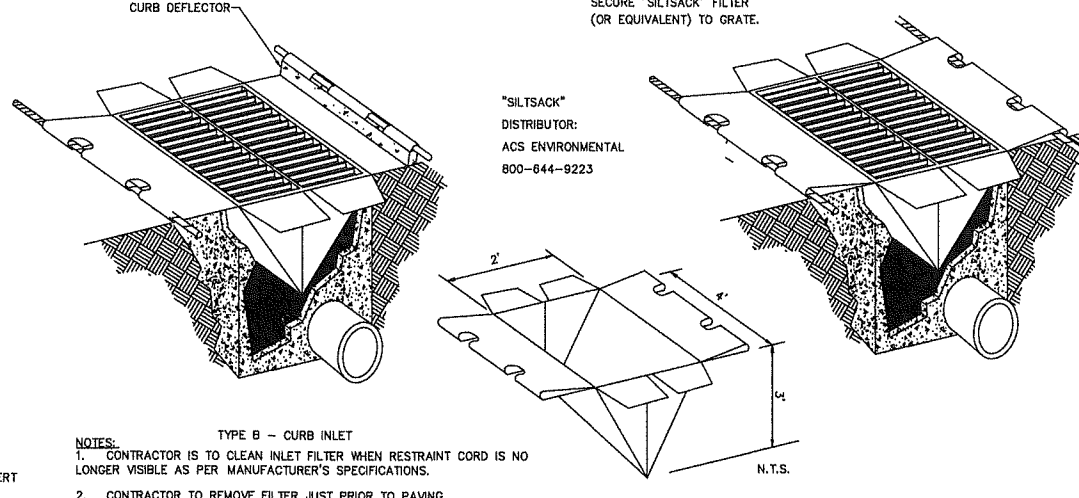
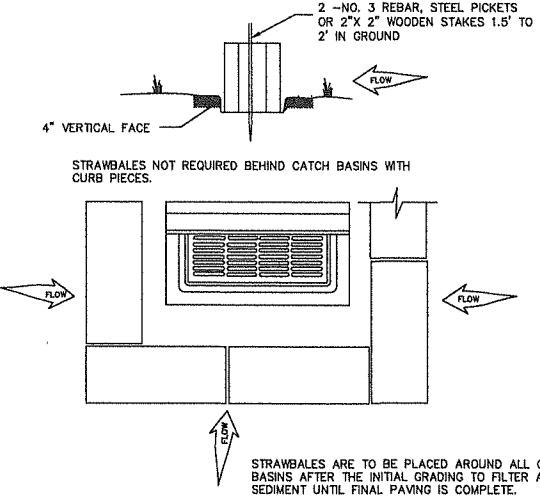


COMPOST FILTER TUBE & SILT FENCE
NOT TO SCALE

SEDIMENT BARRIER DETAILS
N.T.S.



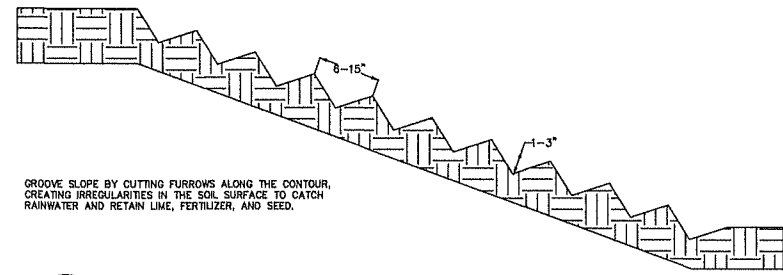
- NOTES:**
- POSITIVE GRADE MUST BE PROVIDED TO ASSURE DRAINAGE. 2:1 MAX. SIDE SLOPE. IF SLOPE EXCEEDS 2% OR CHANNEL IS CONSTRUCTED IN FILL, PROVIDE CHANNEL LINER PER DETAIL, EC 5. TRY NOT TO EXCEED 5% (HIGH RUNOFF VELOCITIES RESULT). MAXIMUM DRAINAGE AREA IS 5.00 ACRES WITHOUT SUPPORTING CALCULATIONS FOR PERMANENT CHANNEL. DIVERSIONS AT THE TOPS OF SLOPES MUST BE EMPTY INTO AN APPROVED SLOPE DRAIN (SEE DETAILS). THE BERM/DITCH IS THE MOST COMMONLY USED DIVERSION.
 - MACHINE COMPACTING OF ALL FILL IS REQUIRED.
 - DIVERSIONS SUFFICIENT TO DIRECT ALL SEDIMENT LADEN STORMWATER INTO SEDIMENT CONTROL DEVICE MUST BE INSTALLED PRIOR TO CLEARING AND GRUBBING OF AREA (OR IN CONJUNCTION WITH THIS OPERATION IF SEDIMENT CONTROLS AND DIVERSIONS ARE INSTALLED AT EACH CRITICAL POINT AS INDICATED).
 - DIVERSIONS SHOULD BE LOCATED AS SHOWN ON THE PLANS AND TO MINIMIZE DAMAGES BY CONSTRUCTION OPERATIONS.
 - DIVERSIONS SHOULD BE SEEDED AND LINED WITH STRAW MAT IF THEY ARE TO REMAIN IN PLACE OVER 14 DAYS. CHECK DIVERSIONS AFTER EACH RAIN, AND ONCE PER SEVEN CALENDAR DAYS OR MORE FREQUENTLY IF REQUIRED BY REGULATORY AGENCY. REPAIR AS NEEDED TO MAINTAIN FUNCTION.



- NOTES:**
- CONTRACTOR IS TO CLEAN INLET FILTER WHEN RESTRAINT CORD IS NO LONGER VISIBLE AS PER MANUFACTURER'S SPECIFICATIONS.
 - CONTRACTOR TO REMOVE FILTER JUST PRIOR TO PAVING.

INLET PROTECTION
N.T.S.

TEMPORARY DIVERSION BERM/DITCH
N.T.S.

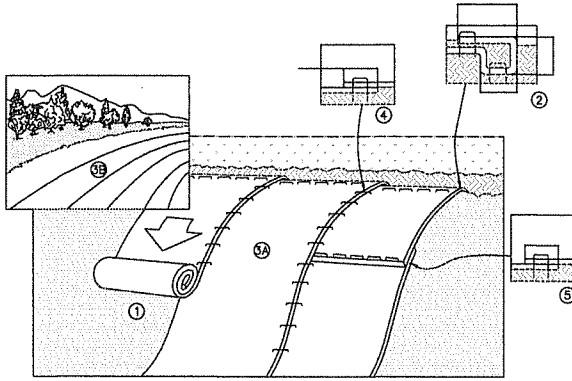


SURFACE ROUGHENING
N.T.S.

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF THE BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH THE APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5cm-12.5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM SWITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH.

NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

EROSION CONTROL BLANKETS (SLOPE STABILIZATION SLOPES 3H:1V AND STEEPER)
N.T.S.



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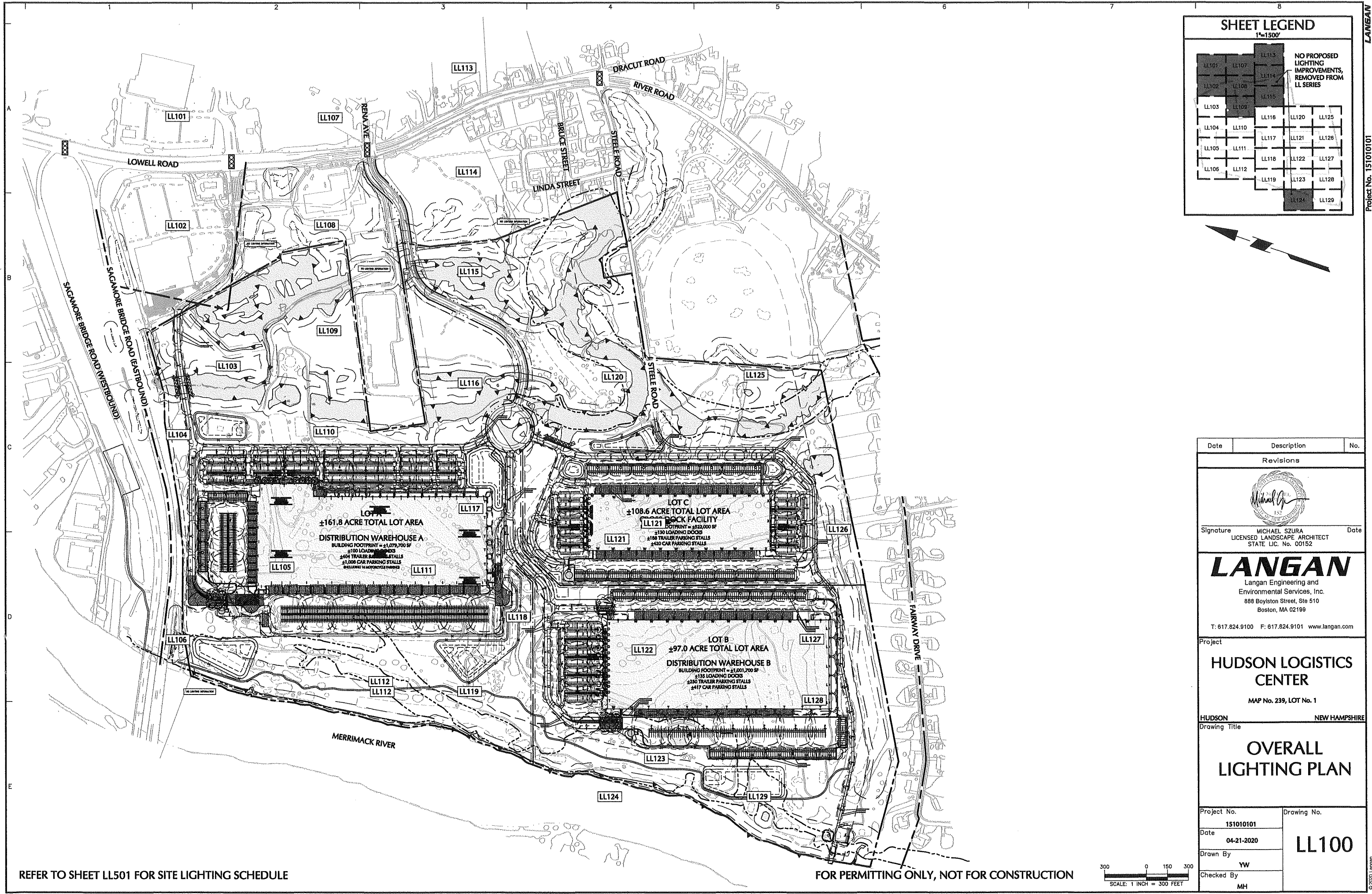
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HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

SOIL EROSION & SEDIMENT CONTROL DETAILS II

Project No.	1510101	Drawing No.	CE502
Date	04-21-2020		
Drawn By	CLR		
Checked By	NLK		



SHEET LEGEND
1"=1500'

LL101	LL107	LL113	NO PROPOSED LIGHTING IMPROVEMENTS, REMOVED FROM LL SERIES
LL102	LL108	LL114	
LL103	LL109	LL115	
LL104	LL110	LL116	LL120
LL105	LL111	LL117	LL121
LL106	LL112	LL118	LL122
		LL119	LL123
		LL124	LL129



Date	Description	No.
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Project: HUDSON LOGISTICS CENTER

MAP No. 239, LOT No. 1

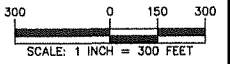
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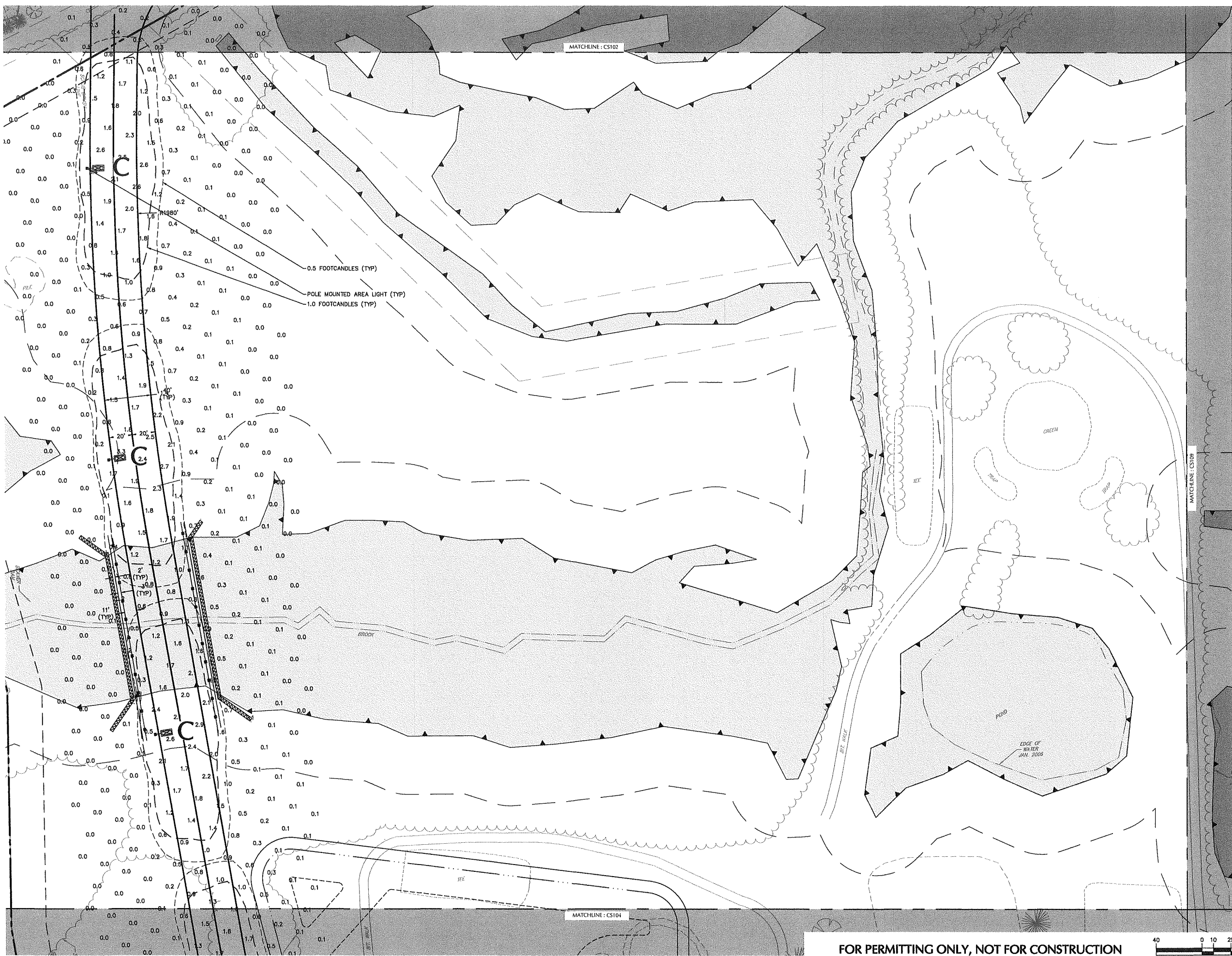
Drawing Title: **OVERALL LIGHTING PLAN**

Project No. 151010101	Drawing No. LL100
Date 04-21-2020	
Drawn By YW	
Checked By MH	

REFER TO SHEET LL501 FOR SITE LIGHTING SCHEDULE

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SHEET LEGEND
1"=1500'

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LL102	LL108	LL114
LL103	LL109	LL115
LL104	LL110	LL116
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LL106	LL112	LL118
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		LL124
		LL125
		LL126
		LL127
		LL128
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Date	Description	No.
Revisions		


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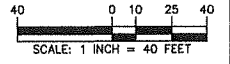
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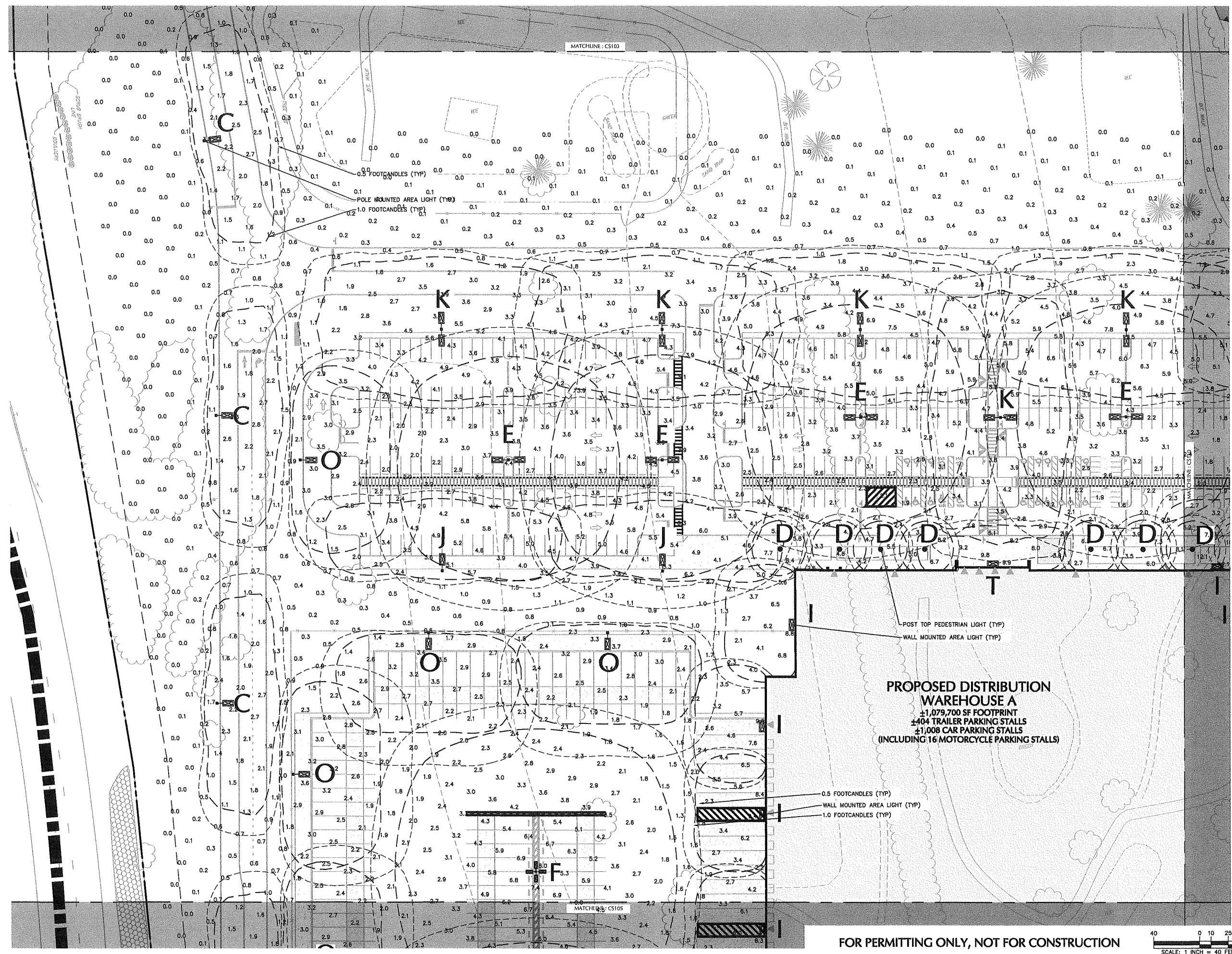
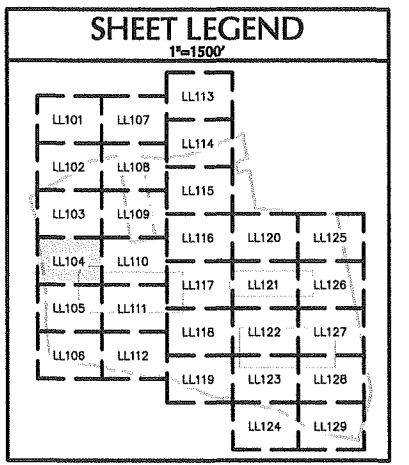
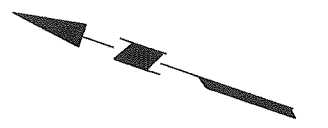
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE
 Drawing Title

LIGHTING PLAN III

Project No. 151010101	Drawing No. LL103
Date 04-21-2020	
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Revisions		

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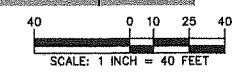
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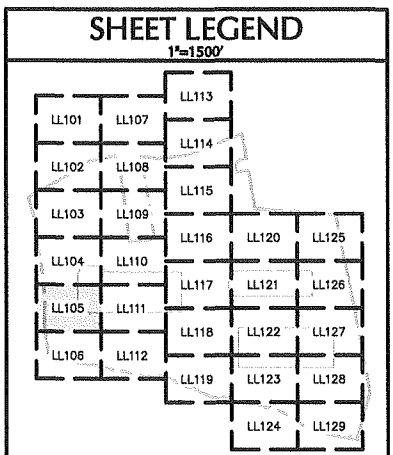
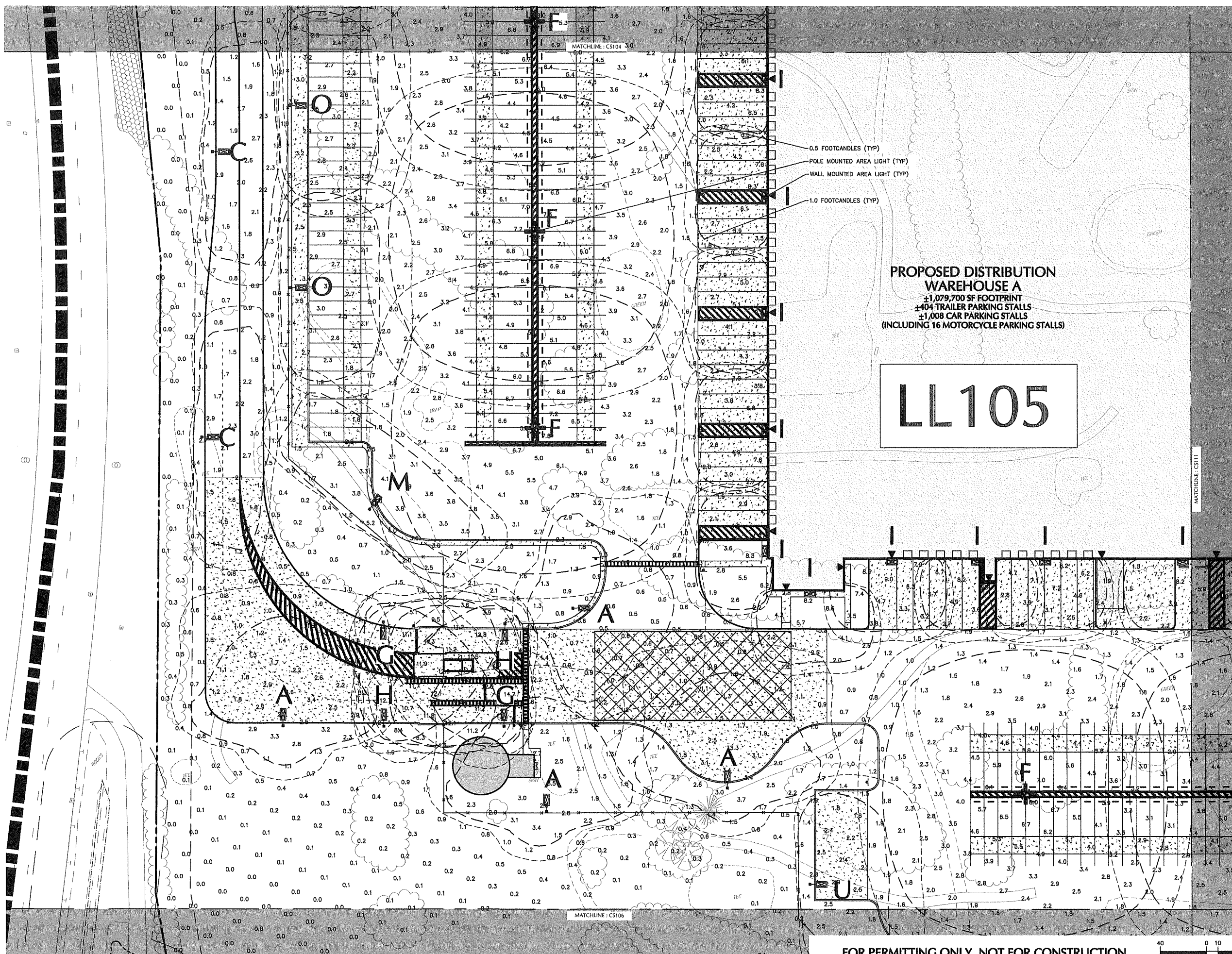
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE
 Drawing Title

LIGHTING PLAN IV

Project No. 151010101	Drawing No. LL104
Date 04-21-2020	
Drawn By YW	
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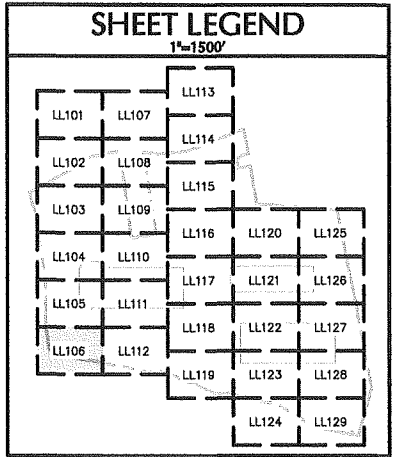
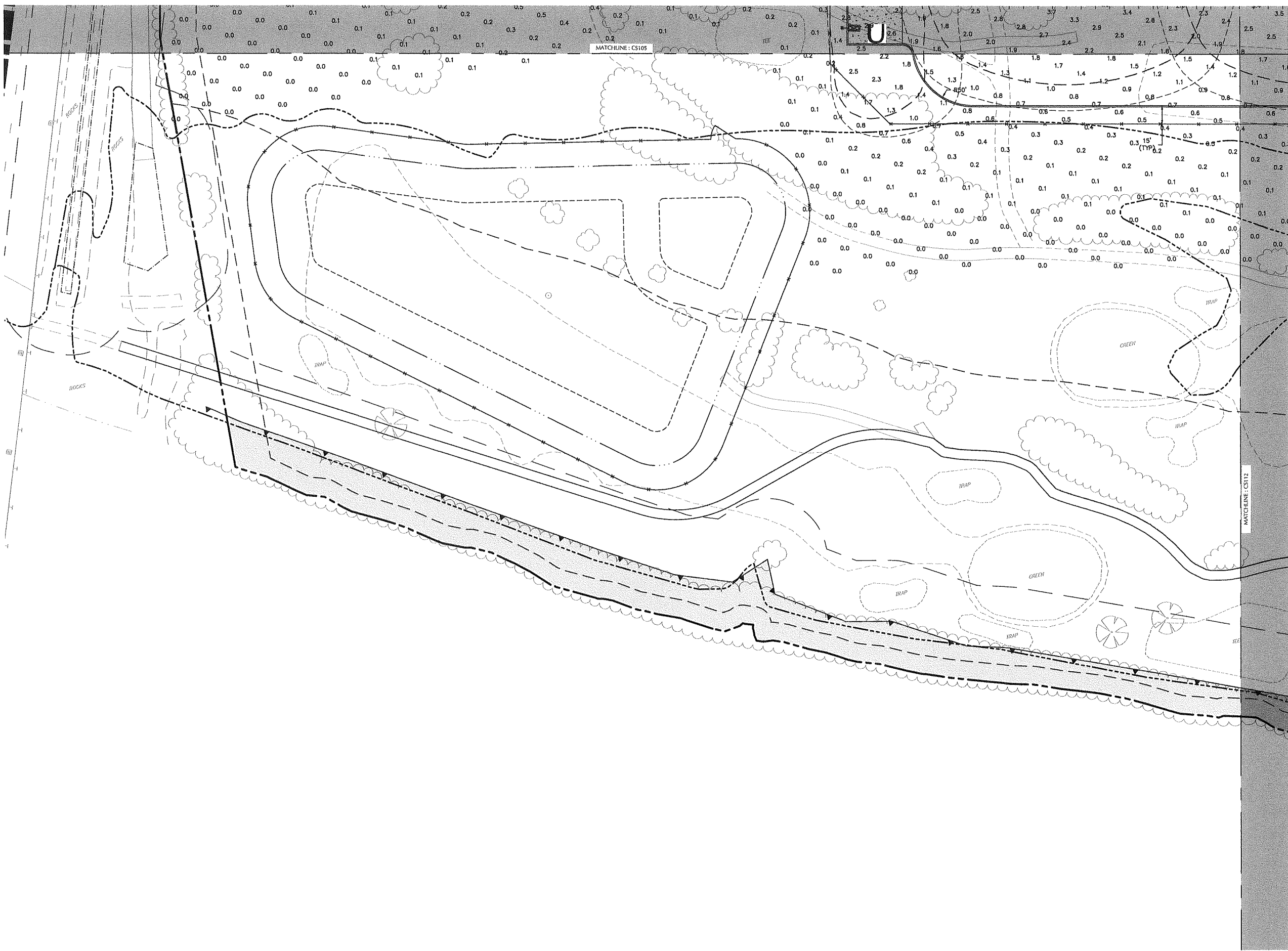
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE

Drawing Title
LIGHTING PLAN V

Project No. 1510101	Drawing No. LL105
Date 04-21-2020	
Drawn By YW	
Checked By MH	

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SCALE: 1" INCH = 40 FEET



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 MAP No. 239, LOT No. 1

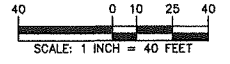
HUDSON NEW HAMPSHIRE

Drawing Title

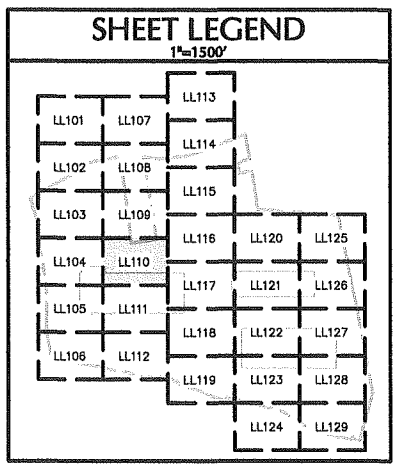
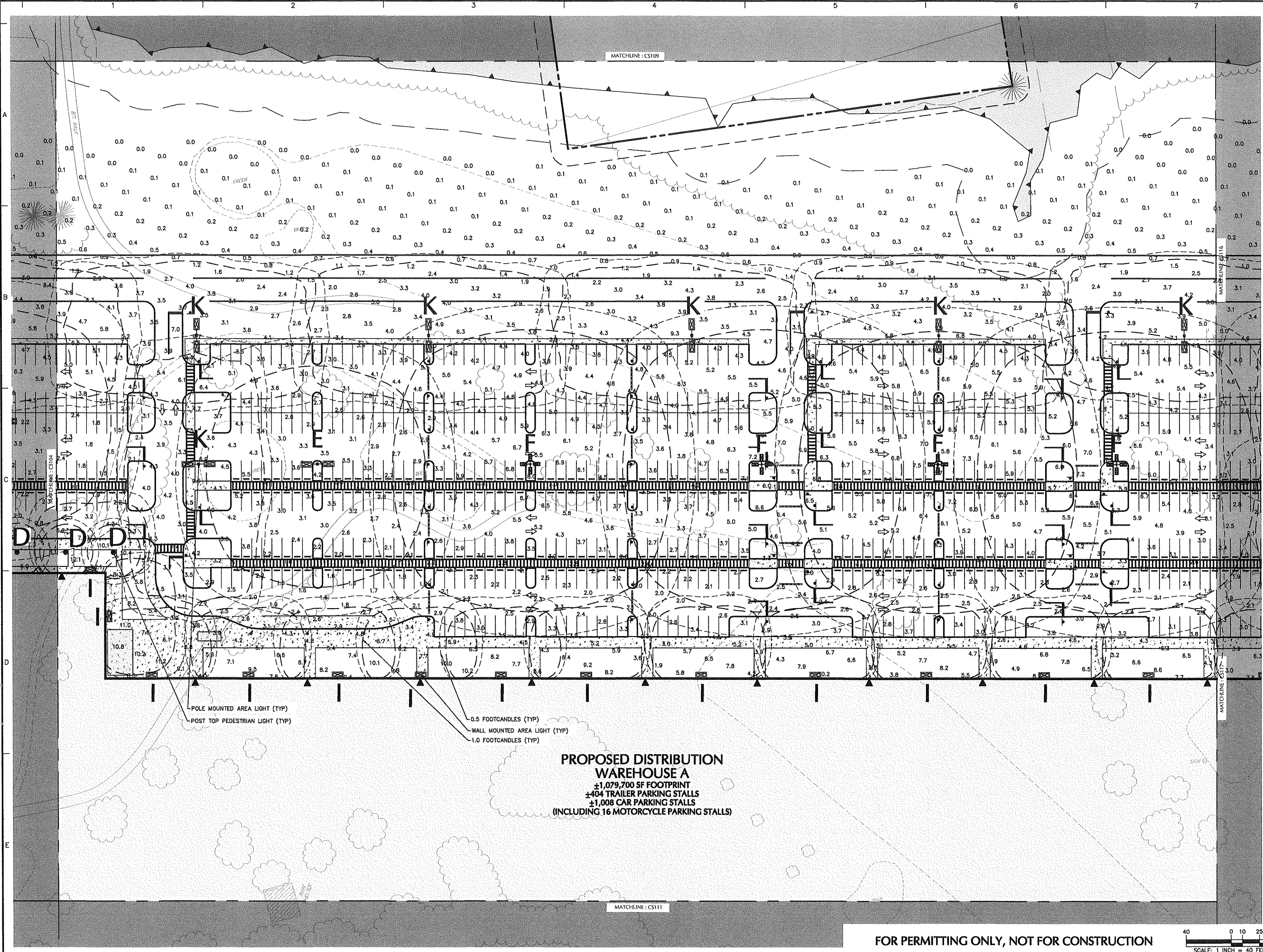
LIGHTING PLAN VI

Project No. 151010101	Drawing No. LL106
Date 04-21-2020	
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 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE
 Drawing Title:

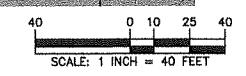
LIGHTING PLAN X

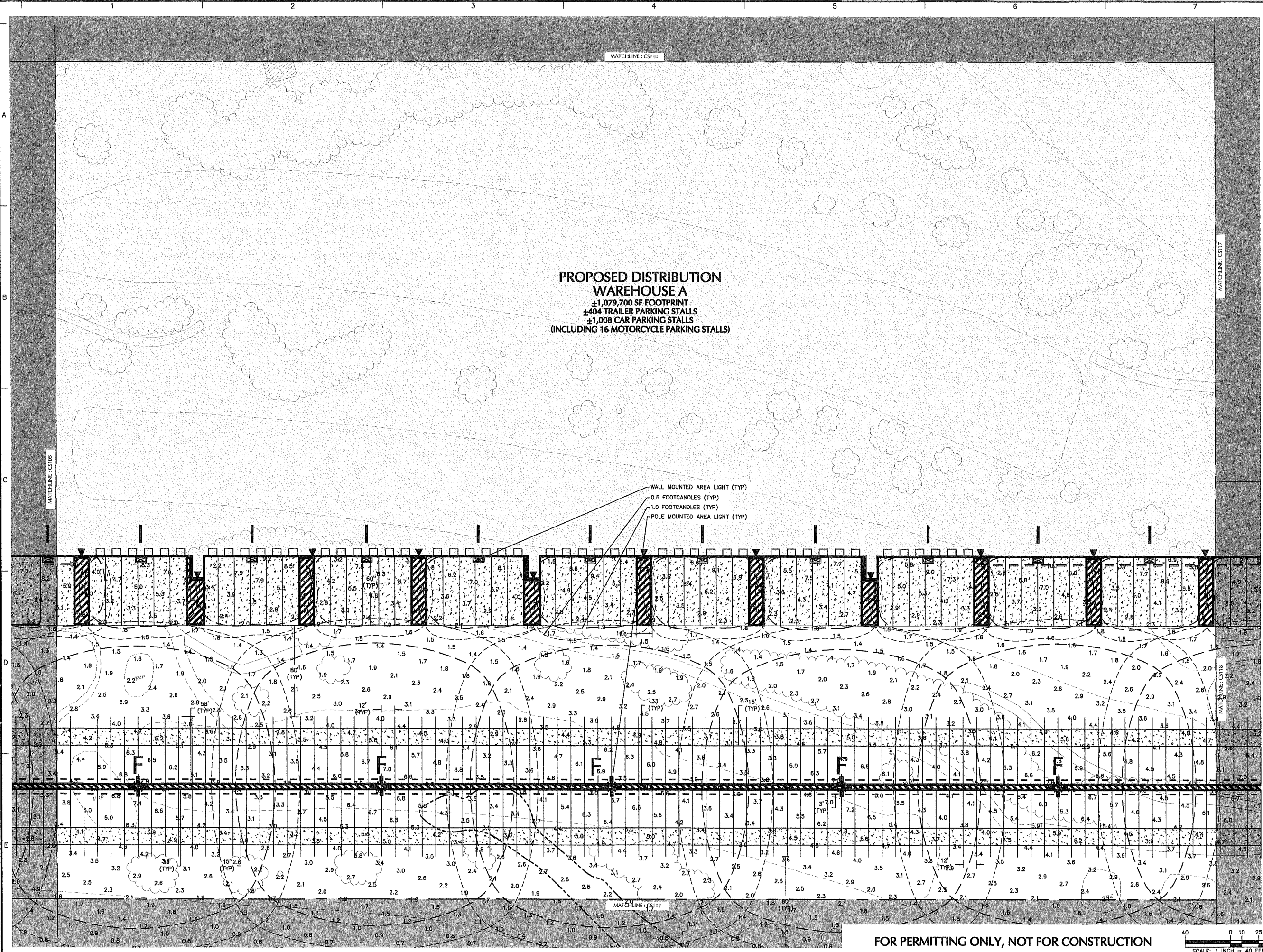
Project No. 151010101	Drawing No. LL110
Date 04-21-2020	
Drawn By YW	
Checked By MH	

PROPOSED DISTRIBUTION WAREHOUSE A
 ±1,079,700 SF FOOTPRINT
 ±404 TRAILER PARKING STALLS
 ±1,008 CAR PARKING STALLS
 (INCLUDING 16 MOTORCYCLE PARKING STALLS)

- POLE MOUNTED AREA LIGHT (TYP)
- POST TOP PEDESTRIAN LIGHT (TYP)
- 0.5 FOOTCANDLES (TYP)
- WALL MOUNTED AREA LIGHT (TYP)
- 1.0 FOOTCANDLES (TYP)

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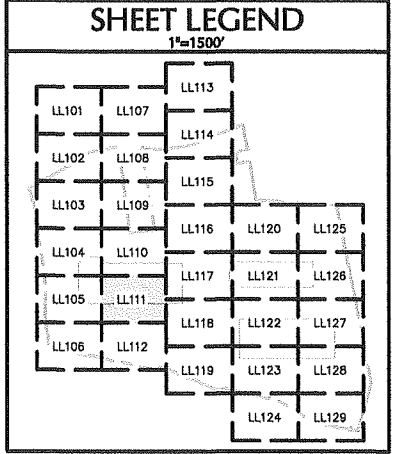
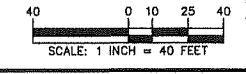




PROPOSED DISTRIBUTION WAREHOUSE A
 ±1,079,700 SF FOOTPRINT
 ±404 TRAILER PARKING STALLS
 ±1,008 CAR PARKING STALLS
 (INCLUDING 16 MOTORCYCLE PARKING STALLS)

- WALL MOUNTED AREA LIGHT (TYP)
- 0.5 FOOTCANDLES (TYP)
- 1.0 FOOTCANDLES (TYP)
- POLE MOUNTED AREA LIGHT (TYP)

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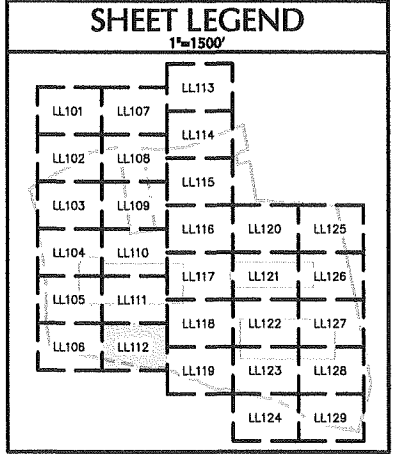
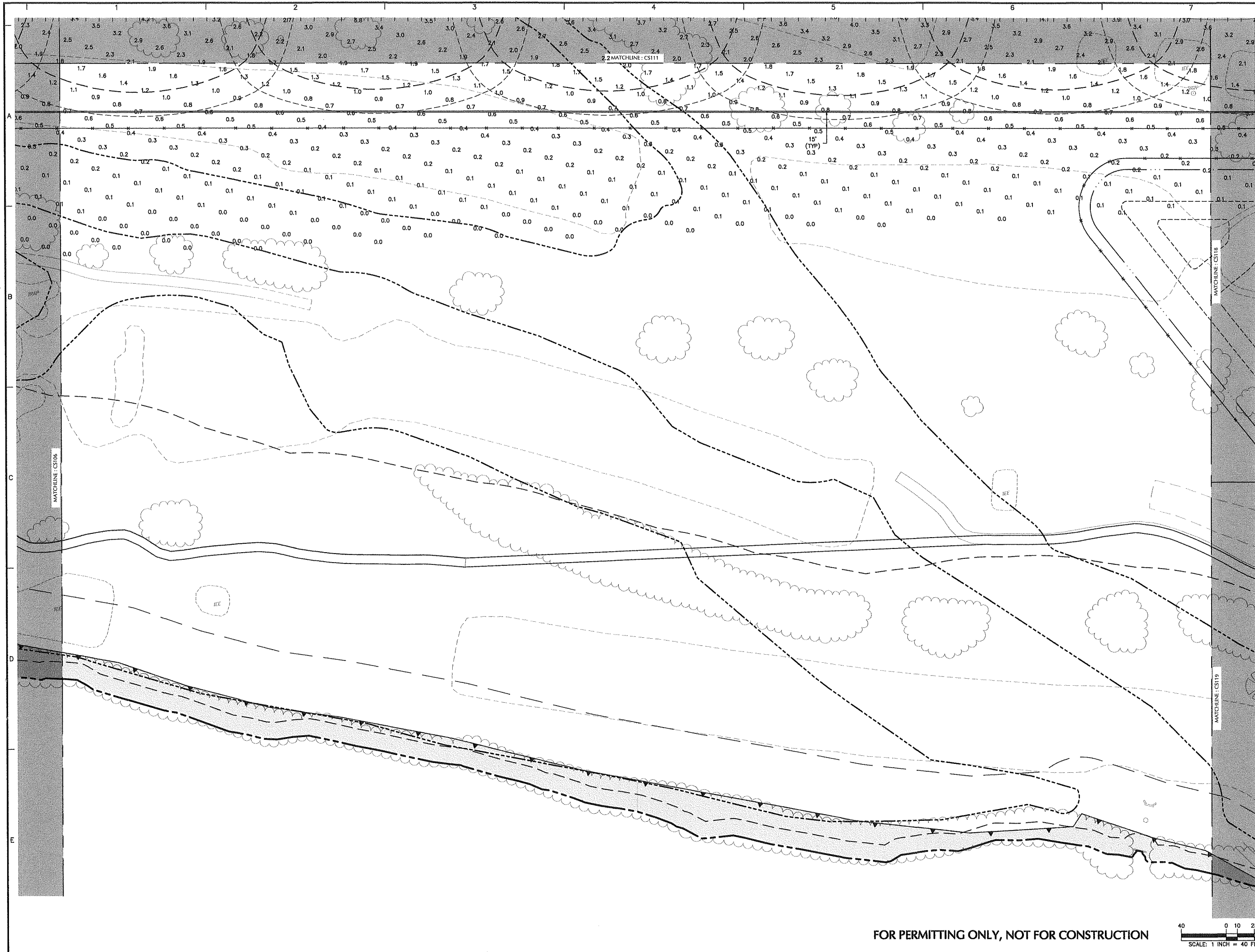
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Project: **HUDSON LOGISTICS CENTER**
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

Drawing Title: **LIGHTING PLAN XI**

Project No. 151010101	Drawing No. LL111
Date 04-21-2020	
Drawn By YW	
Checked By MH	



Date	Description	No.
Revisions		

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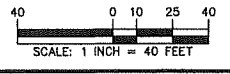
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Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

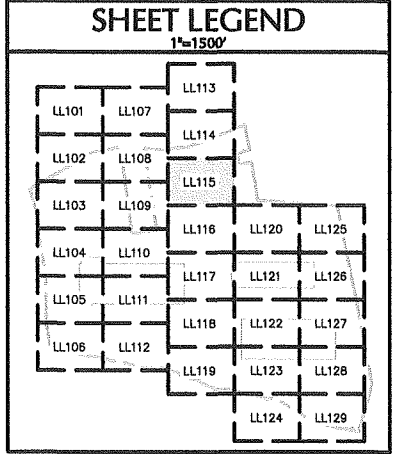
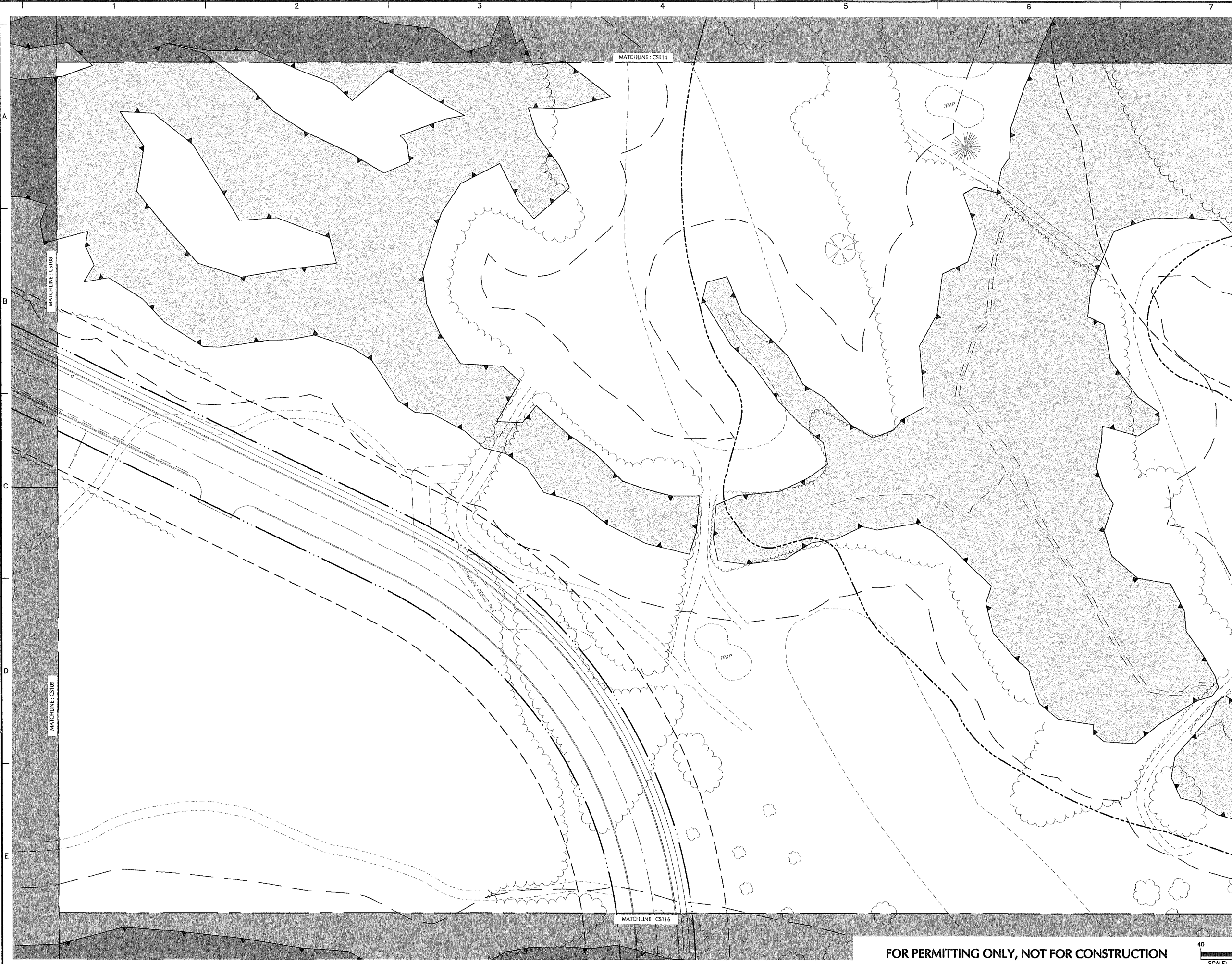
Drawing Title
LIGHTING PLAN XII

Project No. 151010101	Drawing No. LL112
Date 04-21-2020	
Drawn By KK	
Checked By MH	

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Project No. 151010101 Langan



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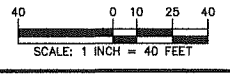
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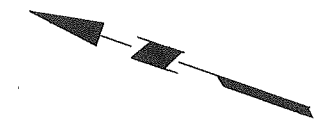
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

Drawing Title
LIGHTING PLAN XV

Project No. 151010101	Drawing No. LL115
Date 04-21-2020	
Drawn By YW	
Checked By MH	

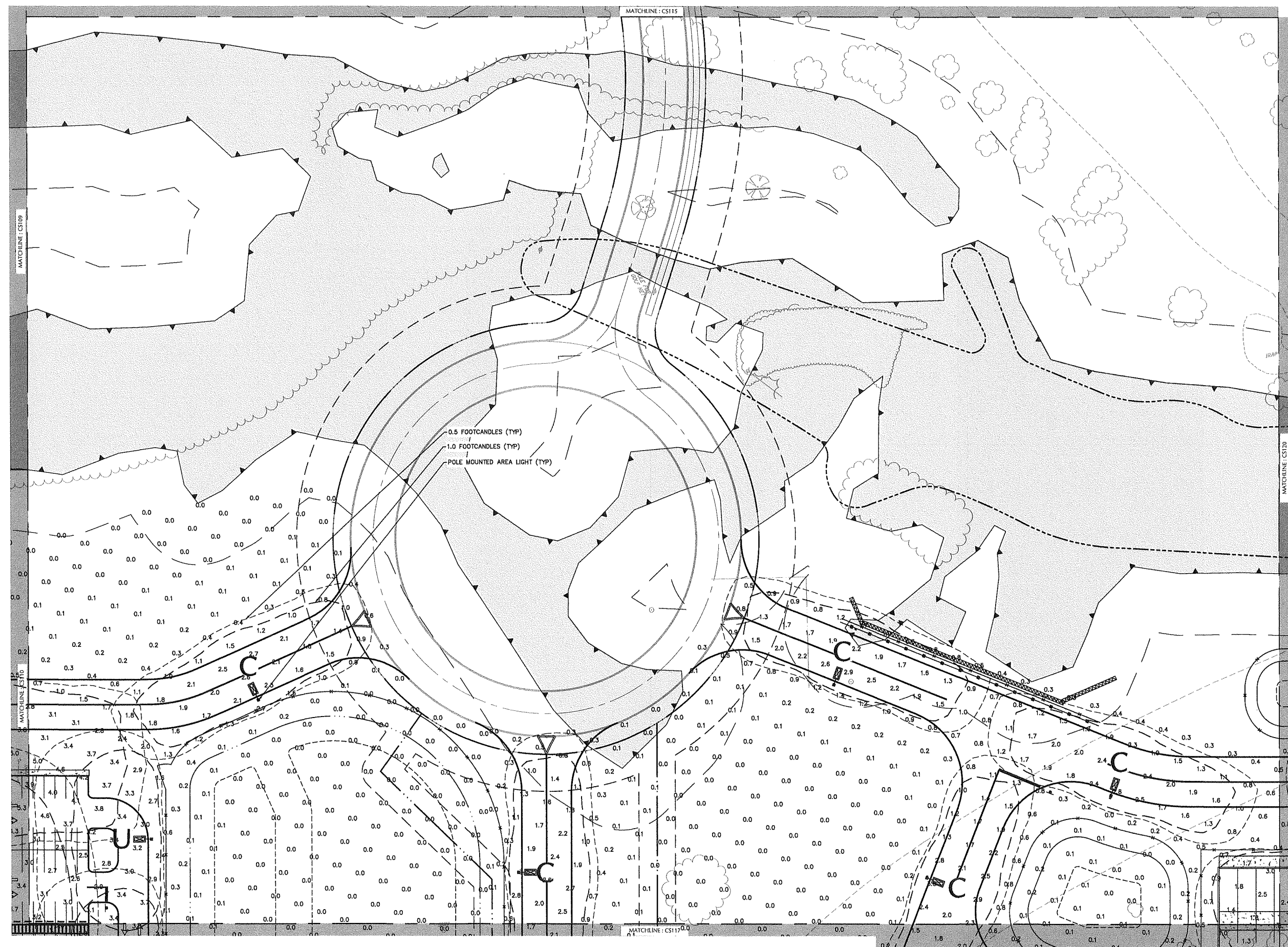
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SHEET LEGEND
1"=1500'

LL101	LL107	LL113		
LL102	LL108	LL114		
LL103	LL109	LL115		
LL104	LL110	LL116	LL120	LL125
LL105	LL111	LL117	LL121	LL126
LL106	LL112	LL118	LL122	LL127
		LL119	LL123	LL128
			LL124	LL129



Date	Description	No.
Revisions		

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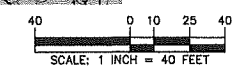
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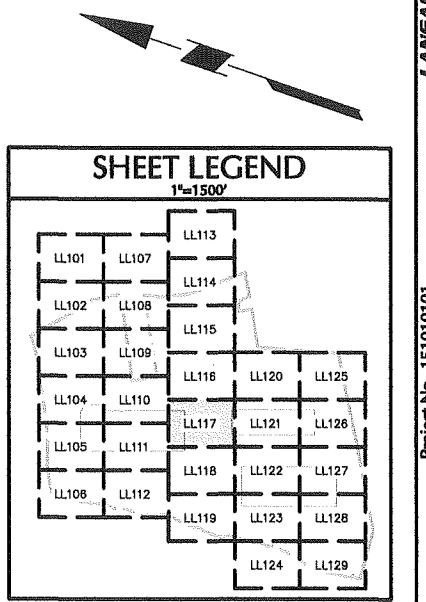
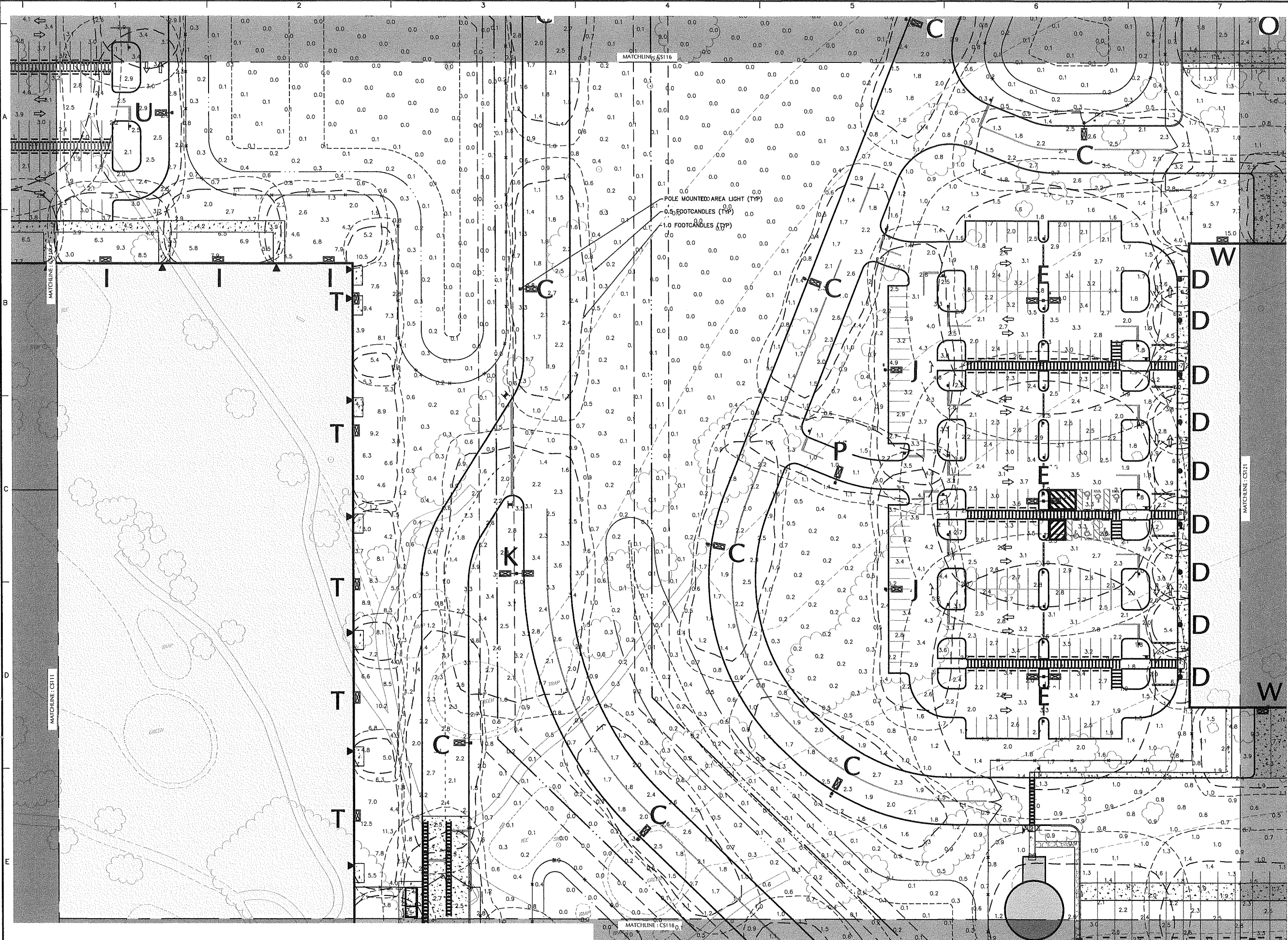
Project
**HUDSON LOGISTICS
CENTER**
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
Drawing Title
**LIGHTING PLAN
XVI**


Project No. 151010101	Drawing No. LL116
Date 04-21-2020	
Drawn By YW	
Checked By MH	

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Date	Description	No.
Revisions		


 Signature: MICHAEL SZURA ARCHITECT
 LICENSED LANDSCAPE ARCHITECT
 STATE LIC. No. 00152

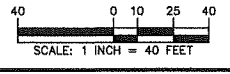
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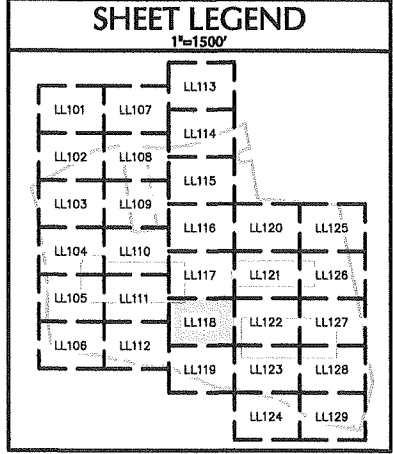
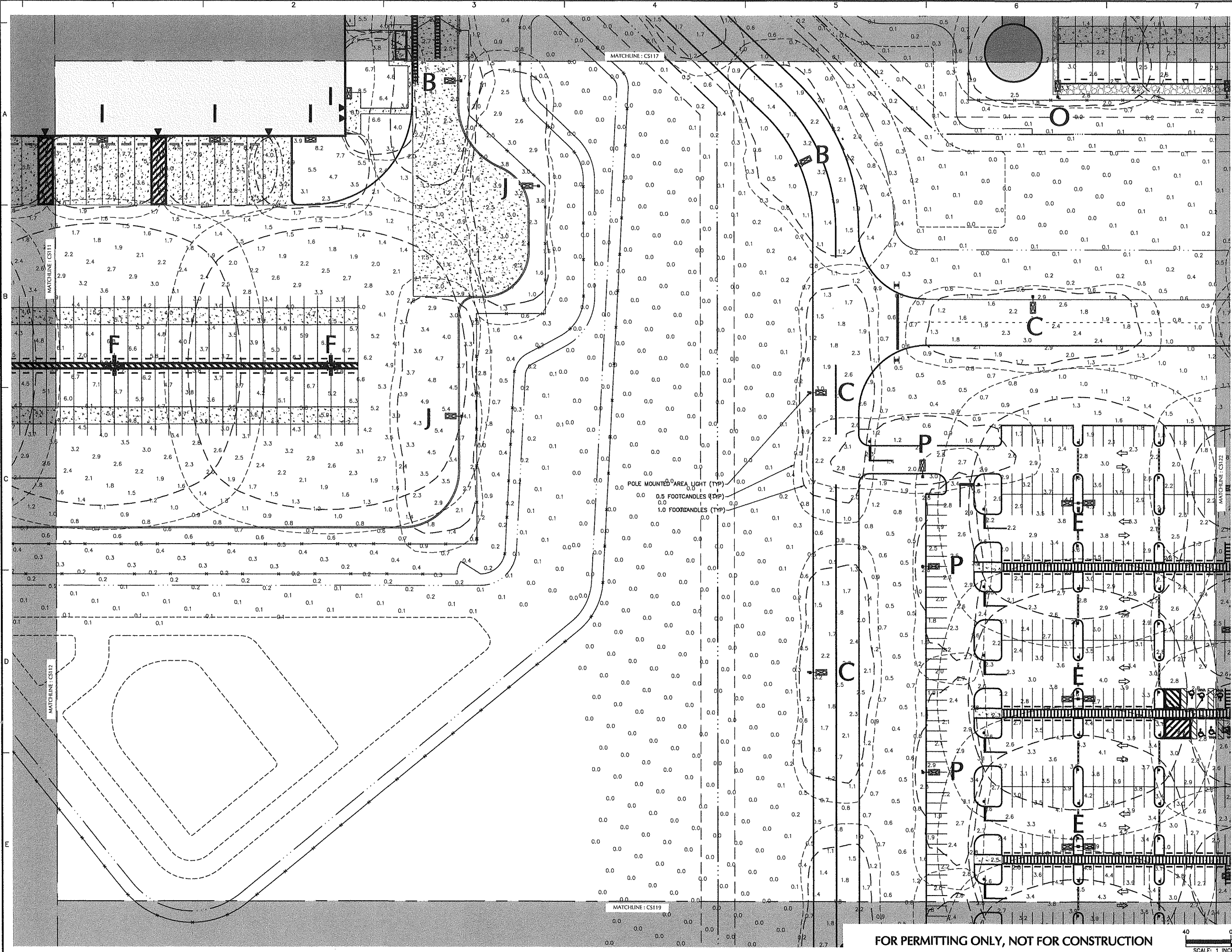
Project: **HUDSON LOGISTICS CENTER**
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE
 Drawing Title

LIGHTING PLAN XVII

Project No. 151010101	Drawing No. LL117
Date 04-21-2020	
Drawn By YW	
Checked By MH	

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Date	Description	No.
Revisions		

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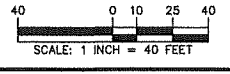
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Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE
 Drawing Title

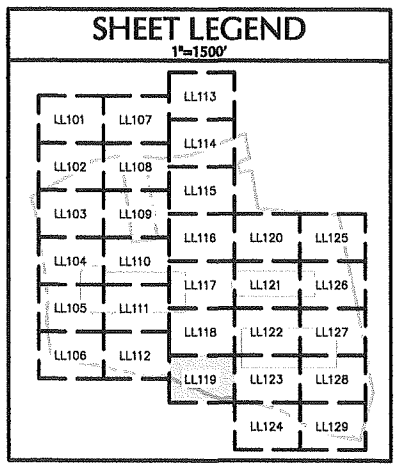
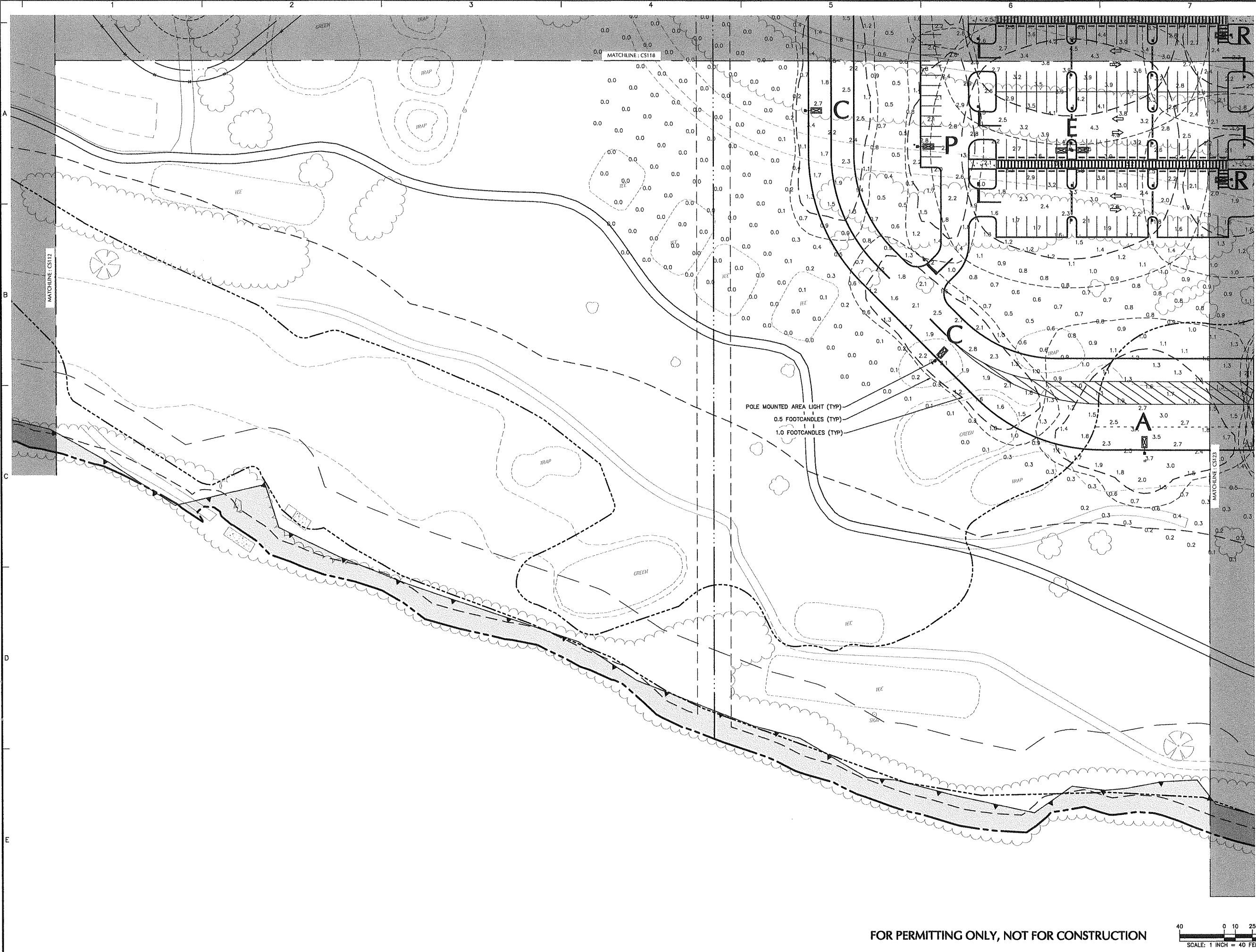
LIGHTING PLAN XXVIII

Project No. 151010101	Drawing No. LL118
Date 04-21-2020	
Drawn By YW	
Checked By MH	

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Project No. 151010101



Date	Description	No.
Revisions		

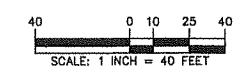
Signature: MICHAEL SZURA
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 STATE LIC. No. 00152

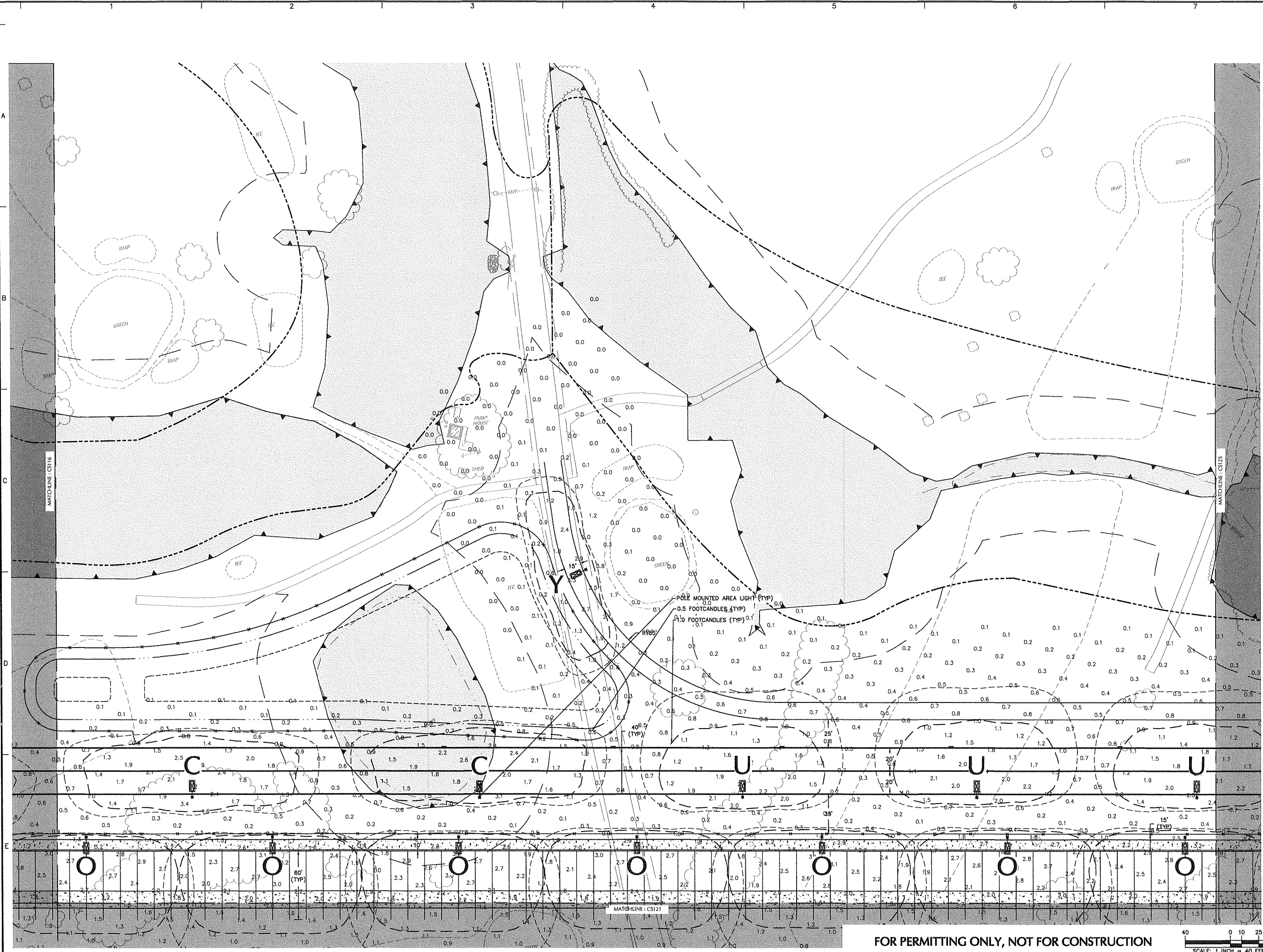
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Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE
 Drawing Title
LIGHTING PLAN XIX

Project No. 151010101	Drawing No. LL119
Date 04-21-2020	
Drawn By YW	
Checked By MH	

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SHEET LEGEND
1"=150'

LL101	LL107	LL113		
LL102	LL108	LL114		
LL103	LL109	LL115		
LL104	LL110	LL116	LL120	LL125
LL105	LL111	LL117	LL121	LL126
LL106	LL112	LL118	LL122	LL127
		LL119	LL123	LL128
			LL124	LL129

Date	Description	No.
Revisions		

Signature: *Michael Szura*
 MICHAEL SZURA
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 STATE LIC. No. 00152

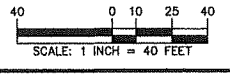
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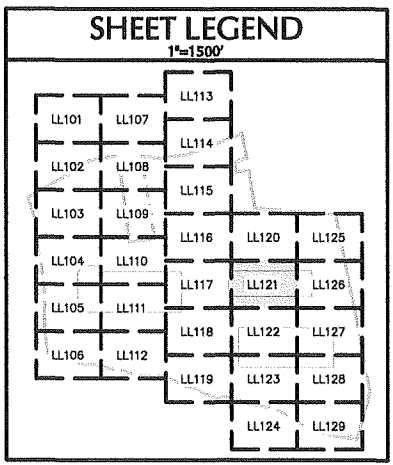
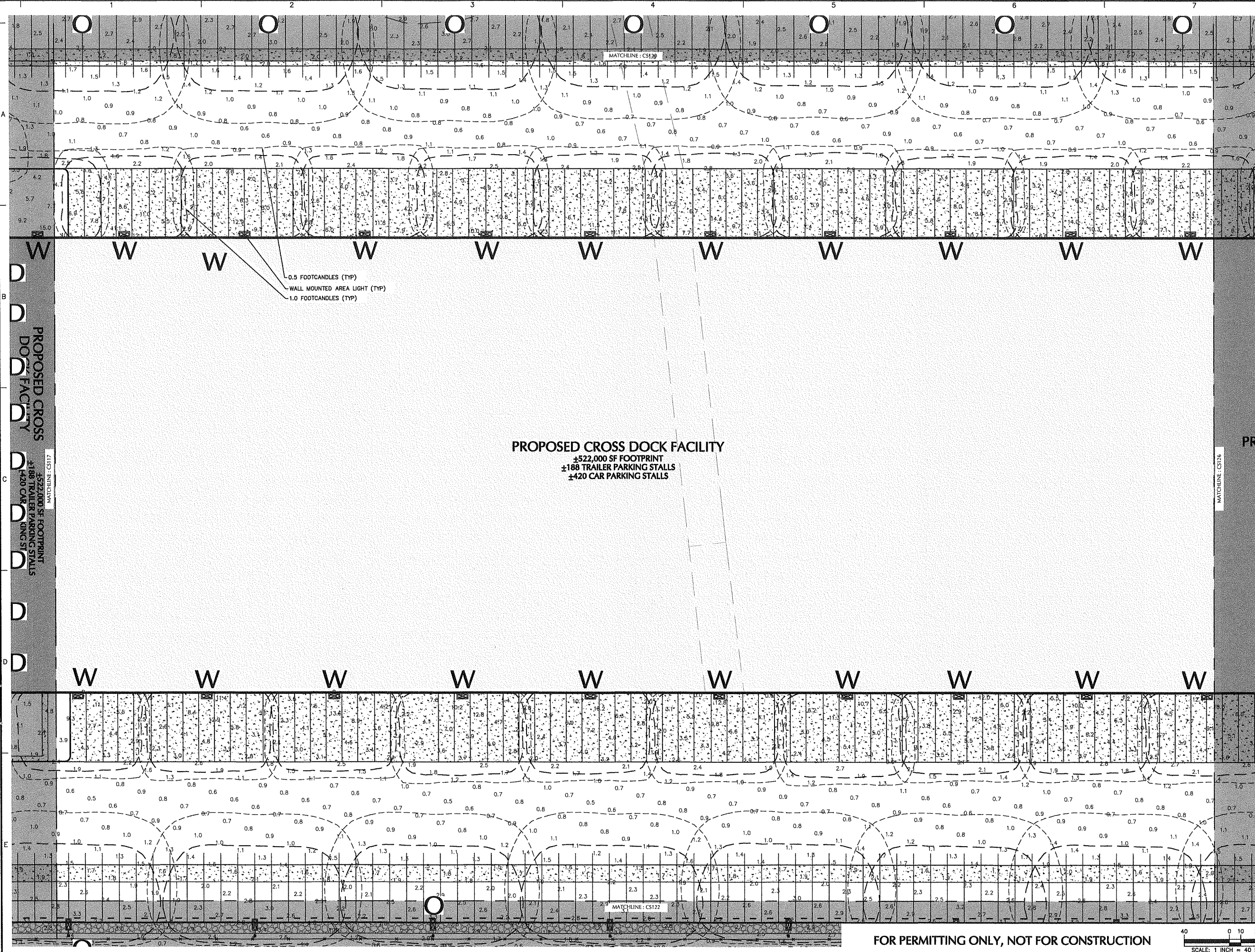
Project:
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

Drawing Title:
LIGHTING PLAN XX

Project No. 151010101	Drawing No. LL120
Date 04-21-2020	
Drawn By YW	
Checked By MH	

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Date	Description	No.
Revisions		

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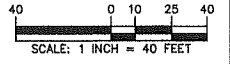
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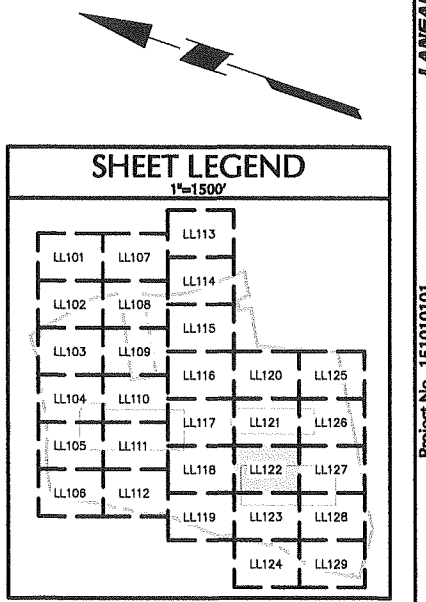
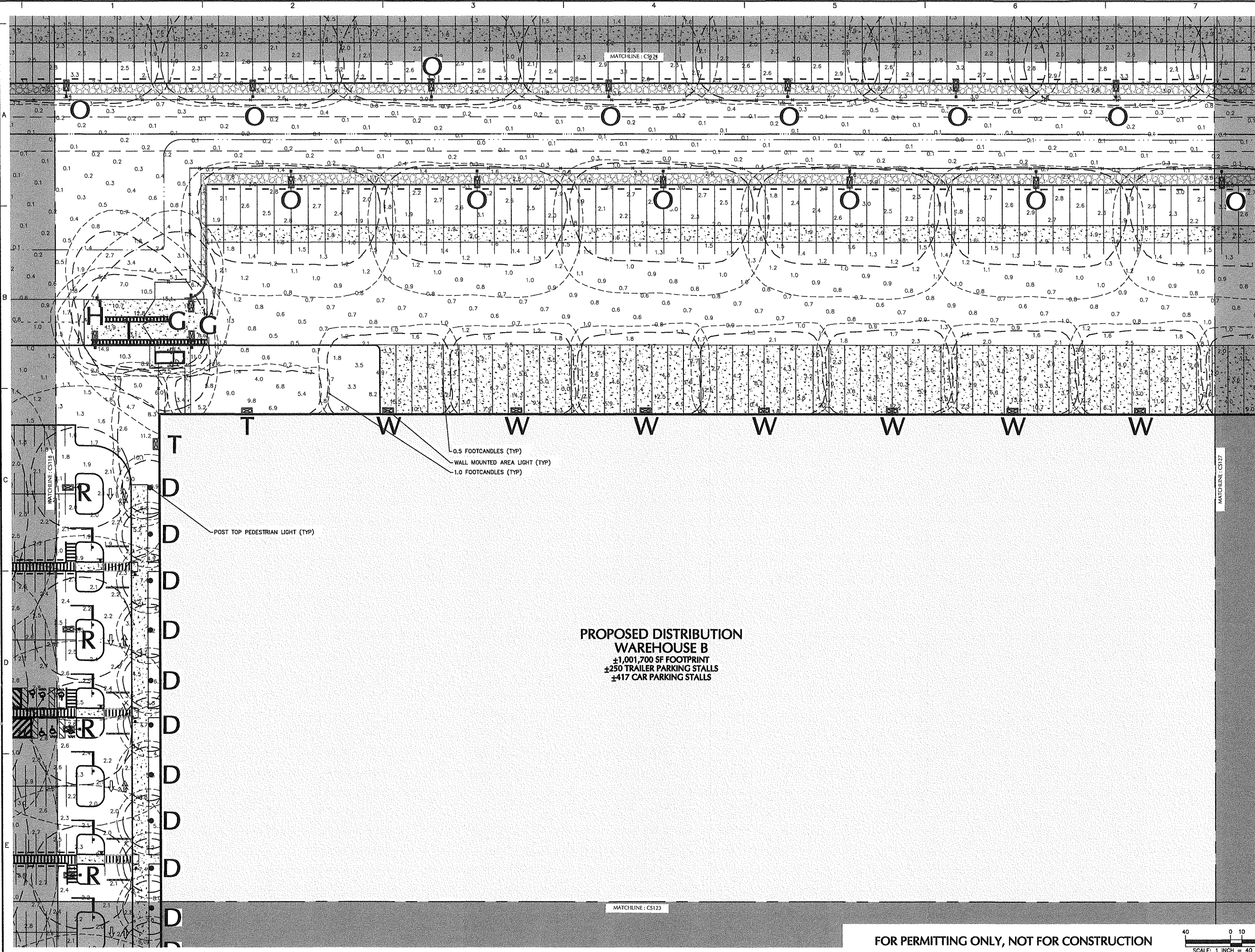
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE
 Drawing Title

LIGHTING PLAN XXI

Project No. 151010101	Drawing No. LL121
Date 04-21-2020	
Drawn By YW	
Checked By MH	

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**PROPOSED DISTRIBUTION
WAREHOUSE B**
 ±1,001,700 SF FOOTPRINT
 ±250 TRAILER PARKING STALLS
 ±417 CAR PARKING STALLS

- 0.5 FOOTCANDLES (TYP)
- WALL MOUNTED AREA LIGHT (TYP)
- 1.0 FOOTCANDLES (TYP)
- POST TOP PEDESTRIAN LIGHT (TYP)

Date	Description	No.
Revisions		


 Signature: MICHAEL SZURA Date: _____
 LICENSED LANDSCAPE ARCHITECT
 STATE LIC. No. 00152

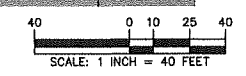
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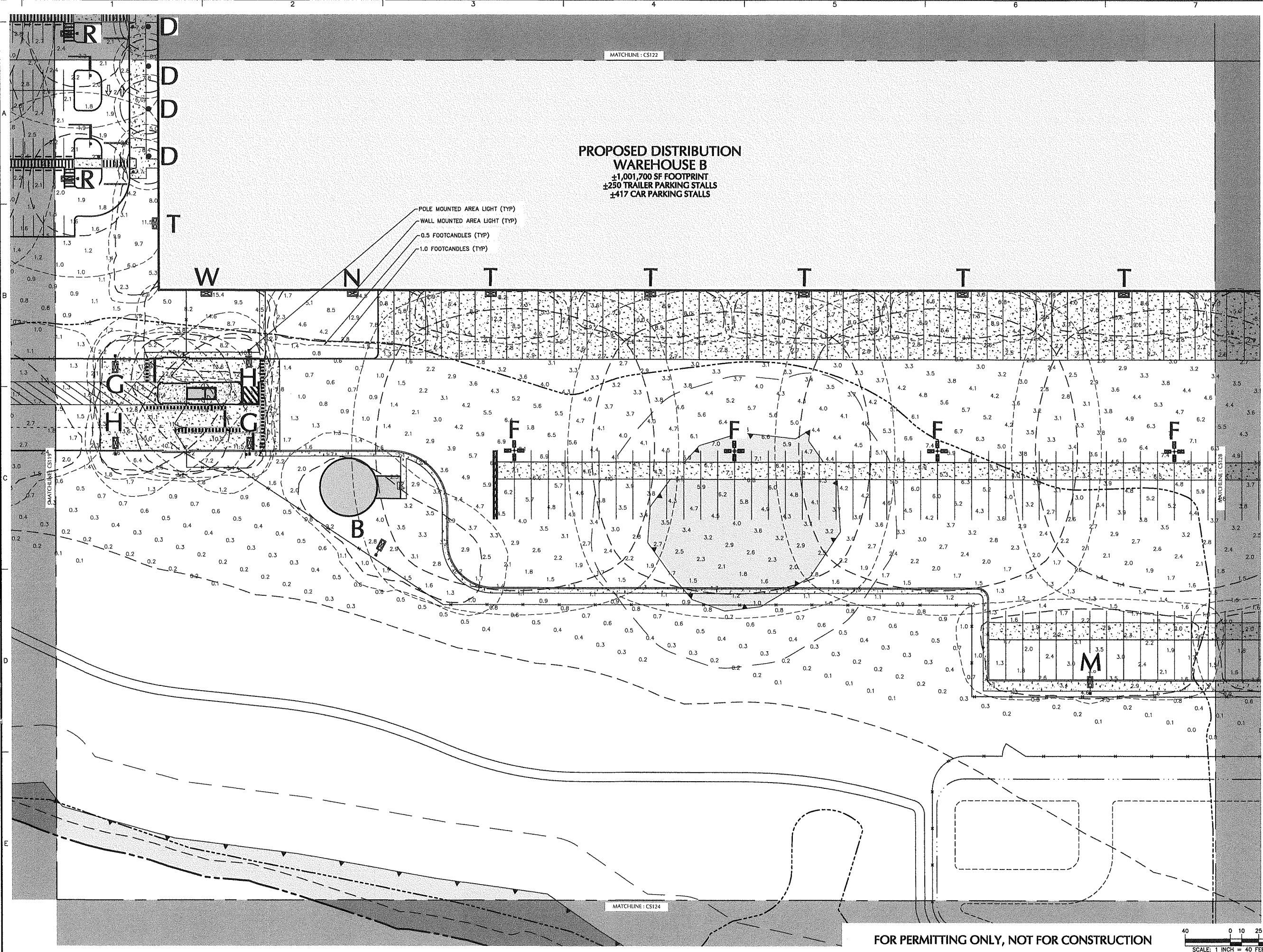
Project
**HUDSON LOGISTICS
CENTER**
 MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
 Drawing Title
**LIGHTING PLAN
XXII**

Project No. 151010101	Drawing No. LL122
Date 04-21-2020	
Drawn By YW	
Checked By MH	

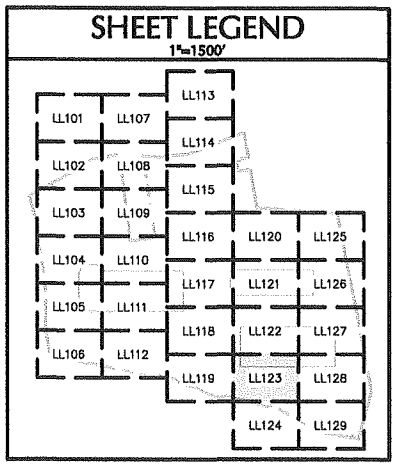
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**PROPOSED DISTRIBUTION
WAREHOUSE B**
±1,001,700 SF FOOTPRINT
±250 TRAILER PARKING STALLS
±417 CAR PARKING STALLS

- POLE MOUNTED AREA LIGHT (TYP)
- WALL MOUNTED AREA LIGHT (TYP)
- 0.5 FOOTCANDLES (TYP)
- 1.0 FOOTCANDLES (TYP)



Date	Description	No.
Revisions		

Signature: MICHAEL SZURA
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 STATE LIC. NO. 00152

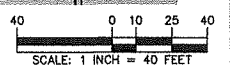
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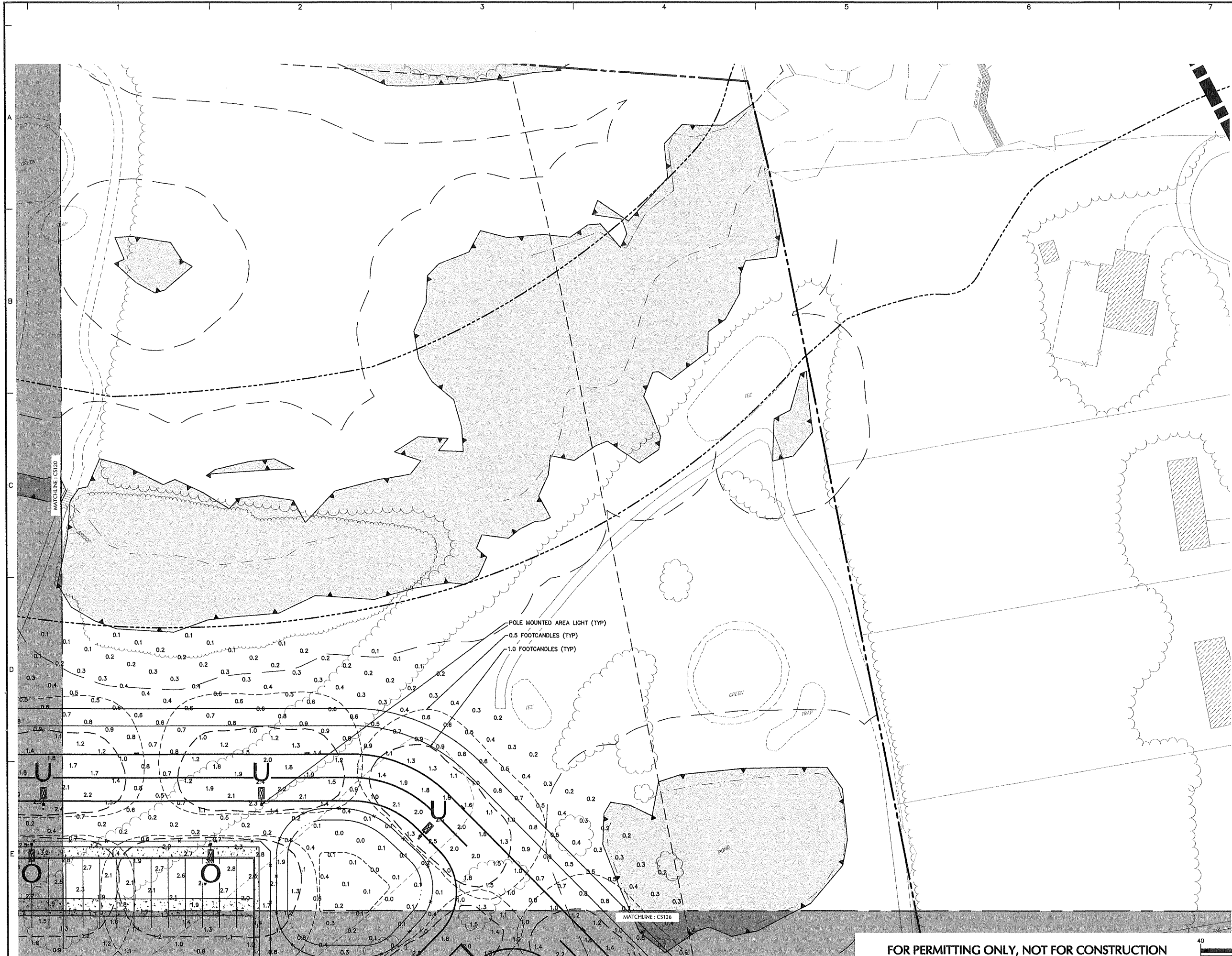
Project
**HUDSON LOGISTICS
CENTER**
 MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
 Drawing Title
**LIGHTING PLAN
XXIII**

Project No. 151010101	Drawing No. LL123
Date 04-21-2020	
Drawn By YW	
Checked By MH	

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SHEET LEGEND
1"=1500'

LL101	LL107	LL113		
LL102	LL108	LL114		
LL103	LL109	LL115		
LL104	LL110	LL116	LL120	LL125
LL105	LL111	LL117	LL121	LL126
LL106	LL112	LL118	LL122	LL127
		LL119	LL123	LL128
			LL124	LL129

Date	Description	No.
Revisions		


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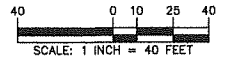
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

LIGHTING PLAN XXIX

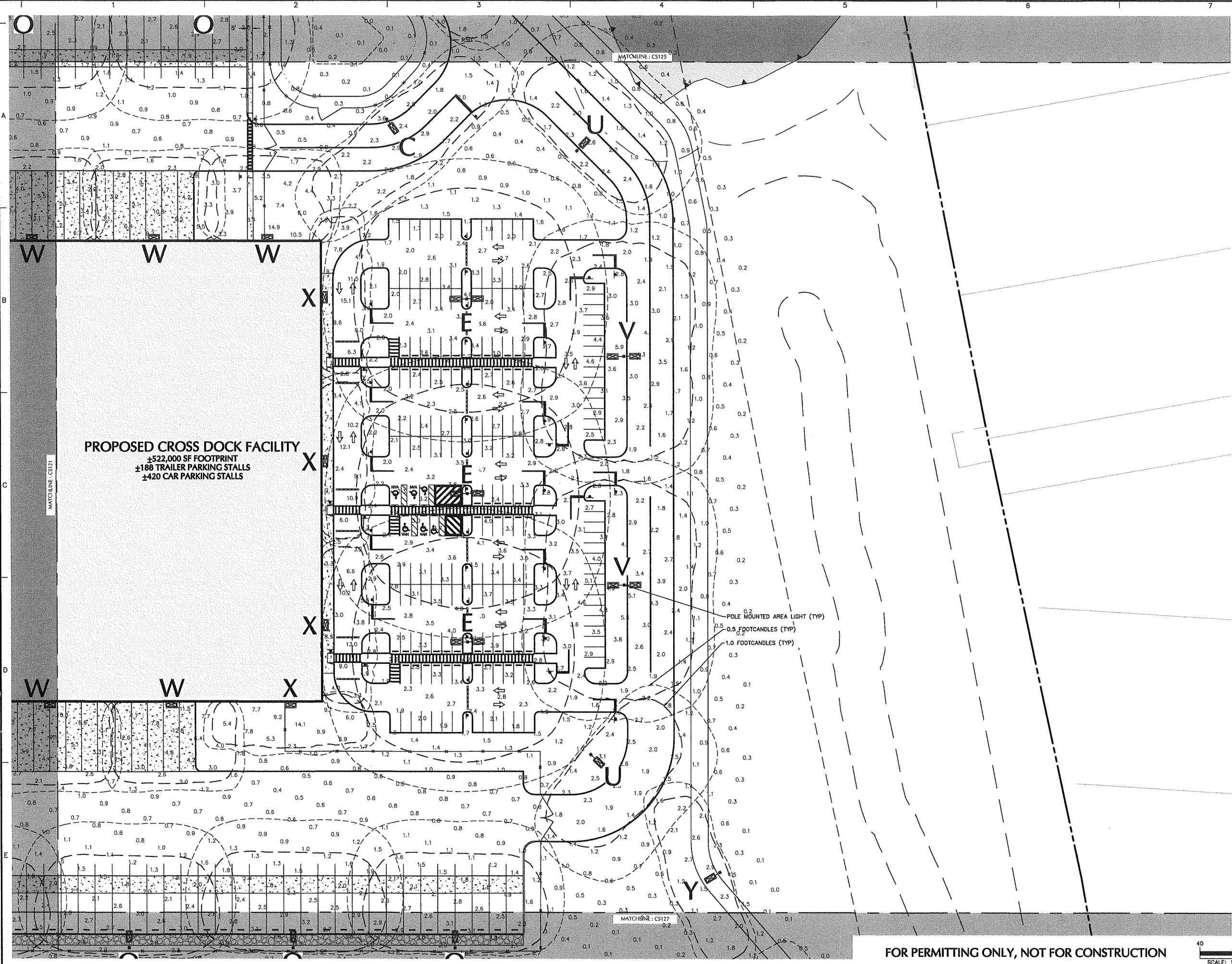
Project No. 151010101	Drawing No. LL125
Date 04-21-2020	
Drawn By YW	
Checked By MH	

POLE MOUNTED AREA LIGHT (TYP)
 0.5 FOOTCANDLES (TYP)
 1.0 FOOTCANDLES (TYP)

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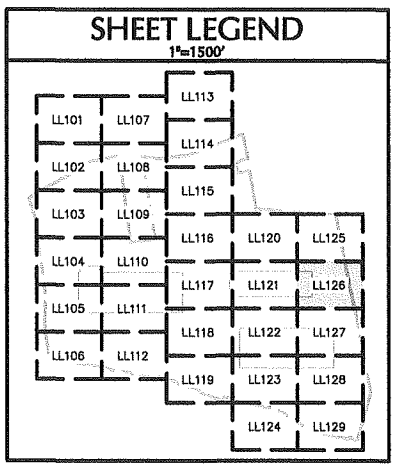


Project No. 151010101 © 2020 Langan




PROPOSED CROSS DOCK FACILITY
 ±522,000 SF FOOTPRINT
 ±188 TRAILER PARKING STALLS
 ±420 CAR PARKING STALLS

POLE MOUNTED AREA LIGHT (TYP)
 0.5 FOOTCANDLES (TYP)
 1.0 FOOTCANDLES (TYP)



Date	Description	No.
Revisions		


 Signature: MICHAEL SZURA
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 STATE LIC. No. 00152

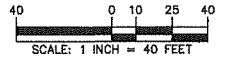
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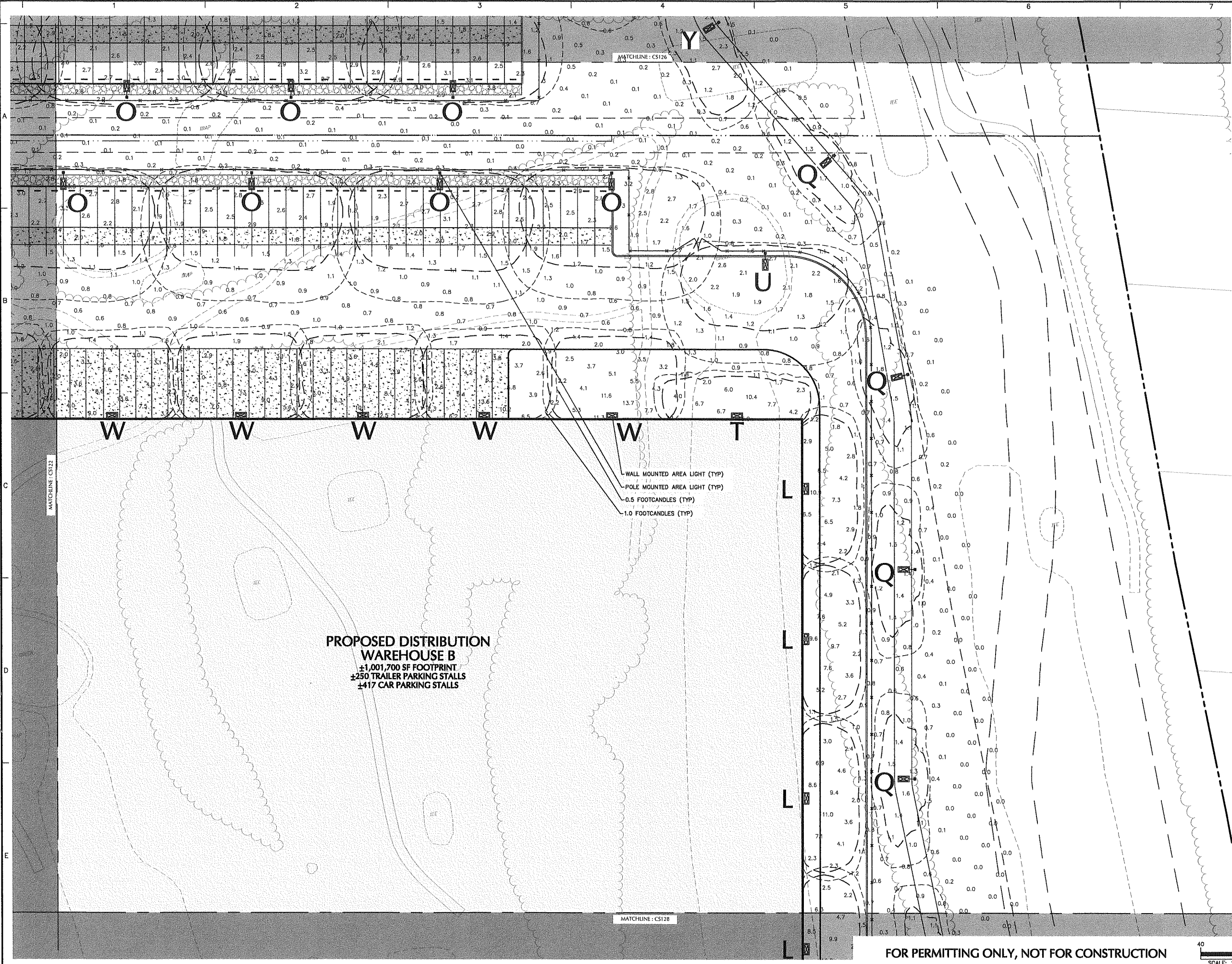
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE
 Drawing Title

LIGHTING PLAN XXVI

Project No. 1510101	DRAWING_FIGURE_LABEL LL126
Date 04-21-2020	
Drawn By YW	
Checked By MH	

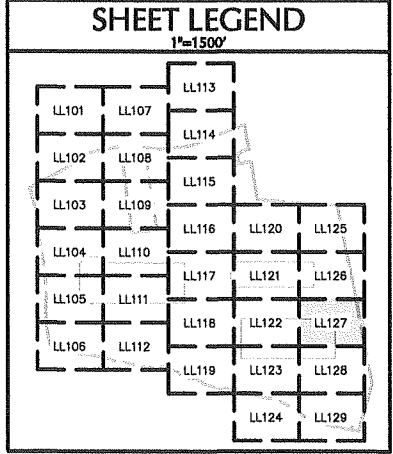
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PROPOSED DISTRIBUTION WAREHOUSE B
 ±1,001,700 SF FOOTPRINT
 ±250 TRAILER PARKING STALLS
 ±17 CAR PARKING STALLS

- WALL MOUNTED AREA LIGHT (TYP)
- POLE MOUNTED AREA LIGHT (TYP)
- 0.5 FOOTCANDLES (TYP)
- 1.0 FOOTCANDLES (TYP)



Date	Description	No.
Revisions		


 Signature: MICHAEL SZURA
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 STATE LIC. No. 00152

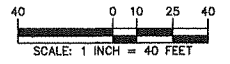
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Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

Drawing Title
LIGHTING PLAN XXVII

Project No. 151010101	Drawing No. LL127
Date 04-21-2020	
Drawn By YW	
Checked By MH	

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LIGHTING NOTES:

GENERAL

1. POINT-BY-POINT CALCULATIONS PROVIDED WITHIN HAVE BEEN PREPARED IN ACCORDANCE TO IESNA STANDARDS AND IN CONSIDERATION OF THE VARIABLES WITHIN THESE NOTES AND SITE LIGHTING SCHEDULE. THE VALUES SHOWN ON THE PLANS ARE NOT AN INDICATION OF THE INITIAL LIGHT INTENSITIES OF THE LAMPS. THESE VALUES ARE AN APPROXIMATION OF THE MAINTAINED INTENSITIES DELIVERED TO THE GROUND PLANE USING INDUSTRY STANDARD LIGHT LOSS FACTORS (LLF) WHICH COVER LAMP DEGRADATION AND NATURAL BUILDUP / DIRT DEGRADATION ON THE FIXTURE LENS. THE LIGHTING PLAN IS DESIGNED WITH AN INDUSTRY STANDARD LLF IN ACCORDANCE WITH GUIDANCE AS PROVIDED BY IESNA. MINOR VARIATIONS IN TOPOGRAPHY, PHYSICAL OBSTRUCTIONS, AMBIENT OR ADJACENT LIGHT SOURCES AND/OR OTHER POTENTIAL IMPACTS HAVE NOT BEEN INCLUDED IN THESE CALCULATIONS. THEREFORE, AS-BUILT LIGHT INTENSITIES MAY VARY, IN EITHER DIRECTION, FROM WHAT IS EXPLICITLY PORTRAYED WITHIN THESE DRAWINGS. NO GUARANTEE OF LIGHT LEVELS IS EXPRESSED OR IMPLIED BY THE POINT BY POINT CALCULATIONS SHOWN ON THESE PLANS.

2. LIGHT LEVEL POINT SPACING IS 10 FT. LEFT TO RIGHT AND 10 FT. TOP TO BOTTOM. POINT BY POINT CALCULATIONS ARE BASED ON THE LIGHT LOSS FACTOR AS STATED IN THE LIGHTING SCHEDULE.

3. ALL LIGHTING IS TO BE FULL CUT-OFF.

COMPLIANCE

3. ALL SITE LIGHTING RELATED WORK AND MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.

4. LIGHTING LAYOUT COMPLIES WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) SAFETY STANDARDS FOR LIGHT LEVELS.

COORDINATION

5. CONTRACTOR TO COORDINATE POWER SOURCE WITH LIGHT FIXTURES TO ENSURE ALL SITE LIGHTING IS OPERATING EFFECTIVELY, EFFICIENTLY AND SAFELY.

6. REFER TO ELECTRIFICATION PLAN FOR PROVIDING ADEQUATE POWER FOR SITE LIGHTING.

7. CONTRACTOR TO COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.

8. INSTALLATION OF ALL LIGHTING FIXTURES, POLES, FOOTINGS, AND FEEDER CABLE TO BE COORDINATED WITH ALL SITE WORK TRADES TO AVOID CONFLICT WITH FINISHED AND PROPOSED WORK.

9. CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND FEEDER CABLE FOR EXTERIOR LIGHTING WITH EXISTING AND PROPOSED UTILITIES, SITE DRAINAGE SYSTEMS, AND PAVING. CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND DURING EXCAVATIONS.

POLES AND FOOTINGS

10. PROVIDE A CONCRETE BASE FOR EACH LIGHT POLE AT THE LOCATIONS INDICATED ON THE CONSTRUCTION DRAWINGS AND/OR IN ACCORDANCE WITH PROJECT PLANS AND SPECIFICATIONS RELATING DIRECTLY TO CAST-IN-PLACE CONCRETE. THE USE OF ALTERNATE LIGHTING FOUNDATIONS, SUCH AS PRECAST, MAY CHANGE THE SIZING AND REINFORCEMENT REQUIREMENTS FROM THOSE SHOWN ON THESE PLANS. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO ORDERING ANY SUBSTITUTED PRODUCTS.

11. CONTRACTOR SHALL EXAMINE AND VERIFY THAT SOIL CONDITIONS ARE SUITABLE TO SUPPORT LOADS EXERTED UPON THE FOUNDATIONS DURING EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNSATISFACTORY CONDITIONS.

12. POLE FOUNDATIONS SHALL NOT BE POURED IF FREE STANDING WATER IS PRESENT IN EXCAVATED AREA.

13. ALL POLES HIGHER THAN 25 FT. SHALL BE EQUIPPED WITH FACTORY INSTALLED VIBRATION DAMPENERS.

WALL MOUNTED FIXTURES

14. CONTRACTOR TO COORDINATE INSTALLATION OF ALL THE WALL MOUNTED FIXTURES AND ELECTRICAL CONNECTIONS TO SITE STRUCTURE(S) WITH BUILDING MEP, ARCHITECT, AND/OR OWNER.

15. INSTALLATION AND ELECTRICAL CONNECTIONS FOR WALL MOUNTED FIXTURES TO BE COORDINATED WITH ARCHITECTURAL, STRUCTURAL, UTILITY AND SITE PLANS AND TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

ADJUSTMENT AND INSPECTION

16. CONTRACTOR TO OPERATE EACH LUMINAIRE AFTER INSTALLATION AND CONNECTION. INSPECT FOR IMPROPER CONNECTIONS AND OPERATION.

17. CONTRACTOR TO AIM AND ADJUST ALL LUMINAIRES TO PROVIDE ILLUMINATION LEVELS AND DISTRIBUTION AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.

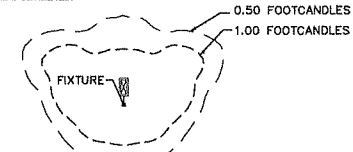
18. CONTRACTOR TO CONFIRM THAT LIGHT FIXTURES, TILT ANGLE AND AIMING MATCH SPECIFICATIONS ON THE PLANS.

REQUIREMENTS FOR ALTERNATES

19. ALL LIGHTING SUBSTITUTIONS MUST BE MADE WITHIN 14 DAYS PRIOR TO THE BID DATE TO PROVIDE AMPLE TIME FOR REVIEW AND TO ISSUE AN ADDENDUM INCORPORATING THE SUBSTITUTION WITH THE FOLLOWING REQUIREMENTS:

- A. ANY SUBSTITUTION TO LIGHTING FIXTURES, POLES, ETC. MUST BE APPROVED BY THE OWNER, ENGINEER AND TENANTS. ANY COST ASSOCIATED WITH REVIEW AND/OR APPROVAL OF THE SUBSTITUTIONS SHALL BE ENTIRELY BORNE BY THE CONTRACTOR.
- B. COMPUTER PREPARED PHOTOMETRIC LAYOUT OF THE PROPOSED LIGHTED AREA WHICH INDICATES, BY ISOFOOTCANDLE, THE SYSTEM'S PERFORMANCE.
- C. A PHOTOMETRIC REPORT FROM A NATIONAL INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS; IES CALCULATIONS, POINT BY POINT FOOT CANDLE PLAN, STATISTIC ZONES SHOWING AVERAGE, MAXIMUM, MINIMUM AND UNIFORMITY RATIOS, SUMMARY, ISOLUX PLOT, AND CATALOGUE CUTS. CATALOGUE CUTS MUST IDENTIFY OPTICS, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LENS, BALLASTS, WATTAGE, VOLTAGE, FINISH HOUSING DESCRIPTION AND ALL OTHER PERTINENT INFORMATION.
- D. POLE MANUFACTURER AASHTO CALCULATIONS INDICATING THE POLE AND ANCHOR BOLTS BEING SUBMITTED ARE CAPABLE OF SUPPORTING THE POLE AND FIXTURE SYSTEMS BEING UTILIZED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- E. THE UNDERWRITERS LABORATORY LISTING AND FILE NUMBER FOR THE SPECIFIC FIXTURE(S) TO BE UTILIZED.
- F. A COLOR PHOTOGRAPH THAT CLEARLY SHOWS THE REPLACEMENT FIXTURE POLE MOUNTED, THE FIXTURE'S COLOR, FINISH, AND PHYSICAL CHARACTERISTICS.

PHOTOMETRIC LIGHTING LEGEND:



NOTE: THE PHOTOMETRIC TEMPLATE REPRESENTS LIGHT THROW FOR EACH INDIVIDUAL FIXTURE AND DOES NOT REPRESENT LIGHT COMING FROM OTHER SOURCES.

STATISTICS

DESCRIPTION	AVG.	MAX.	MIN.	MAX./MIN.	AVG./MIN.
Building A					
CAR PARKING LOT	3.9 FC	8.7 FC	1.5 FC	5.8:1	2.6:1
LOADING DOCK NORTH	5.0 FC	10.6 FC	1.6 FC	6.6:1	3.1:1
LOADING DOCK WEST	4.9 FC	10.1 FC	1.6 FC	6.3:1	3.1:1
TRAILER PARKING WEST	4.7 FC	8.2 FC	2.5 FC	3.3:1	1.9:1
TRAILER PARKING NORTH	4.0 FC	8.4 FC	1.5 FC	6:1	2.9:1
OPEN TRUCK YARD	2.2 FC	6.7 FC	0.6 FC	11.2:1	3.7:1
GUARD SHACK	12.1 FC	14.7 FC	10.6 FC	1.4:1	1.1:1
BUILDING PERIMETER	6.6 FC	13.6 FC	1.0 FC	13.6:1	6.6:1
PERIMETER FENCE	1.6 FC	12.8 FC	0.4 FC	32:1	4:1
ENTRY DRIVES	1.9 FC	4.5 FC	0.5 FC	9:1	3.8:1
PEDESTRIAN AREA	4.9 FC	12.0 FC	3.0 FC	4:1	1.6:1
Building B					
CAR PARKING LOT	2.9 FC	5.0 FC	1.5 FC	3.3:1	1.9:1
LOADING DOCK EAST	5.8 FC	15.5 FC	1.5 FC	11.1:1	4.2:1
LOADING DOCK WEST	5.0 FC	15.1 FC	1.5 FC	11.6:1	3.9:1
TRAILER PARKING WEST	3.8 FC	7.6 FC	1.3 FC	5.9:1	2.8:1
TRAILER PARKING EAST	2.1 FC	3.3 FC	1.2 FC	2.8:1	1.8:1
OPEN TRUCK YARD	2.5 FC	12.8 FC	0.5 FC	25.6:1	5.0:1
GUARD SHACK EAST	14.2 FC	18.2 FC	10.7 FC	1.7:1	1.3:1
GUARD SHACK WEST	11.7 FC	13.8 FC	10.0 FC	1.4:1	1.2:1
BUILDING PERIMETER	6.7 FC	22.1 FC	1.0 FC	22.1:1	6.7:1
PERIMETER FENCE	1.7 FC	16.7 FC	0.4 FC	41.8:1	4.3:1
ENTRY DRIVES	1.8 FC	3.6 FC	0.5 FC	7.2:1	3.6:1
PEDESTRIAN AREA	8.0 FC	14.9 FC	3.2 FC	6.47:1	2.4:1
Building C					
CAR PARKING LOT NORTH	2.9 FC	7.2 FC	1.5 FC	4.8:1	2.0:1
CAR PARKING LOT SOUTH	3.4 FC	15.1 FC	1.5 FC	10.1:1	2.3:1
LOADING DOCK EAST	6.2 FC	15.6 FC	1.7 FC	9.2:1	3.6:1
LOADING DOCK WEST	5.7 FC	15.5 FC	1.5 FC	11.1:1	4.1:1
TRAILER PARKING WEST	2.2 FC	3.3 FC	1.3 FC	1.5:1	2.7:1
TRAILER PARKING EAST	2.1 FC	3.4 FC	1.3 FC	2.6:1	1.6:1
OPEN TRUCK YARD WEST	1.0 FC	2.7 FC	0.5 FC	6.8:1	2.6:1
OPEN TRUCK YARD EAST	1.2 FC	3.2 FC	0.6 FC	5.3:1	1.9:1
BUILDING PERIMETER	7.5 FC	20.4 FC	1.0 FC	20.4:1	7.5:1
PERIMETER FENCE WEST	1.5 FC	13.6 FC	0.6 FC	22.7:1	2.5:1
PERIMETER FENCE EAST	1.6 FC	13.5 FC	0.5 FC	27.0:1	3.2:1
ENTRY DRIVES	1.8 FC	4.3 FC	0.5 FC	10.8:1	4.8:1
PEDESTRIAN AREA	5.6 FC	7.6 FC	3.6 FC	2.1:1	1.6:1
STEEL ROAD	1.3 FC	7.5 FC	0.5 FC	18.8:1	3.3:1

NOTE: LIGHT PHOTOMETRY AND CALCULATIONS FOR EXISTING AND ADJACENT LIGHTING TO REMAIN ARE NOT INCLUDED IN THE ABOVE STATISTICS.

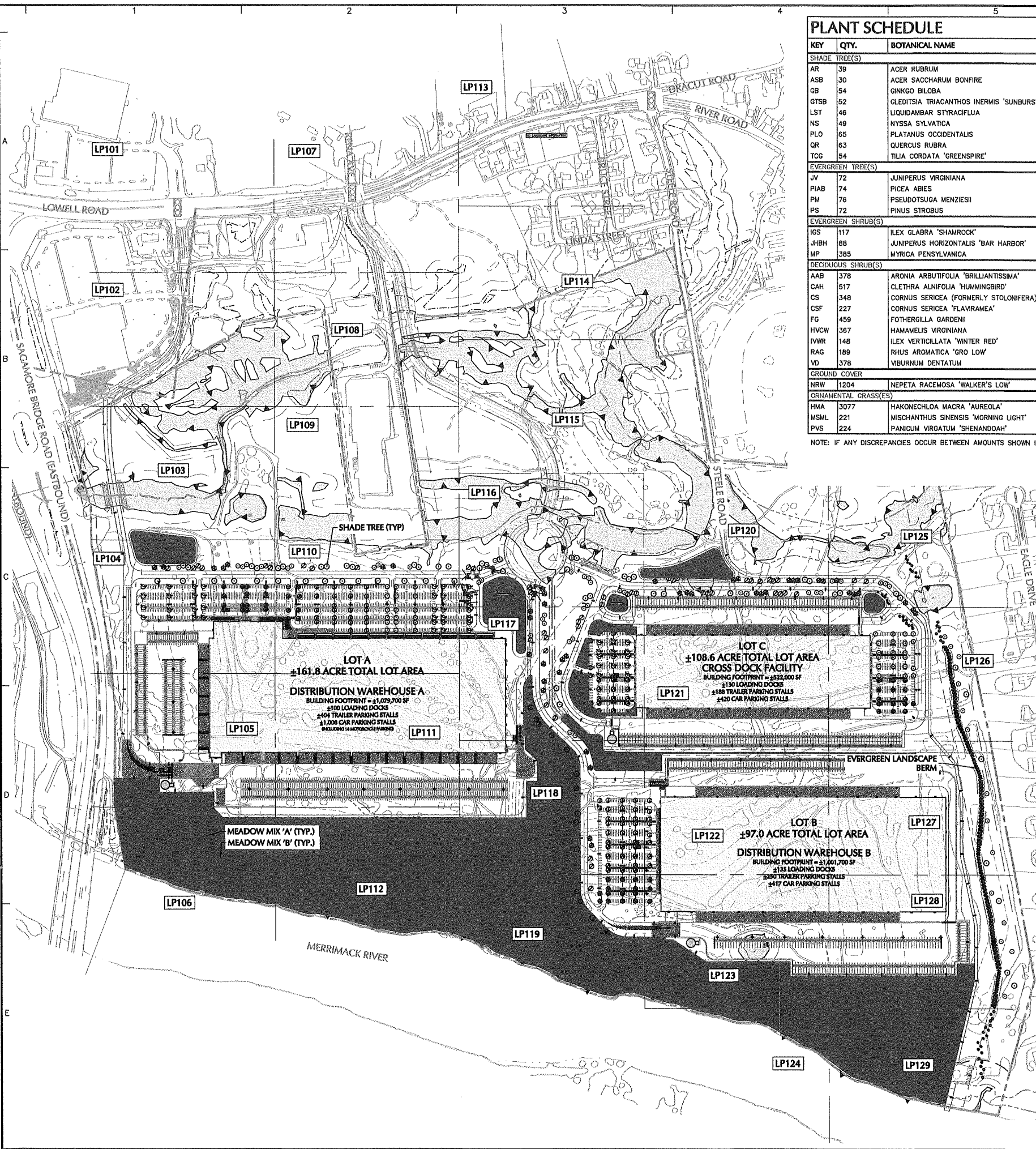
SITE LIGHTING SCHEDULE

SYMBOL	KEY	QTY.	FIXTURE MANUFACTURER	FIXTURE MODEL	FIXTURE DESCRIPTION	FIXTURE MOUNTING HEIGHT	LAMP	OPTICS	LUMENS	LLF	FIXTURE CATALOGUE NO.	POLE MANUFACTURER	POLE DESCRIPTION	POLE LENGTH	POLE CATALOGUE NO.
⊖	A	5	EATON - MCGRAW-EDISON	GLEON GALLEON LED	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR - BLACK	40'	445W LED	TYPE IV FORWARD	49,093	0.90	GLEON-AF-08-LED-E1-T4FT	HAPCO	ROUND TAPERED STEEL POLE	37'	RTS-39-B-80-4-BA-D190-VDA (FACTORY CUT TO 37')
⊖	B	3	EATON - MCGRAW-EDISON	GLEON GALLEON LED	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR - BLACK	40'	333W LED	TYPE III ROADWAY	37,235	0.90	GLEON-AF-06-LED-E1-T3R	HAPCO	ROUND TAPERED STEEL POLE	37'	RTS-39-B-80-4-BA-D190-VDA (FACTORY CUT TO 37')
⊖	C	28	EATON - MCGRAW-EDISON	GLEON GALLEON LED	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR - BLACK	40'	333W LED	TYPE II W/SPILL CONTROL	35,677	0.90	GLEON-AF-06-LED-E1-SL2-HSS	HAPCO	ROUND TAPERED STEEL POLE	37'	RTS-39-B-80-4-BA-D190-VDA (FACTORY CUT TO 37')
●	D	29	EATON - MCGRAW-EDISON	ARB ARBOR	POST TOP PEDESTRIAN LIGHT; COLOR - BLACK	8'	99W LED	TYPE V	9,464	0.90	ARB-B4-LED-D1-T5-BK	EATON	STRAIGHT STEEL POLE	8'	RSS-4-A-10-S-Y-2-X-X-G-ARPA4-BK (FACTORY CUT TO 8')
⊖	E	15	EATON - MCGRAW-EDISON	GLEON GALLEON LED	POLE MOUNTED DOUBLE AREA LIGHT FIXTURE; COLOR - BLACK	40'	445W LED	TYPE V SQUARE WIDE	102,802	0.90	GLEON-AF-08-LED-E1-SWQ	HAPCO	ROUND TAPERED STEEL POLE	37'	RTS-39-B-80-4-BA-D218-VDA (FACTORY CUT TO 37')
⊕	F	22	EATON - MCGRAW-EDISON	GLEON GALLEON LED	POLE MOUNTED QUADRANT AREA LIGHT FIXTURE; COLOR - BLACK	40'	445W LED	TYPE V SQUARE WIDE	205,604	0.90	GLEON-AF-08-LED-E1-SWQ	HAPCO	ROUND TAPERED STEEL POLE	37'	RTS-39-B-80-4-BA-D490-VDA (FACTORY CUT TO 37')
⊖	G	6	EATON - MCGRAW-EDISON	GLEON GALLEON LED	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR - BLACK	40'	558W LED	TYPE SLL	52,965	0.90	GLEON-AF-10-LED-E1-SLL	HAPCO	ROUND TAPERED STEEL POLE	37'	RTS-39-B-80-4-BA-D190-VDA (FACTORY CUT TO 37')
⊖	H	5	EATON - MCGRAW-EDISON	GLEON GALLEON LED	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR - BLACK	40'	558W LED	TYPE SLR	52,965	0.90	GLEON-AF-10-LED-E1-SLR	HAPCO	ROUND TAPERED STEEL POLE	37'	RTS-39-B-80-4-BA-D190-VDA (FACTORY CUT TO 37')
⊖	I	43	EATON - MCGRAW-EDISON	GLEON GALLEON LED	WALL MOUNTED AREA LIGHT FIXTURE; COLOR - BLACK	20' ABOVE FFE	333W LED	TYPE IV W/SPILL CONTROL	34,605	0.90	GLEON-AF-08-LED-E1-SL4-HSS-BK-WM	N.A	N.A	N.A	N.A
⊖	J	6	EATON - MCGRAW-EDISON	GLEON GALLEON LED	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR - BLACK	40'	445W LED	TYPE II W/SPILL CONTROL	205,056	0.90	GLEON-AF-08-LED-E1-SL2-HSS	HAPCO	ROUND TAPERED STEEL POLE	37'	RTS-39-B-80-4-BA-D190-VDA (FACTORY CUT TO 37')
⊖	K	12	EATON - MCGRAW-EDISON	GLEON GALLEON LED	POLE MOUNTED DOUBLE AREA LIGHT FIXTURE; COLOR - BLACK	40'	445W LED	TYPE II W/SPILL CONTROL	95,614	0.90	GLEON-AF-08-LED-E1-SL2-HSS	HAPCO	ROUND TAPERED STEEL POLE	37'	RTS-39-B-80-4-BA-D218-VDA (FACTORY CUT TO 37')
⊖	L	5	EATON - MCGRAW-EDISON	GLEON GALLEON LED	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR - BLACK	20' ABOVE FFE	333W LED	TYPE III ROADWAY	37,235	0.90	GLEON-AF-08-LED-E1-3R-BK-WM	N.A	N.A	N.A	N.A
⊖	M	7	EATON - MCGRAW-EDISON	GLEON GALLEON LED	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR - BLACK	40'	445W LED	TYPE III W/SPILL CONTROL	48,803	0.90	GLEON-AF-08-LED-E1-SL3-HSS	HAPCO	ROUND TAPERED STEEL POLE	37'	RTS-39-B-80-4-BA-D190-VDA (FACTORY CUT TO 37')
⊖	N	1	EATON - MCGRAW-EDISON	GLEON GALLEON LED	WALL MOUNTED AREA LIGHT FIXTURE; COLOR - BLACK	20' ABOVE FFE	445W LED	TYPE III W/SPILL CONTROL	48,803	0.90	GLEON-AF-08-LED-E1-SL3-HSS-BK-WM	N.A	N.A	N.A	N.A
⊖	O	34	EATON - MCGRAW-EDISON	GLEON GALLEON LED	POLE MOUNTED DOUBLE HEADS AREA LIGHT FIXTURE; COLOR - BLACK	40'	445W LED	TYPE IV W/SPILL CONTROL	51,264	0.90	GLEON-AF-08-LED-E1-SL4-HSS	HAPCO	ROUND TAPERED STEEL POLE	37'	RTS-39-B-80-4-BA-D190-VDA (FACTORY CUT TO 37')
⊖	P	5	EATON - MCGRAW-EDISON	GLEON GALLEON LED	POLE MOUNTED DOUBLE HEADS AREA LIGHT FIXTURE; COLOR - BLACK	40'	225W LED	TYPE II W/SPILL CONTROL	46,370	0.90	GLEON-AF-04-LED-E1-SL2-HSS	HAPCO	ROUND TAPERED STEEL POLE	37'	RTS-39-B-80-4-BA-D190-VDA (FACTORY CUT TO 37')
⊖	Q	11	EATON - MCGRAW-EDISON	GLEON GALLEON LED	POLE MOUNTED DOUBLE HEADS AREA LIGHT FIXTURE; COLOR - BLACK	30'	113W LED	TYPE II W/SPILL CONTROL	12,205	0.90	GLEON-AF-02-LED-E1-SL2-HSS	HAPCO	ROUND TAPERED STEEL POLE	30'	RTS-30-B-68-4-BA-D190-VDA
⊖	R	5	EATON - MCGRAW-EDISON	GLEON GALLEON LED	POLE MOUNTED DOUBLE HEADS AREA LIGHT FIXTURE; COLOR - BLACK	40'	333W LED	TYPE V SQUARE WIDE	38,360	0.90	GLEON-AF-06-LED-E1-SWQ	HAPCO	ROUND TAPERED STEEL POLE	37'	RTS-39-B-80-4-BA-D190-VDA (FACTORY CUT TO 37')
⊖	S	1	EATON - MCGRAW-EDISON	GLEON GALLEON LED	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR - BLACK	30'	558W LED	TYPE IV FORWARD	60,631	0.90	GLEON-AF-10-LED-E1-4FT	HAPCO	ROUND TAPERED STEEL POLE	30'	RTS-30-B-68-4-BA-D190-VDA
⊖	T	20	EATON - MCGRAW-EDISON	GLEON GALLEON LED	WALL MOUNTED AREA LIGHT FIXTURE; COLOR - BLACK	20' ABOVE FFE	333W LED	TYPE II W/SPILL CONTROL	35,677	0.90	GLEON-AF-08-LED-E1-SL2-HSS-BK-WM	N.A	N.A	N.A	N.A
⊖	U	11	EATON - MCGRAW-EDISON	GLEON GALLEON LED	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR - BLACK	40'	333W LED	TYPE IV W/SPILL CONTROL	34,605	0.90	GLEON-AF-08-LED-E1-SL4-HSS	HAPCO	ROUND TAPERED STEEL POLE	37'	RTS-39-B-80-4-BA-D190-VDA (FACTORY CUT TO 37')
⊖	V	2	EATON - MCGRAW-EDISON	GLEON GALLEON LED	POLE MOUNTED DOUBLE HEADS AREA LIGHT FIXTURE; COLOR - BLACK	40'	333W LED	TYPE III ROADWAY	74,470	0.90	GLEON-AF-06-LED-E1-3R	HAPCO	ROUND TAPERED STEEL POLE	37'	RTS-39-B-80-4-BA-D218-VDA (FACTORY CUT TO 37')
⊖	W	37	EATON - MCGRAW-EDISON	GLEON GALLEON LED	WALL MOUNTED AREA LIGHT FIXTURE; COLOR - BLACK	20' ABOVE FFE	445W LED	TYPE IV FORWARD	49,093	0.90	GLEON-AF-08-LED-E1-4FT-BK-WM	N.A	N.A	N.A	N.A
⊖	X	4	EATON - MCGRAW-EDISON	GLEON GALLEON LED	WALL MOUNTED AREA LIGHT FIXTURE; COLOR - BLACK	20' ABOVE FFE	445W LED	TYPE II W/SPILL CONTROL	47,807	0.90	GLEON-AF-08-LED-E1-SL2-HSS-BK-WM	N.A	N.A	N.A	N.A
⊖	Y	2	EATON - MCGRAW-EDISON	GLEON GALLEON LED	POLE MOUNTED DOUBLE HEADS AREA LIGHT FIXTURE; COLOR - BLACK	30'	225W LED	TYPE II W/SPILL CONTROL	24,082	0.90	GLEON-AF-04-LED-E1-SL2-HSS	HAPCO	ROUND TAPERED STEEL POLE	30'	RTS-30-B-68-4-BA-D190-VDA

NOTE:
1. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING VOLTAGES.
2. ALL POLES OVER 25FT SHALL BE BLACK FINISH AND INCLUDE FACTORY INSTALLED VIBRATION DAMPENERS.

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Date	Description	No.
Revisions		
Signature	MICHAEL SZURA LICENSED LANDSCAPE ARCHITECT STATE LIC. NO. 00152	Date
Langan Engineering and Environmental Services, Inc. 888 Boylston Street, Ste 510 Boston, MA 02199 T: 617.824.9100 F: 617.824.9101 www.langan.com		
Project		
HUDSON LOGISTICS CENTER MAP No. 239, LOT No. 1		
HUDSON NEW HAMPSHIRE		
Drawing Title		
LIGHTING NOTES AND DETAILS I		
Project No.	DRAWING	
151010101	LL501	
Date		
04-21-2020		
Drawn By	YW	
Checked By	MH	



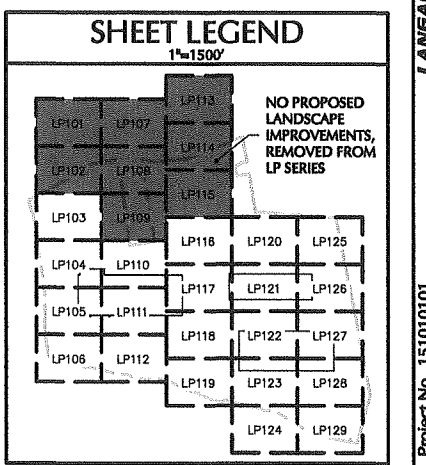
PLANT SCHEDULE


KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
SHADE TREE(S)						
AR	39	ACER RUBRUM	RED MAPLE	2 1/2-3" CAL.	B+B	-
ASB	30	ACER SACCHARUM BONFIRE	BONFIRE SUGAR MAPLE	2 1/2-3" CAL.	B+B	-
GB	54	GINKGO BILOBA	MAIDENHAIR TREE GINKO	2 1/2-3" CAL.	B+B	-
GTSB	52	GLEDITSIA TRIACANTHOS INERMIS 'SUNBURST'	SUNBURST HONEY LOCUST	2 1/2-3" CAL.	B+B	-
LST	46	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM	2 1/2-3" CAL.	B+B	-
NS	49	NYSSA SYLVATICA	SOURGUM OR TUPELO	2 1/2-3" CAL.	B+B	-
PLO	65	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	2 1/2-3" CAL.	B+B	-
QR	63	QUERCUS RUBRA	RED OAK	2 1/2-3" CAL.	B+B	-
TCG	54	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2 1/2-3" CAL.	B+B	-
EVERGREEN TREE(S)						
JV	72	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8-10'	B+B	-
PIAB	74	PICEA ABIES	NORWAY SPRUCE	8-10'	B+B	-
PM	76	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	8-10'	B+B	-
PS	72	PINUS STROBUS	EASTERN WHITE PINE	8-10'	B+B	-
EVERGREEN SHRUB(S)						
JGS	117	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24-30"	CONTAINER	-
JHBH	88	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	15-18" SPRD.	CONTAINER	-
MP	385	MYRTICA PENNSYLVANICA	NORTHERN BAYBERRY	30-36"	CONTAINER	-
DECIDUOUS SHRUB(S)						
AAB	378	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	RED CHOKEBERRY	3-4'	CONTAINER	-
CAH	517	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	SWEET PEPPERBUSH	18-24"	CONTAINER	-
CS	348	CORNUS SERICEA (FORMERLY STOLONIFERA)	RED OSIER DOGWOOD	2-3'	CONTAINER	-
CSF	227	CORNUS SERICEA 'FLAVRAMEA'	YELLOW TWIG DOGWOOD	2-3'	CONTAINER	-
FG	459	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	18-24"	CONTAINER	-
HVCW	367	HAMAMELUS VIRGINIANA	COMMON WITCHHAZEL	3-4'	CONTAINER	-
IWR	148	ILEX VERTICILLATA 'WINTER RED'	WINTER RED WINTERBERRY HOLLY	30-36"	CONTAINER	-
RAG	189	RHUS AROMATICA 'GRO LOW'	GRO LOW FRAGRANT SUMAC	3 GAL.	CONTAINER	-
VD	378	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	3-4'	CONTAINER	-
GROUND COVER						
NRW	1204	NEPETA RACEMOSA 'WALKER'S LOW'	WALKER'S LOW CATMINT	2 GAL.	CONTAINER	spaced @ 24" o.c.
ORNAMENTAL GRASS(ES)						
HMA	3077	HAKONECHLOA MACRA 'AUREOLA'	GREEN HAKONE GRASS	1 GAL.	CONTAINER	spaced @ 15" o.c.
MSML	221	MISCHANTHUS SINENSIS 'MORNING LIGHT'	SILVER VARIEGATED MAIDEN GRASS	2 GAL.	CONTAINER	-
PVS	224	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	2 GAL.	CONTAINER	-

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

ORDINANCE COMPLIANCE CHART

SECTION	REQUIRED / PERMITTED	PROVIDED / PROPOSED	COMPLIANCE
275-8(7a)	A MINIMUM OF 10% OF THE INTERIOR OF A PARKING LOT SHALL BE SET ASIDE FOR LANDSCAPING AREAS EXCLUSIVE OF PAVED PEDESTRIAN SURFACES.	LOT A- TOTAL AREA: 410,827 SQ FT INTERIOR LANDSCAPED AREA: 41,100 SQ FT LOT B- TOTAL AREA: 179,124 SQ FT INTERIOR LANDSCAPED AREA: 18,648 SQ FT LOT C NORTH- TOTAL AREA: 104,933 SQ FT INTERIOR LANDSCAPED AREA: 11,671 SQ FT LOT C SOUTH- TOTAL AREA: 107,721 SQ FT INTERIOR LANDSCAPED AREA: 11,928 SQ FT	COMPLIES
275-8(7c)	A MINIMUM OF ONE SHADE TREE SHALL BE PLANTED PER 1,600 SQUARE FEET OF PAVED AREA, OR ONE SHADE TREE PER EVERY FIVE PARKING SPACES, WHICHEVER IS GREATER.	LOT A- TOTAL PAVED AREA: 370,325 SQ FT / 1,600 SQ FT = 232 TREES LOT B- TOTAL PAVED AREA: 160,476 SQ FT / 1,600 SQ FT = 101 TREES LOT C NORTH- TOTAL PAVED AREA: 93,262 SQ FT / 1,600 SQ FT = 59 TREES LOT C SOUTH- TOTAL PAVED AREA: 95,793 SQ FT / 1,600 SQ FT = 60 TREES TOTAL SHADE TREES REQUIRED: 452 TREES TOTAL SHADE TREES PROVIDED: 452 TREES	COMPLIES
275-8(7d)	ONE SHRUB PER 200 SQUARE FEET OF PAVED AREA SHALL BE PLANTED OR 1.6 SHRUBS PER EVERY PARKING SPACE.	LOT A- TOTAL PAVED AREA: 370,325 SQ FT / 200 SQ FT = 1,852 SHRUBS LOT B- TOTAL PAVED AREA: 160,476 SQ FT / 200 SQ FT = 803 SHRUBS LOT C NORTH- TOTAL PAVED AREA: 93,262 SQ FT / 200 SQ FT = 467 SHRUBS LOT C SOUTH- TOTAL PAVED AREA: 95,793 SQ FT / 200 SQ FT = 479 SHRUBS TOTAL SHRUBS REQUIRED: 3,601 SHRUBS TOTAL SHRUBS PROVIDED: 3,601 SHRUBS	COMPLIES
275-8(8b)	SCREENING SHALL BE PROVIDED FOR VISUAL SEPARATION OF INCOMPATIBLE USES. SCREENING SHALL BE REQUIRED BETWEEN PARKING OR LOADING AREAS AND, IF PRESENT, AN ABUTTING RESIDENTIAL ZONE. SCREENING MAY ALSO BE REQUIRED BETWEEN ABUTTING NONRESIDENTIAL SITES. WHERE SCREENING IS REQUIRED, IT SHALL PROVIDE A REASONABLE EFFECTIVE VISUAL BUFFER BY NEW PLANTINGS.	EVERGREEN TREE SCREENING PLANTED AT 8-10' TALL AT RESIDENTIAL EDGE.	COMPLIES



Date	Description	No.
Revisions		
		
Signature	MICHAEL SZURA LICENSED LANDSCAPE ARCHITECT STATE LIC. No. 00152	Date

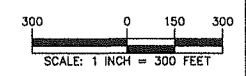
LANGAN
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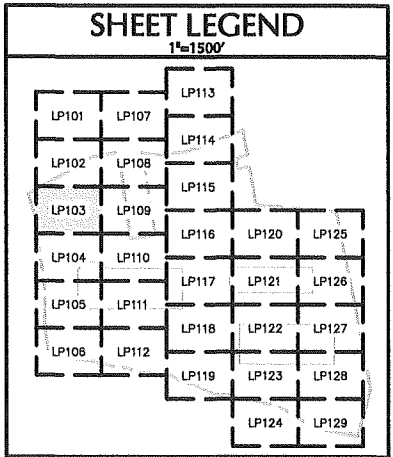
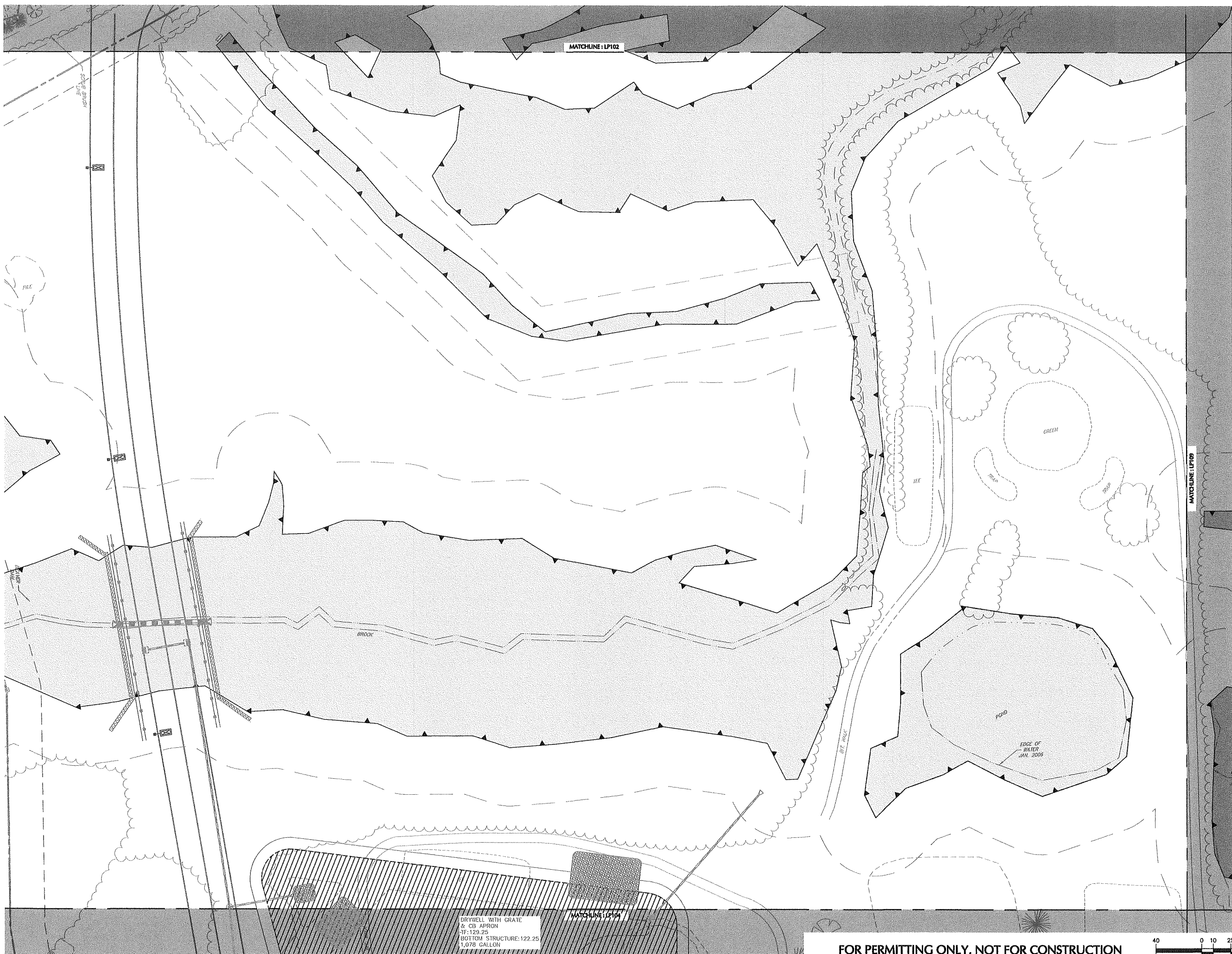
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE
Drawing Title

OVERALL PLANTING PLAN

Project No. 151010101	Drawing No. LP100
Date 04-21-2020	
Drawn By KK	
Checked By MH	

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Date	Description	No.
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Revisions

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 STATE LIC. No. 00152

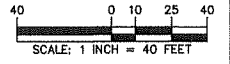
LANGAN
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Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

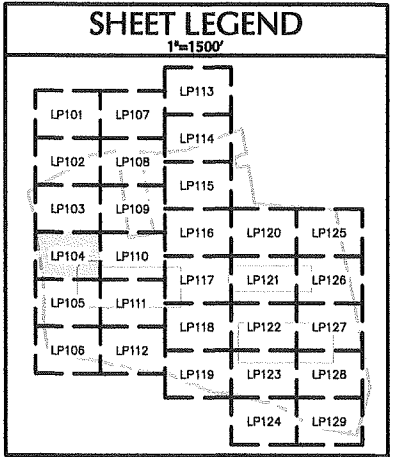
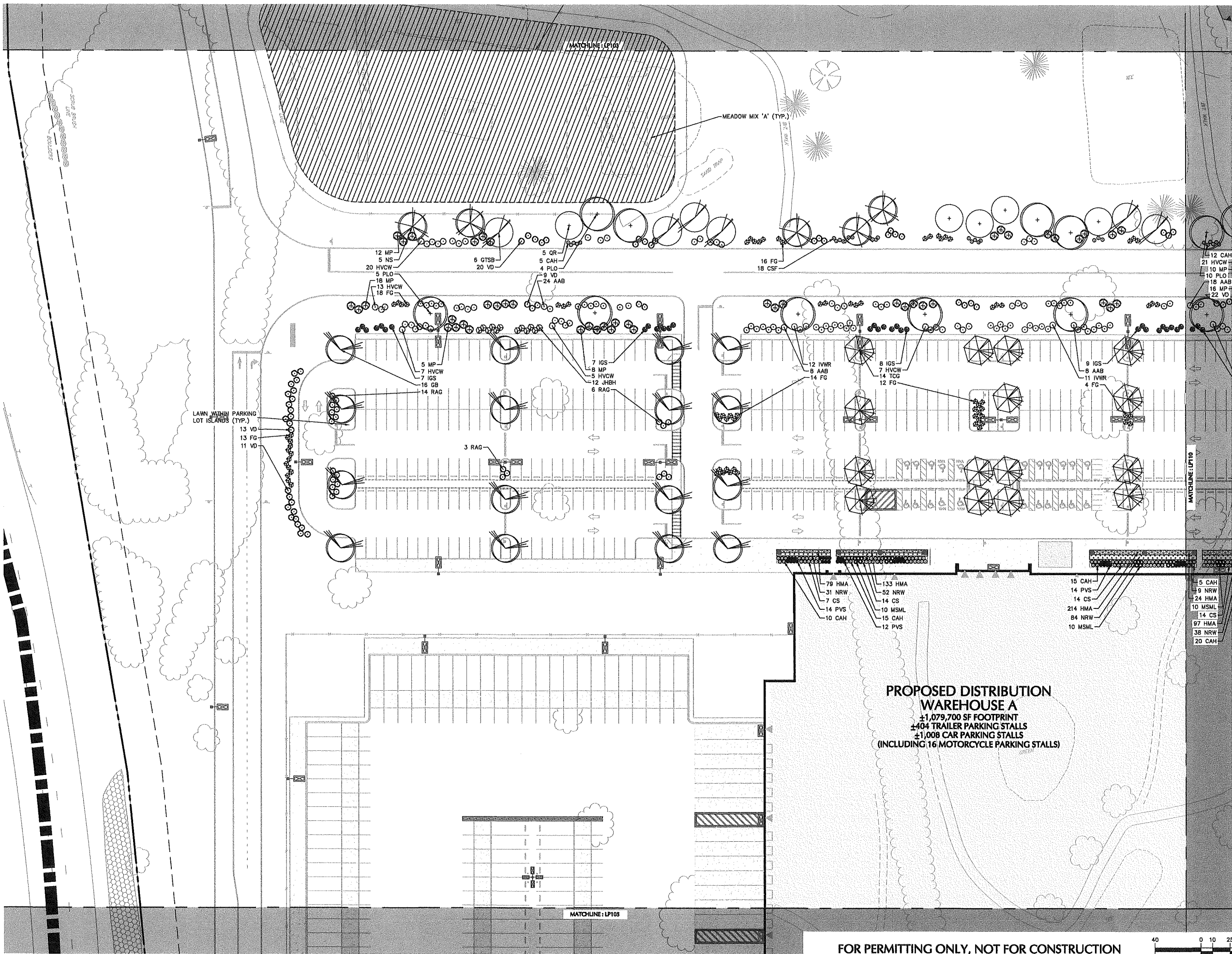
Drawing Title
LANDSCAPE PLANTING PLAN III

Project No. 151010101	Drawing No. LP103
Date 04-21-2020	
Drawn By KK	
Checked By MH	

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Project No. 151010101



Date	Description	No.
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Revisions



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LICENSED LANDSCAPE ARCHITECT
STATE LIC. NO. 00152

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Project

HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE

Drawing Title

LANDSCAPE PLANTING PLAN IV

Project No. 151010101 Drawing No.

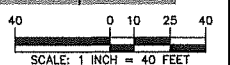
Date 04-21-2020

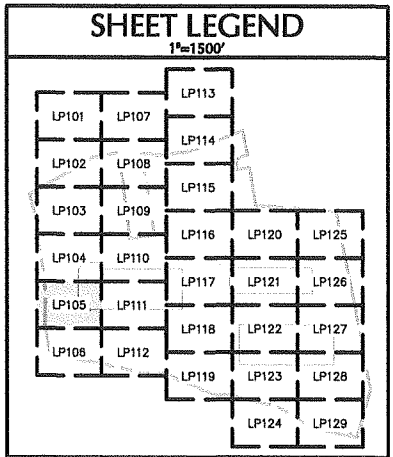
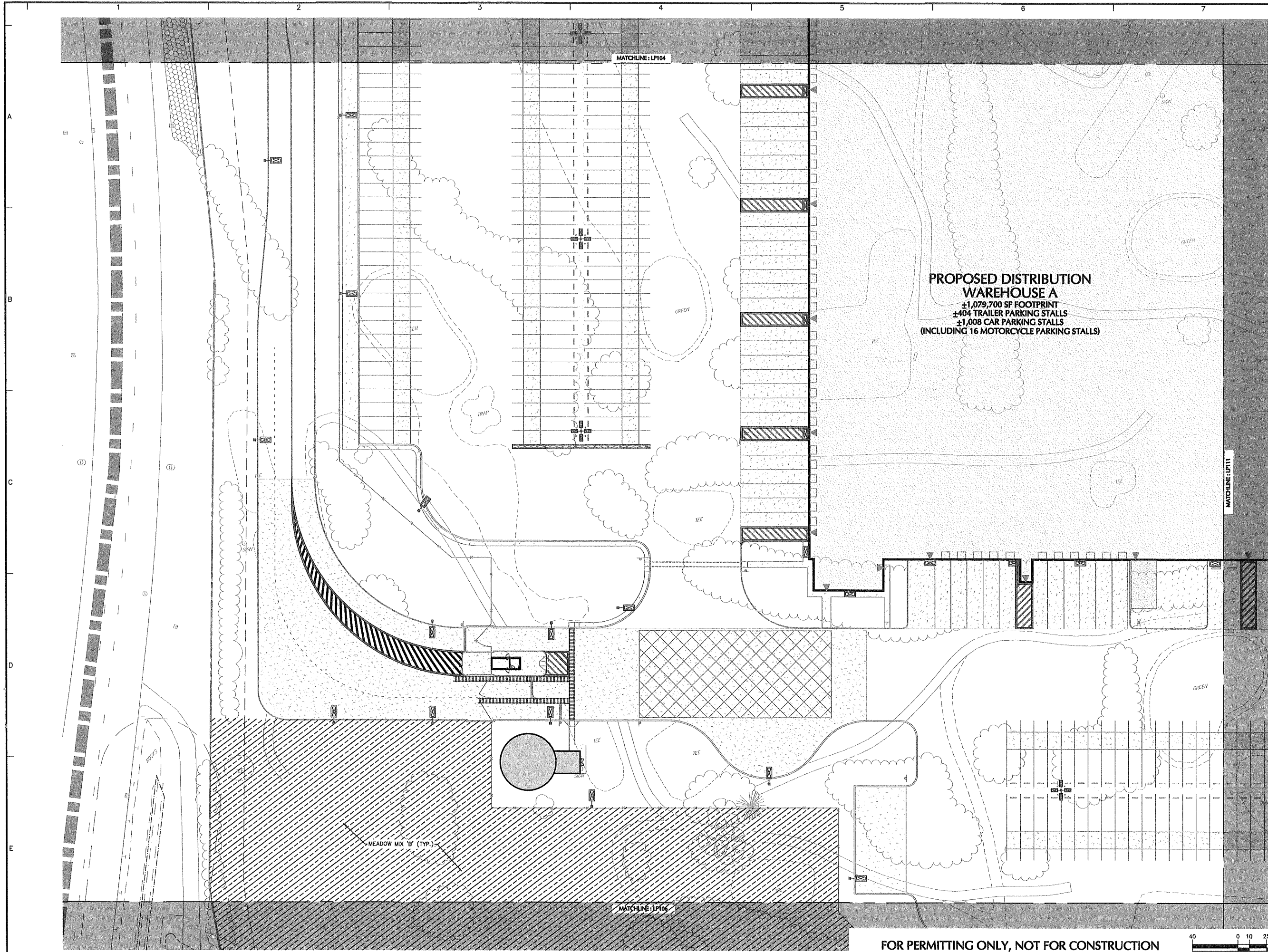
Drawn By KK

Checked By MH

LP104

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Date	Description	No.
Revisions		

Signature: MICHAEL SZURA
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Project

HUDSON LOGISTICS CENTER

MAP No. 239, LOT No. 1

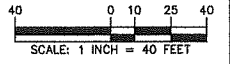
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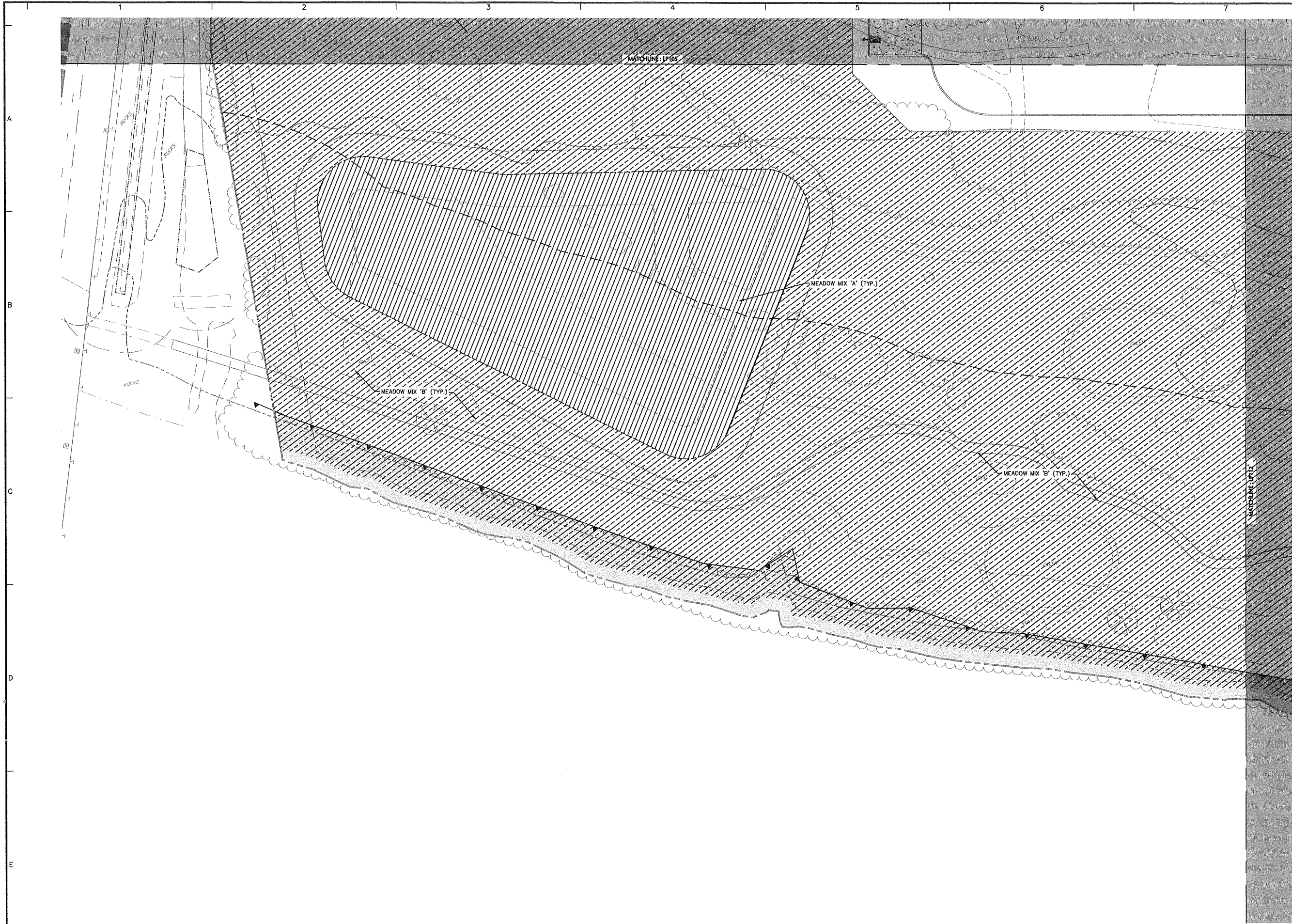
LANDSCAPE PLANTING PLAN

V

Project No. 151010101	Drawing No. LP105
Date 04-21-2020	
Drawn By KK	
Checked By MH	

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SHEET LEGEND
1"=1500'

LP101	LP107	LP113		
LP102	LP108	LP114		
LP103	LP109	LP115		
LP104	LP110	LP116	LP120	LP125
LP105	LP111	LP117	LP121	LP126
LP106	LP112	LP118	LP122	LP127
		LP119	LP123	LP128
			LP124	LP129

Date	Description	No.
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Revisions



Signature: MICHAEL SZURA
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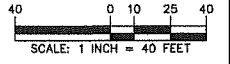
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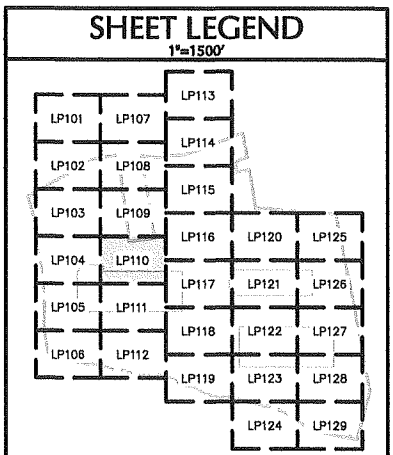
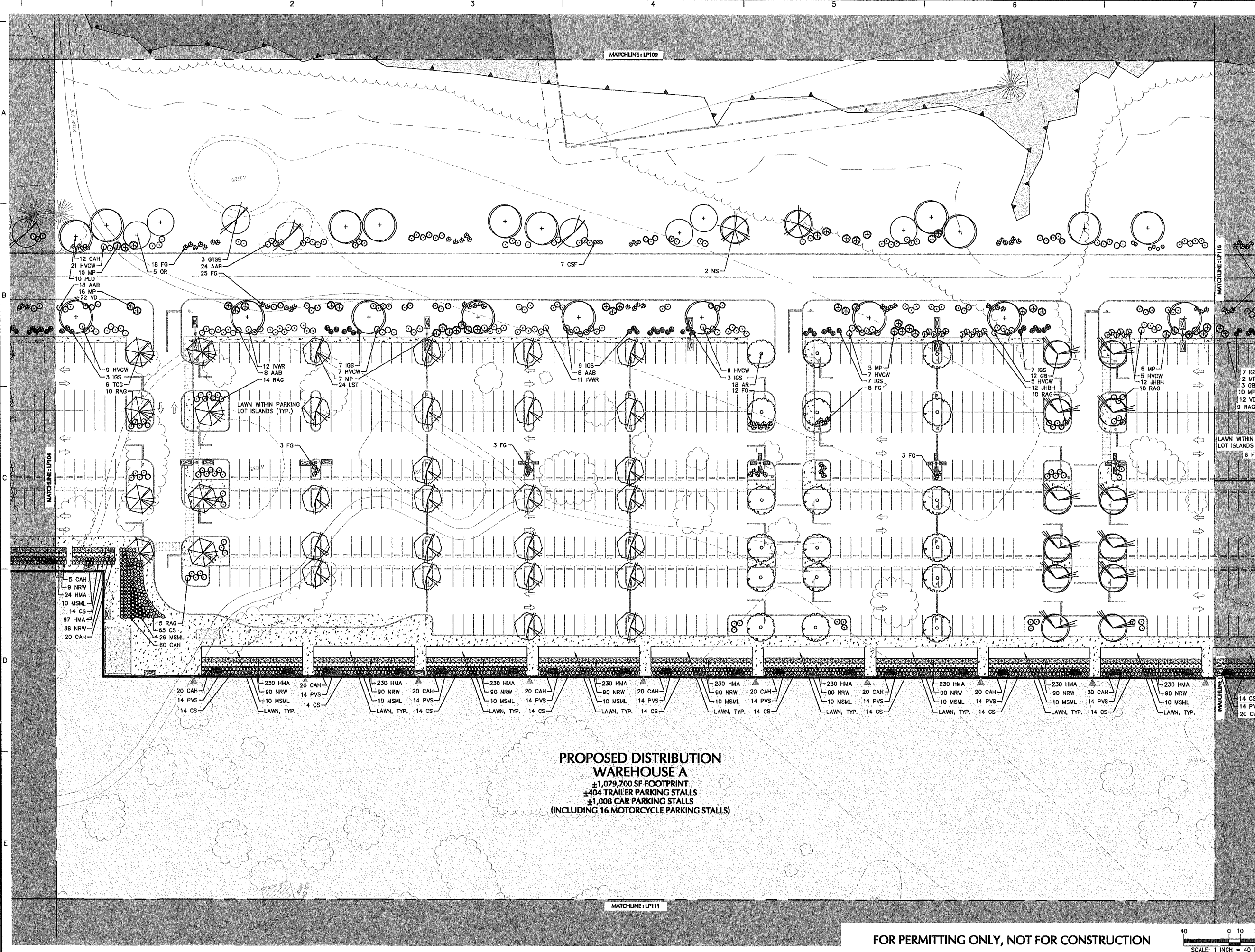
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

Drawing Title
LANDSCAPE PLANTING PLAN VI

Project No. 151010101	Drawing No. LP106
Date 04-21-2020	
Drawn By KK	
Checked By MH	

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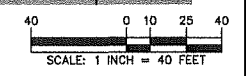
Project: **HUDSON LOGISTICS CENTER**
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

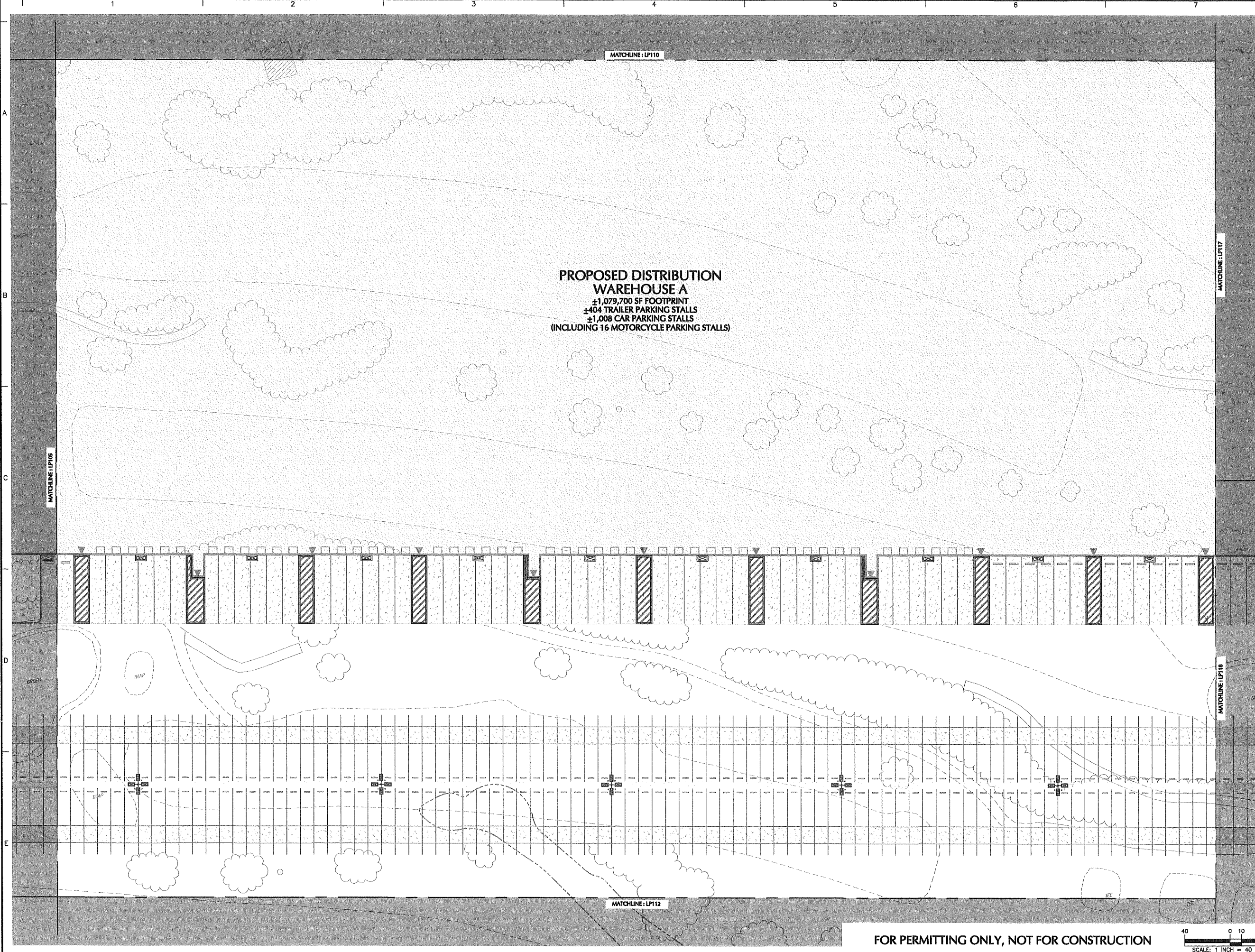
Drawing Title: **LANDSCAPE PLANTING PLAN X**

Project No. 151010101
 Date 04-21-2020
 Drawing No. **LP110**
 Drawn By: KK
 Checked By: MH

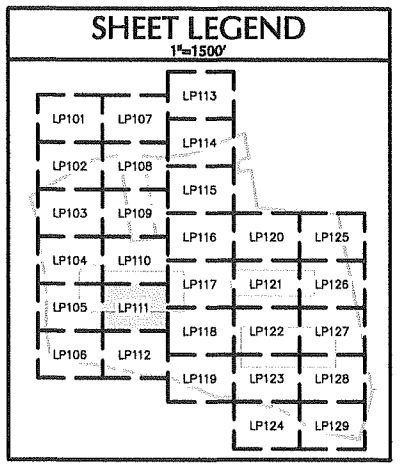
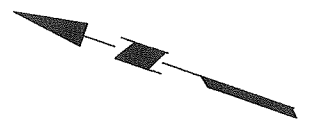
PROPOSED DISTRIBUTION WAREHOUSE A
 ±1,079,700 SF FOOTPRINT
 ±404 TRAILER PARKING STALLS
 ±1,008 CAR PARKING STALLS
 (INCLUDING 16 MOTORCYCLE PARKING STALLS)

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PROPOSED DISTRIBUTION WAREHOUSE A
 ±1,079,700 SF FOOTPRINT
 ±404 TRAILER PARKING STALLS
 ±1,008 CAR PARKING STALLS
 (INCLUDING 16 MOTORCYCLE PARKING STALLS)



Date	Description	No.
Revisions		

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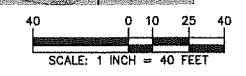
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 MAP No. 239, LOT No. 1
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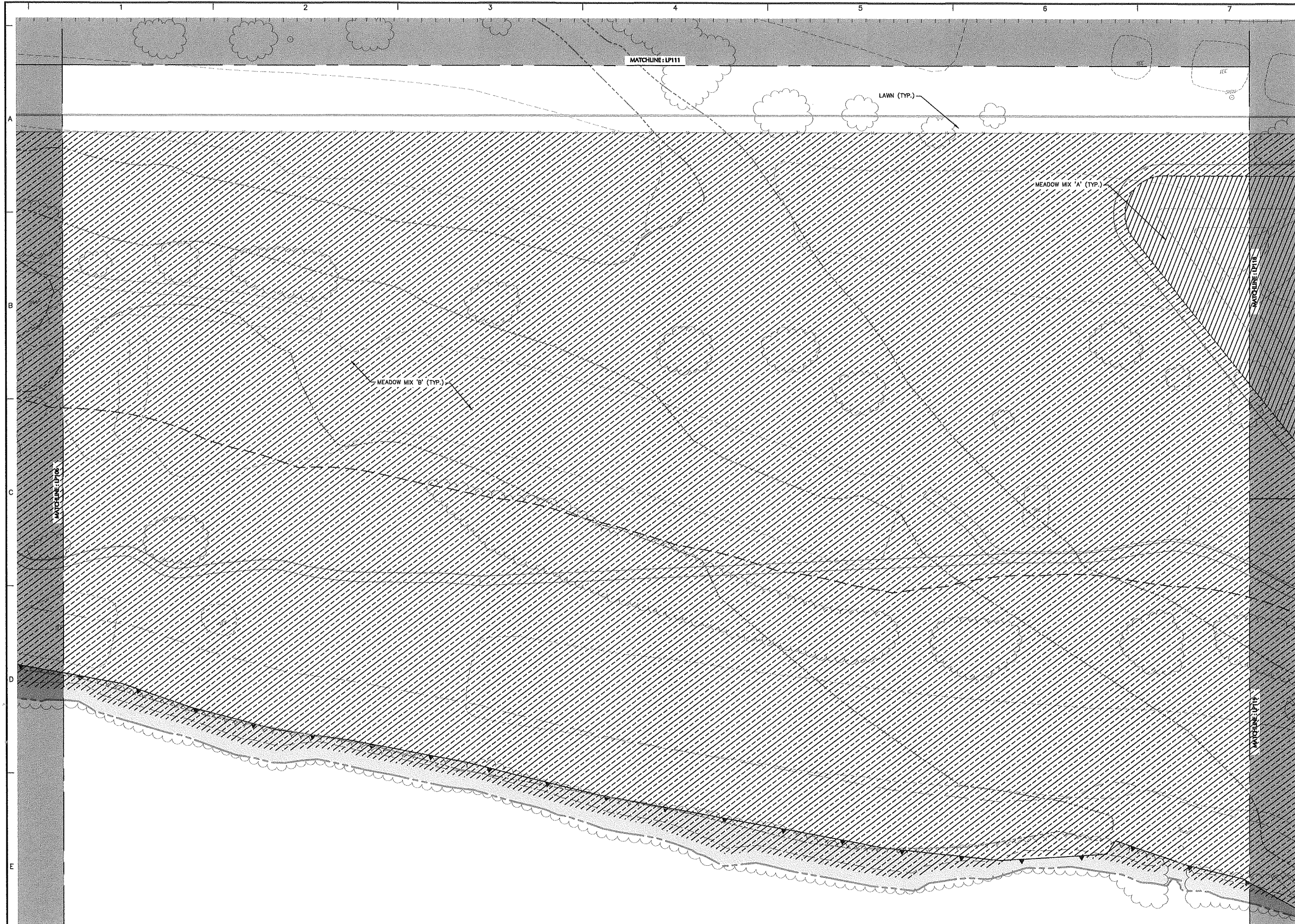
Drawing Title: **LANDSCAPE PLANTING PLAN XI**

Project No. 151010101	Drawing No. LP111
Date 04-21-2020	
Drawn By KK	
Checked By MH	

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Project No. 151010101 LANGAN © 2020 Langan



SHEET LEGEND
1"=1500'

LP101	LP107	LP113		
LP102	LP108	LP114		
LP103	LP109	LP115		
LP104	LP110	LP116	LP120	LP125
LP105	LP111	LP117	LP121	LP126
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		LP119	LP123	LP128
			LP124	LP129

Date	Description	No.
Revisions		


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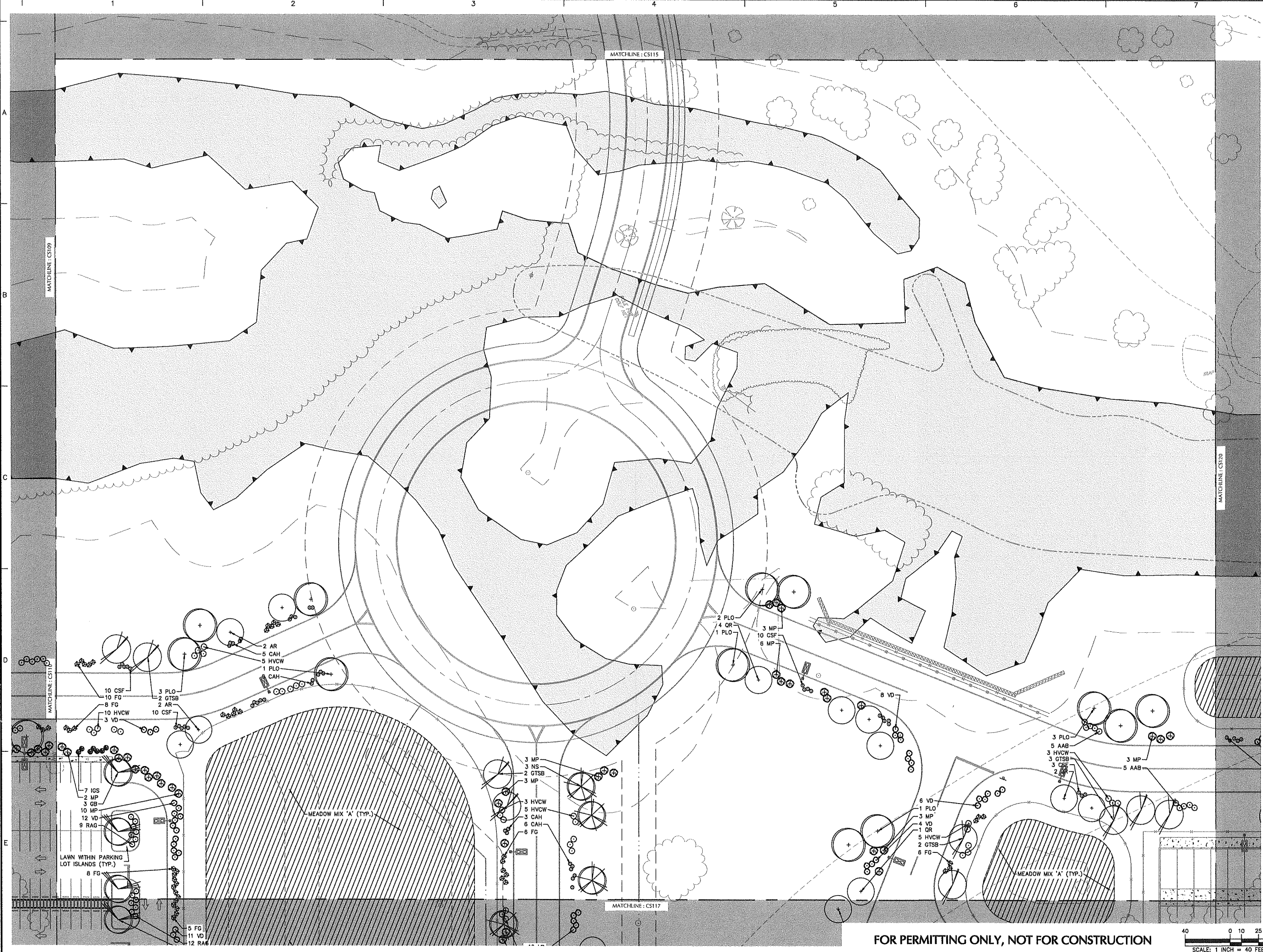
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

Drawing Title
LANDSCAPE PLANTING PLAN XII

Project No. 151010101	Drawing No. LP112
Date 04-21-2020	
Drawn By KK	
Checked By MH	

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SHEET LEGEND
1"=1500'

LP101	LP107	LP113		
LP102	LP108	LP114		
LP103	LP109	LP115		
LP104	LP110	LP116	LP120	LP125
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			LP124	LP129

Date	Description	No.
Revisions		

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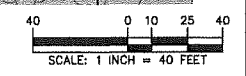
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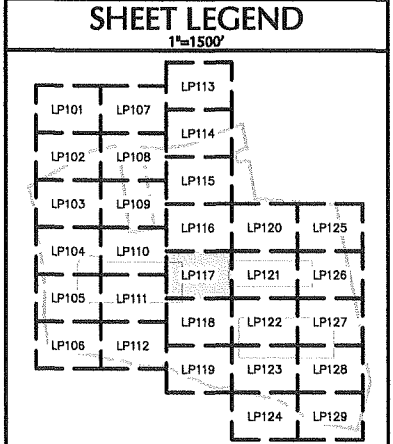
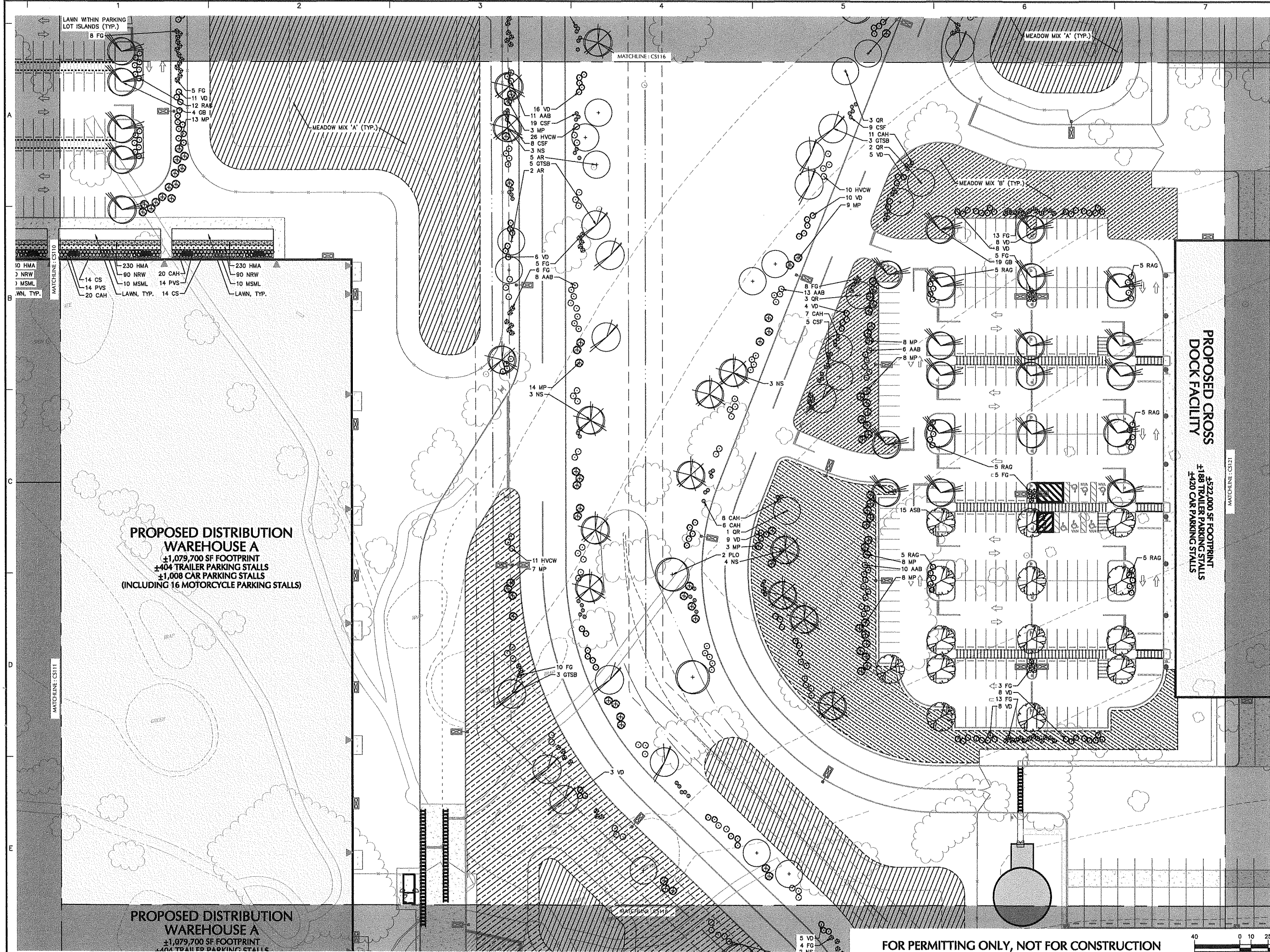
Project:
**HUDSON LOGISTICS
CENTER**
MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE

Drawing Title:
**LANDSCAPE
PLANTING PLAN
XVI**

Project No. 151010101	Drawing No. LP116
Date 04-21-2020	
Drawn By KK	
Checked By MH	

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Date	Description	No.
Revisions		

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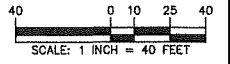
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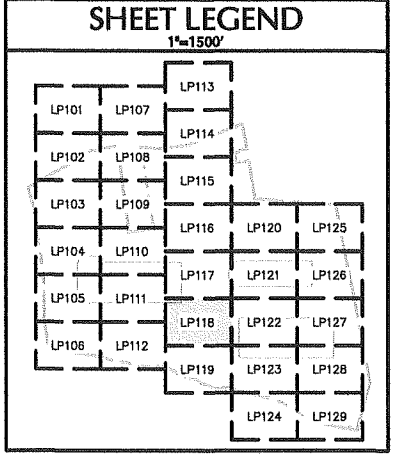
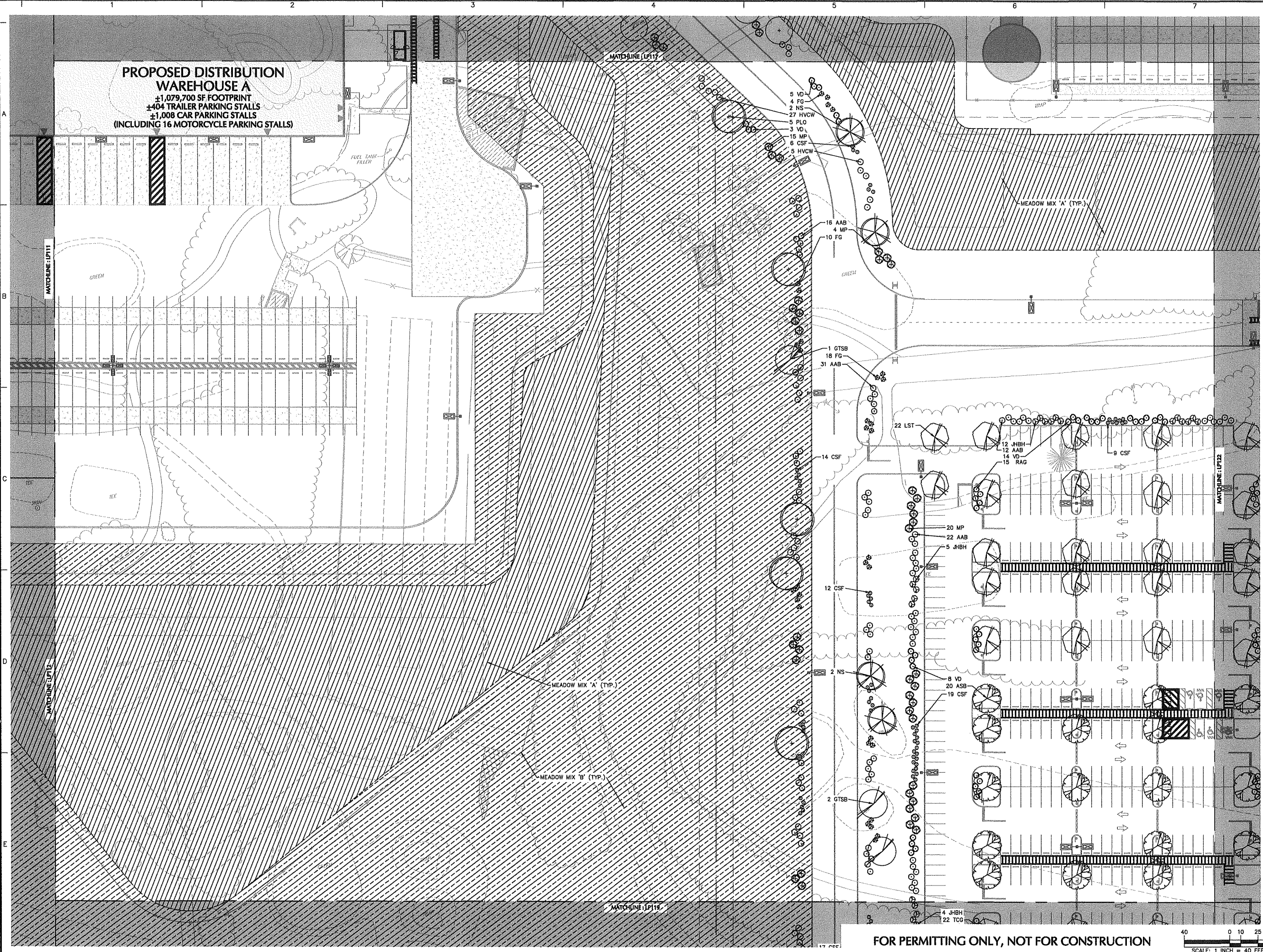
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
 Drawing Title
LANDSCAPE PLANTING PLAN XVII

Project No. 151010101	Drawing No. LP117
Date 04-21-2020	
Drawn By KK	
Checked By MH	

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Date	Description	No.
Revisions		

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 STATE LIC. No. 00152

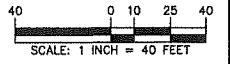
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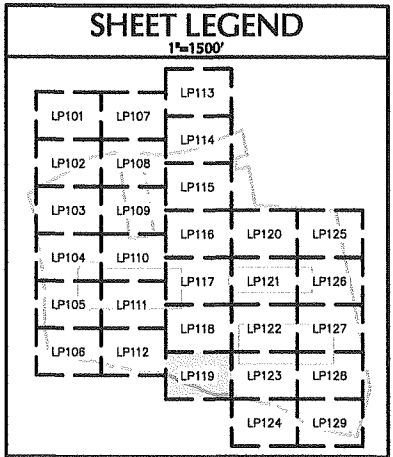
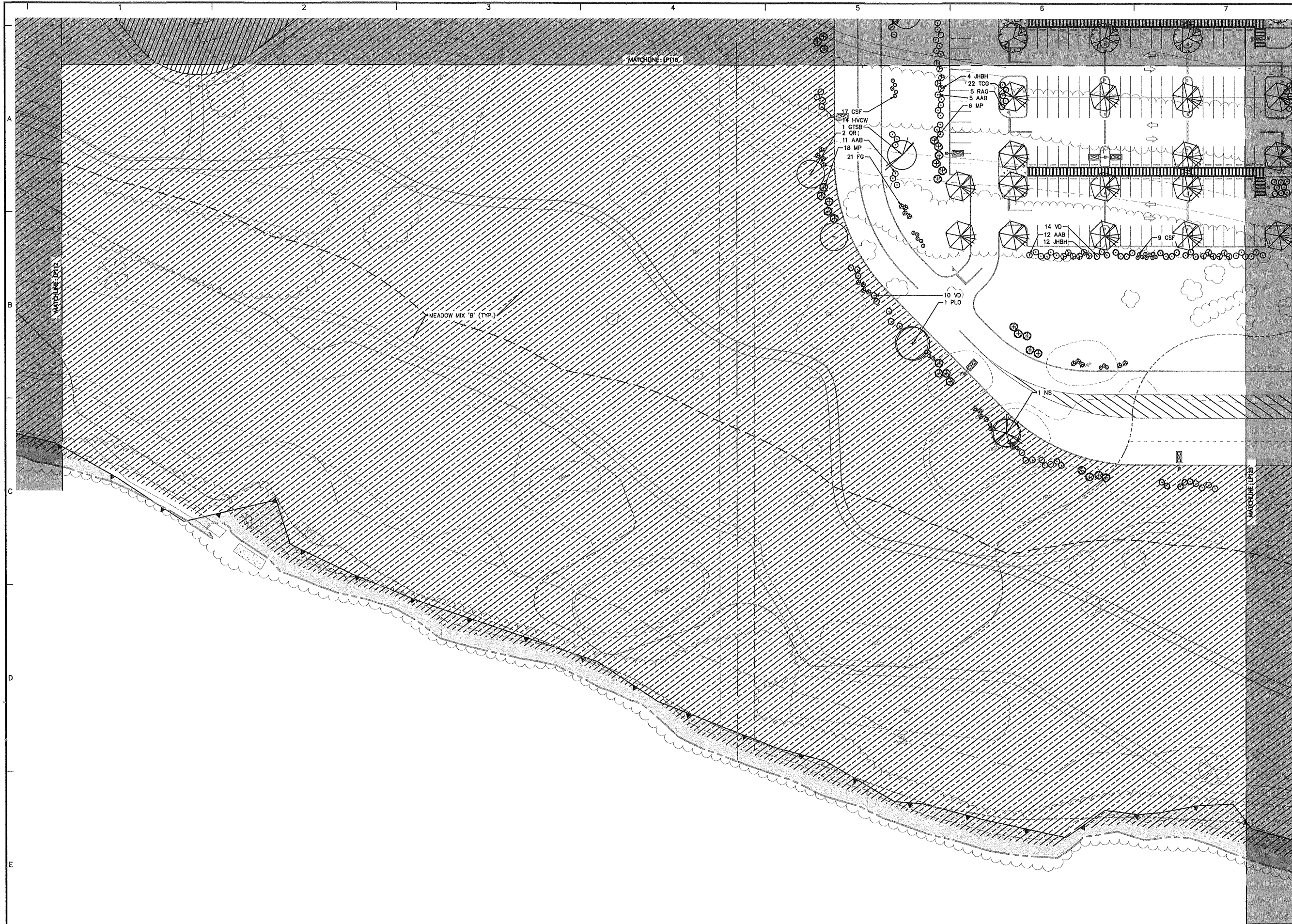
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
 Drawing Title
LANDSCAPE PLANTING PLAN XXVIII

Project No. 151010101	Drawing No. LP118
Date 04-21-2020	
Drawn By KK	
Checked By MH	

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Date	Description	No.
Revisions		

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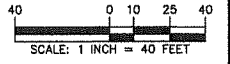
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Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE
 Drawing Title

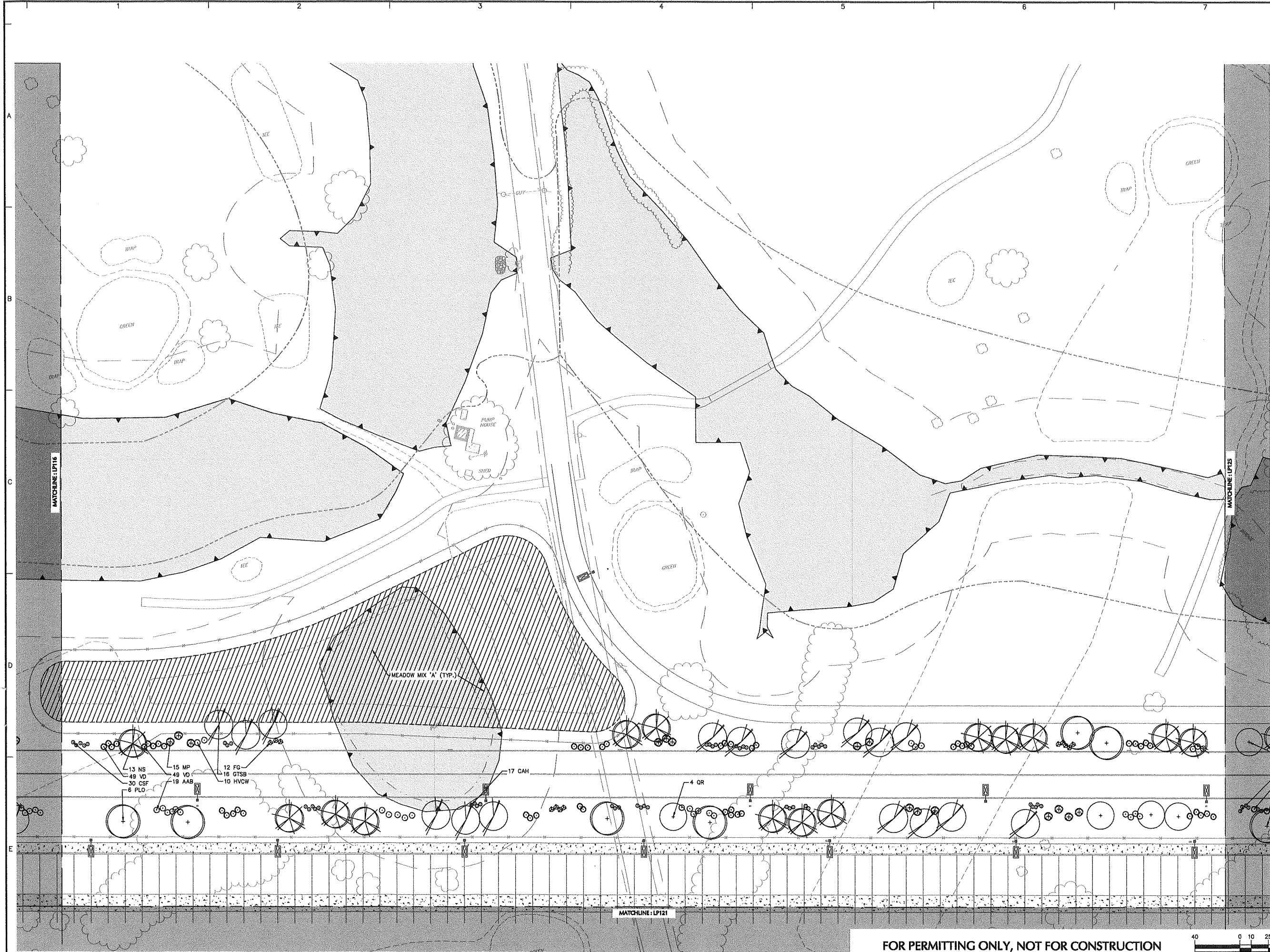
LANDSCAPE PLANTING PLAN XIX

Project No. 151010101	Drawing No. LP119
Date 04-21-2020	
Drawn By KK	
Checked By MH	

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Project No. 151010101



SHEET LEGEND
1"=1500'

LP101	LP107	LP113		
LP102	LP108	LP114		
LP103	LP109	LP115		
LP104	LP110	LP116	LP120	LP125
LP105	LP111	LP117	LP121	LP126
LP106	LP112	LP118	LP122	LP127
		LP119	LP123	LP128
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Date	Description	No.
Revisions		

Signature:  MICHAEL SZURA
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 STATE LIC. No. 00152

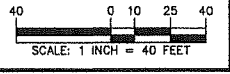
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Project
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 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

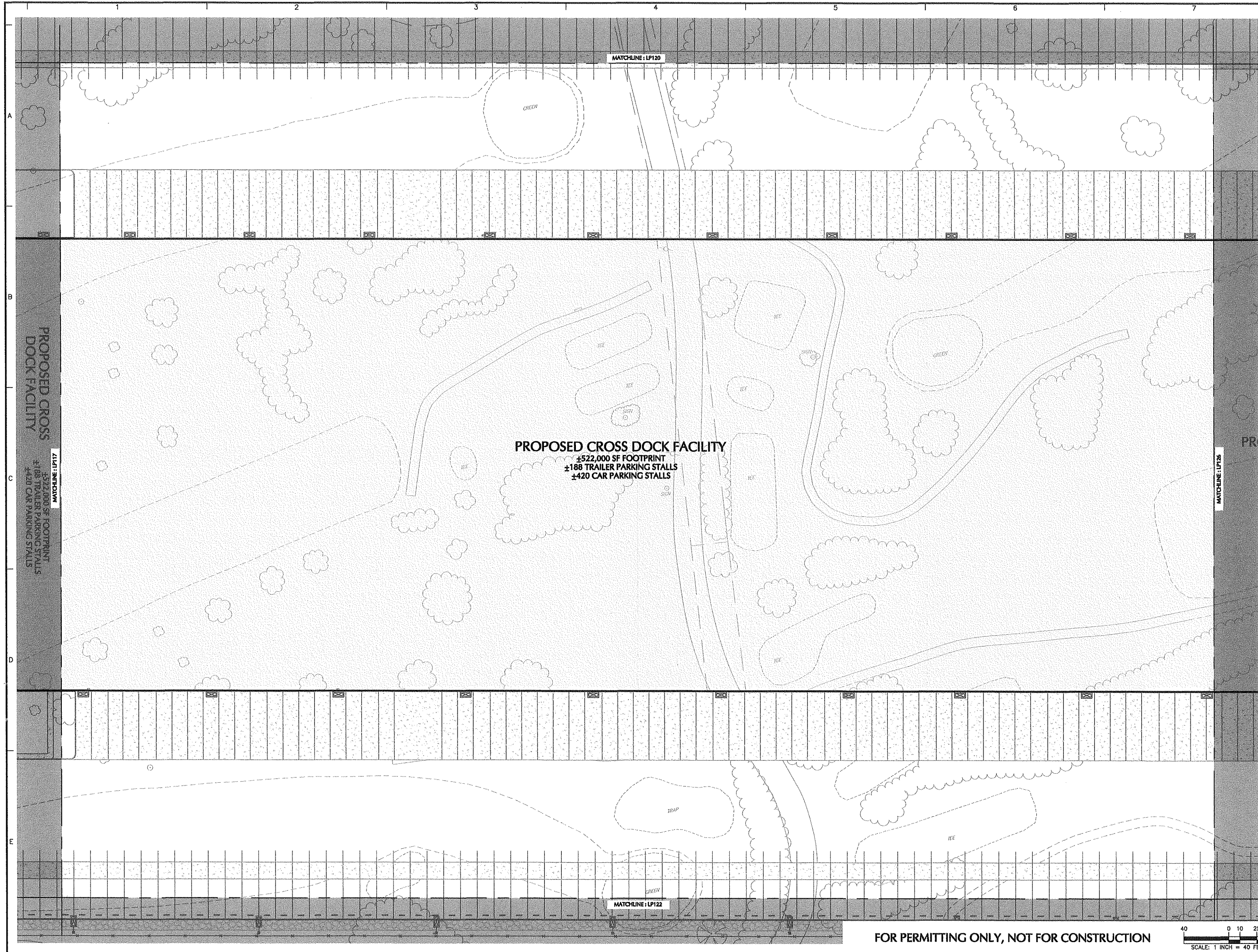
Drawing Title
LANDSCAPE PLANTING PLAN XX

Project No. 151010101	Drawing No. LP120
Date 04-21-2020	
Drawn By KK	
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Project No. 151010101

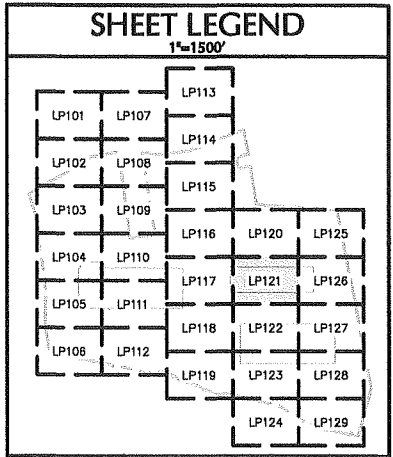
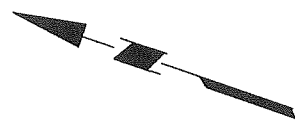


PROPOSED CROSS DOCK FACILITY
 ±188 TRAILER PARKING STALLS
 ±420 CAR PARKING STALLS
 MATCHLINE: LP117

PROPOSED CROSS DOCK FACILITY
 ±522,000 SF FOOTPRINT
 ±188 TRAILER PARKING STALLS
 ±420 CAR PARKING STALLS

MATCHLINE: LP120

MATCHLINE: LP122



Date	Description	No.
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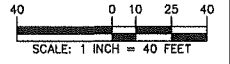
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Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1

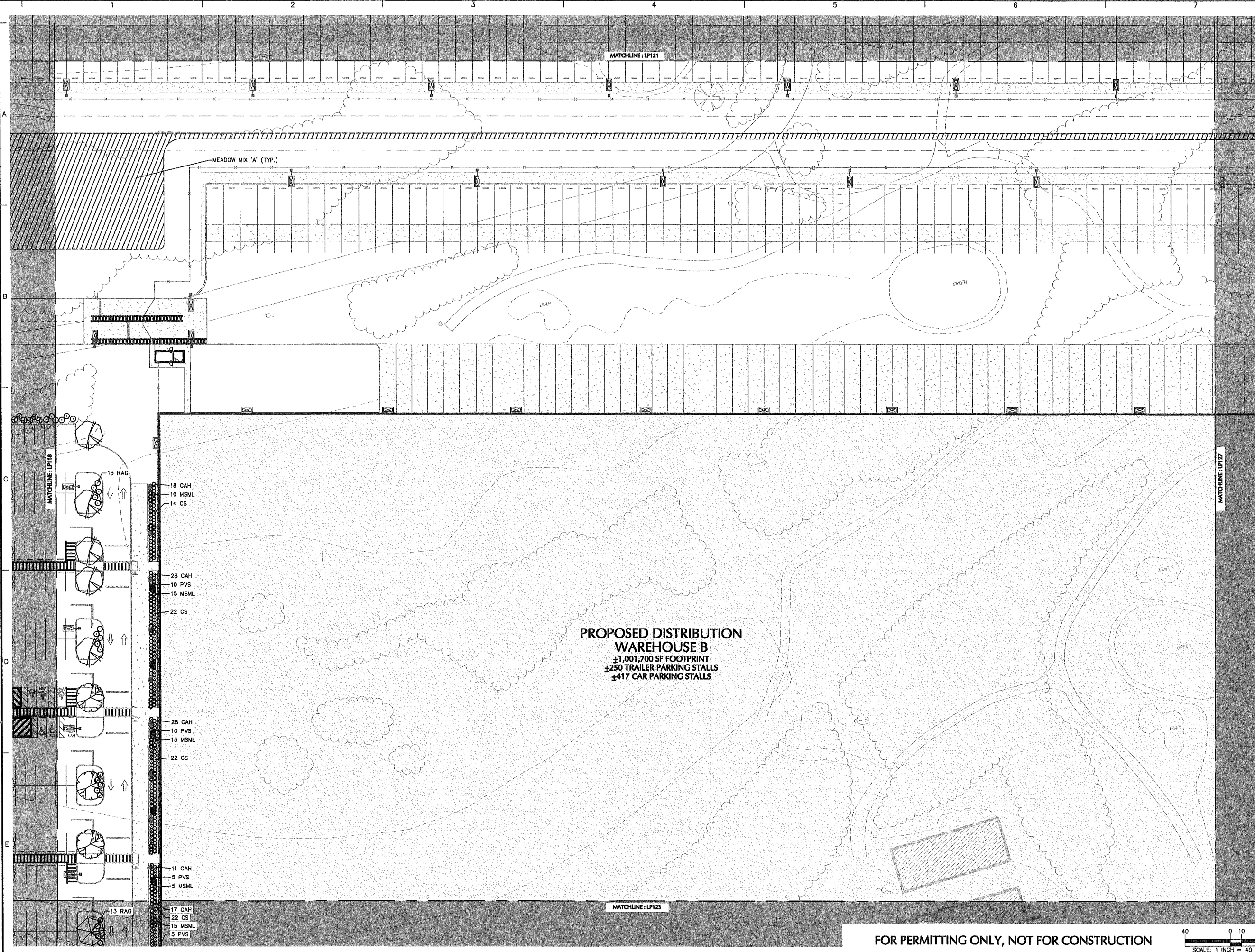
HUDSON NEW HAMPSHIRE
 Drawing Title
LANDSCAPE PLANTING PLAN XXI

Project No. 151010101	Drawing No. LP121
Date 04-21-2020	
Drawn By KK	
Checked By MH	

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SHEET LEGEND
1"=1500'

LP101	LP107	LP113		
LP102	LP108	LP114		
LP103	LP109	LP115		
LP104	LP110	LP116	LP120	LP125
LP105	LP111	LP117	LP121	LP126
LP108	LP112	LP118	LP122	LP127
		LP119	LP123	LP128
			LP124	LP129

Date	Description	No.
Revisions		

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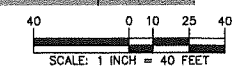
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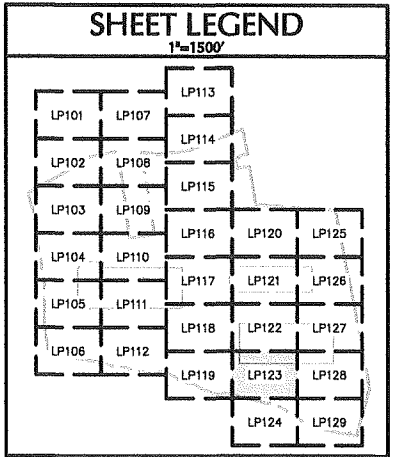
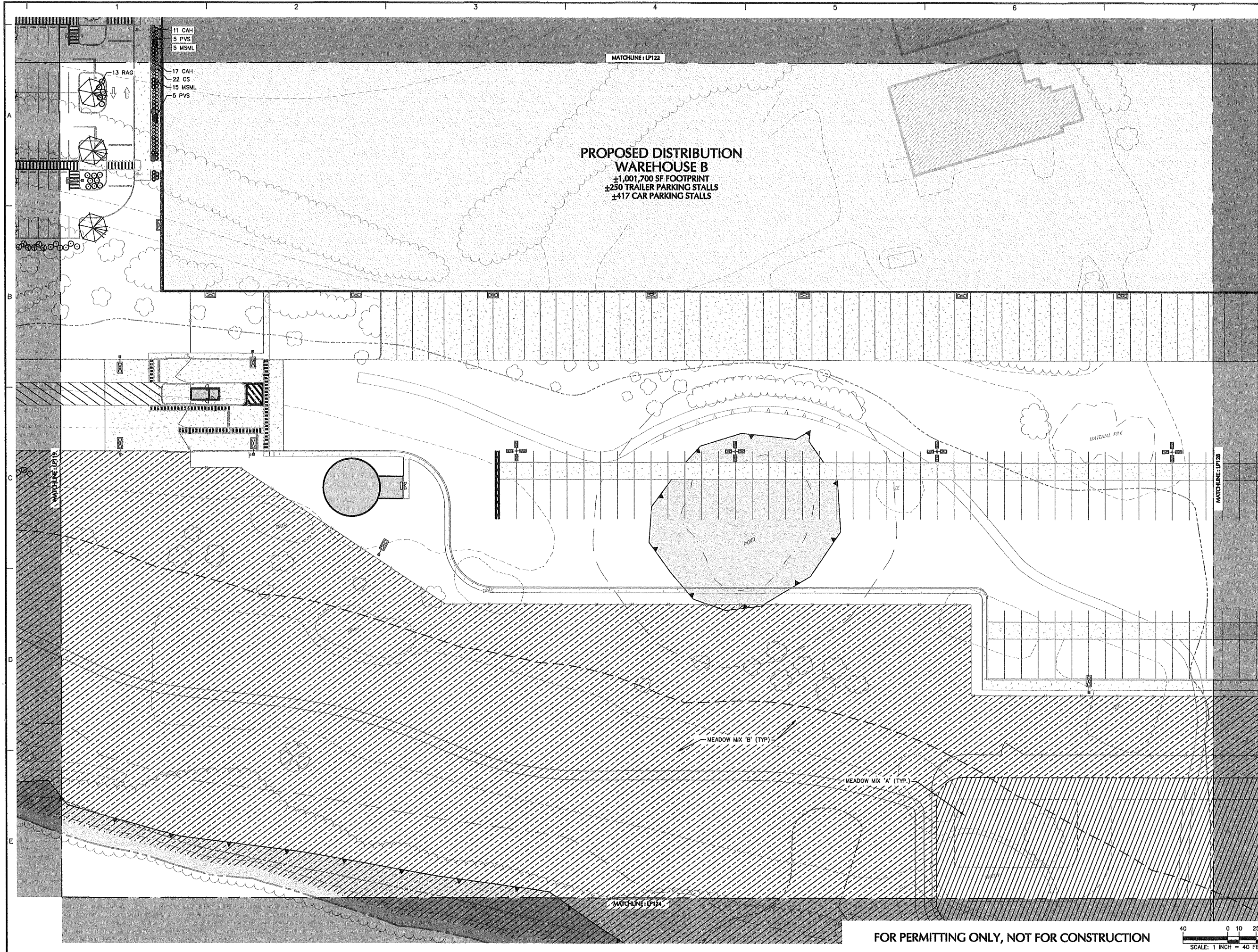
Project: **HUDSON LOGISTICS CENTER**
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

Drawing Title: **LANDSCAPE PLANTING PLAN XXII**

Project No. 151010101	Drawing No. LP122
Date 04-21-2020	
Drawn By KK	
Checked By MH	

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Date	Description	No.
Revisions		

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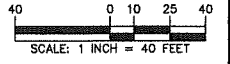
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Project
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 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

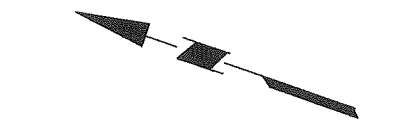
Drawing Title
LANDSCAPE PLANTING PLAN XXIII

Project No. 151010101	Drawing No. LP123
Date 04-21-2020	
Drawn By KK	
Checked By MH	

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SHEET LEGEND
1"=1500'

LP101	LP107	LP113		
LP102	LP108	LP114		
LP103	LP109	LP115		
LP104	LP110	LP116	LP120	LP125
LP105	LP111	LP117	LP121	LP126
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Date	Description	No.
Revisions		

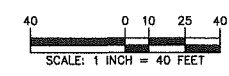
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Project
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 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

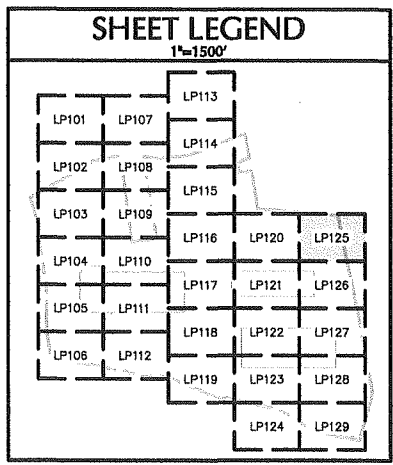
Drawing Title
LANDSCAPE PLANTING PLAN XXIV

Project No. 151010101	Drawing No. LP124
Date 04-21-2020	
Drawn By KK	
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Revisions		


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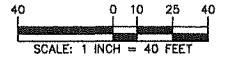
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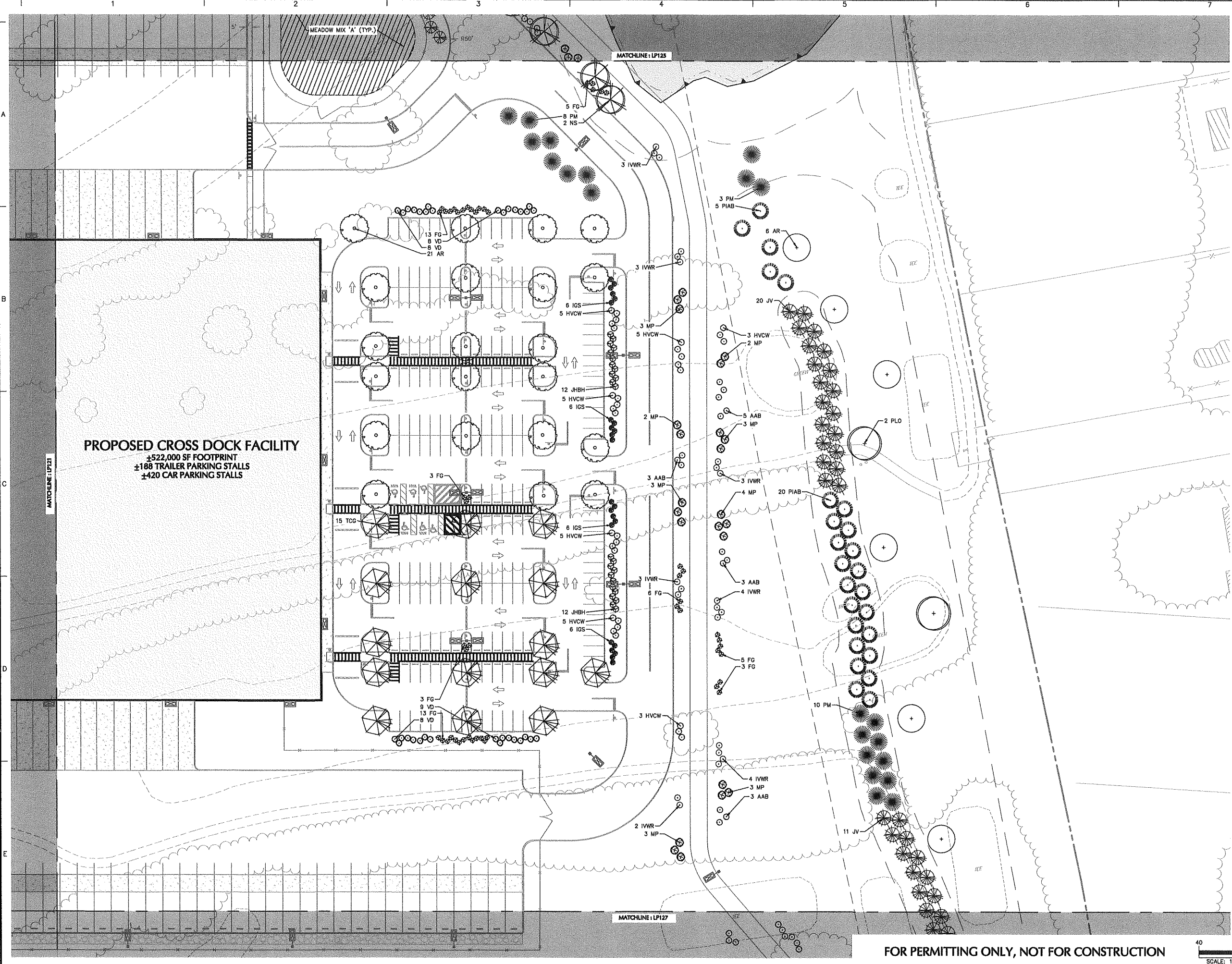
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

LANDSCAPE PLANTING PLAN XXV

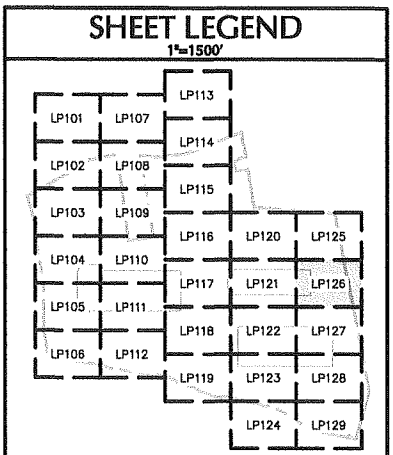
Project No. 151010101	Drawing No. LP125
Date 04-21-2020	
Drawn By KK	
Checked By MH	

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PROPOSED CROSS DOCK FACILITY
 ±522,000 SF FOOTPRINT
 ±188 TRAILER PARKING STALLS
 ±420 CAR PARKING STALLS



Date	Description	No.
Revisions		

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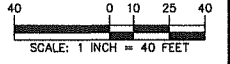
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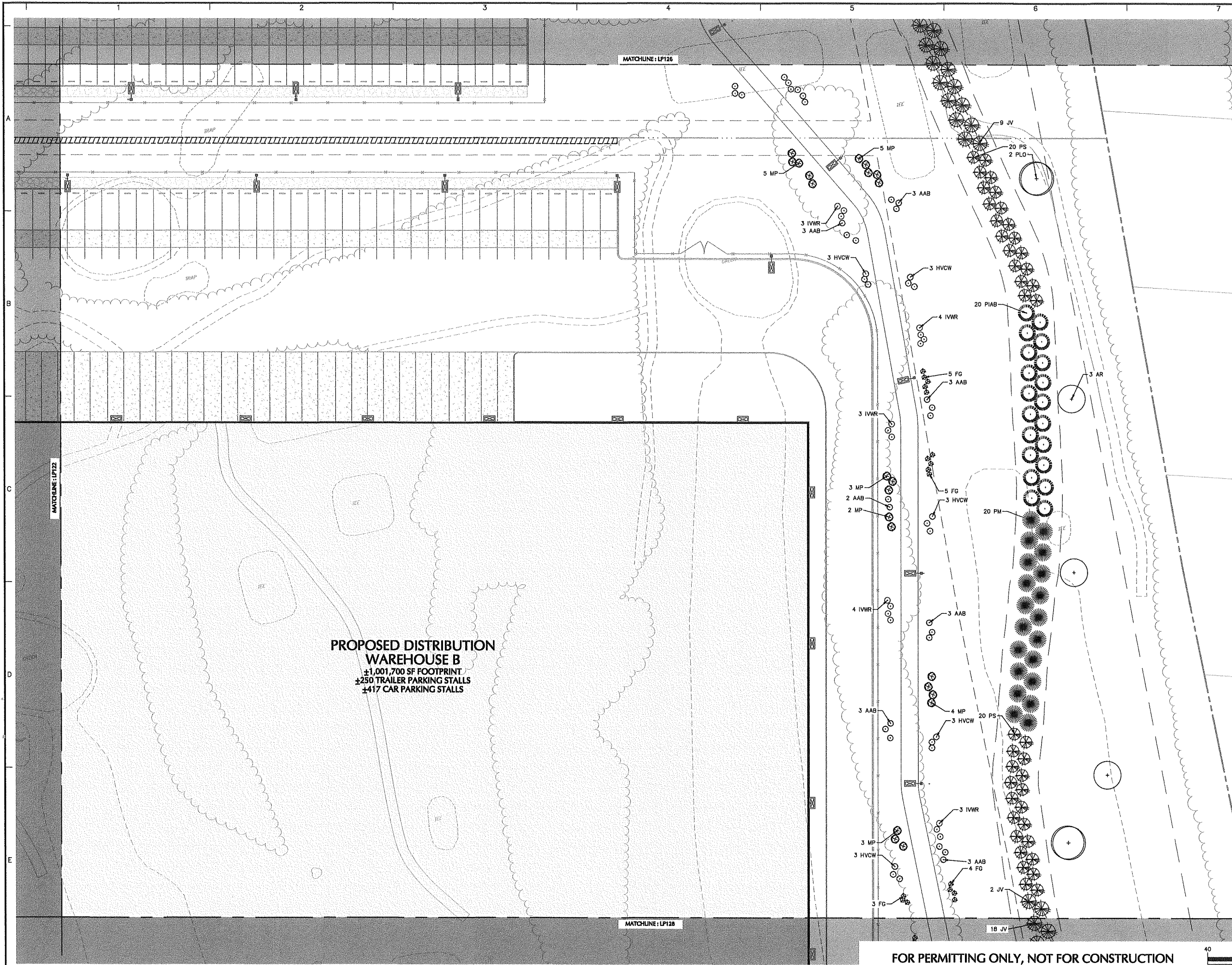
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

Drawing Title
LANDSCAPE PLANTING PLAN XXVI

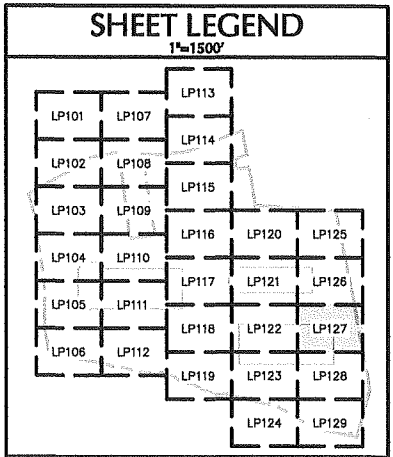
Project No. 151010101	DRAWING FIGURE LABEL
Date 04-21-2020	LP126
Drawn By KK	
Checked By MH	

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PROPOSED DISTRIBUTION WAREHOUSE B
 ±1,001,700 SF FOOTPRINT
 ±250 TRAILER PARKING STALLS
 ±117 CAR PARKING STALLS



Date	Description	No.
Revisions		
Signature	MICHAEL SZURA LICENSED LANDSCAPE ARCHITECT STATE LIC. No. 00152	Date

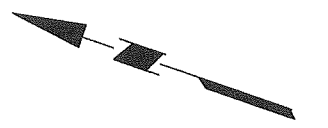
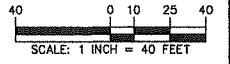
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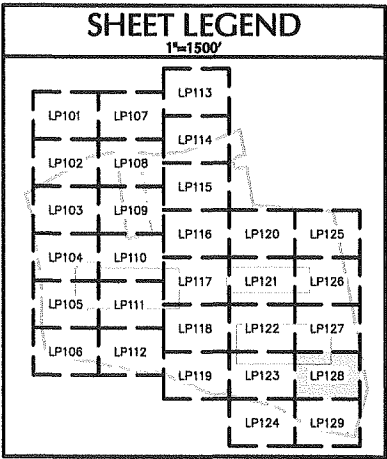
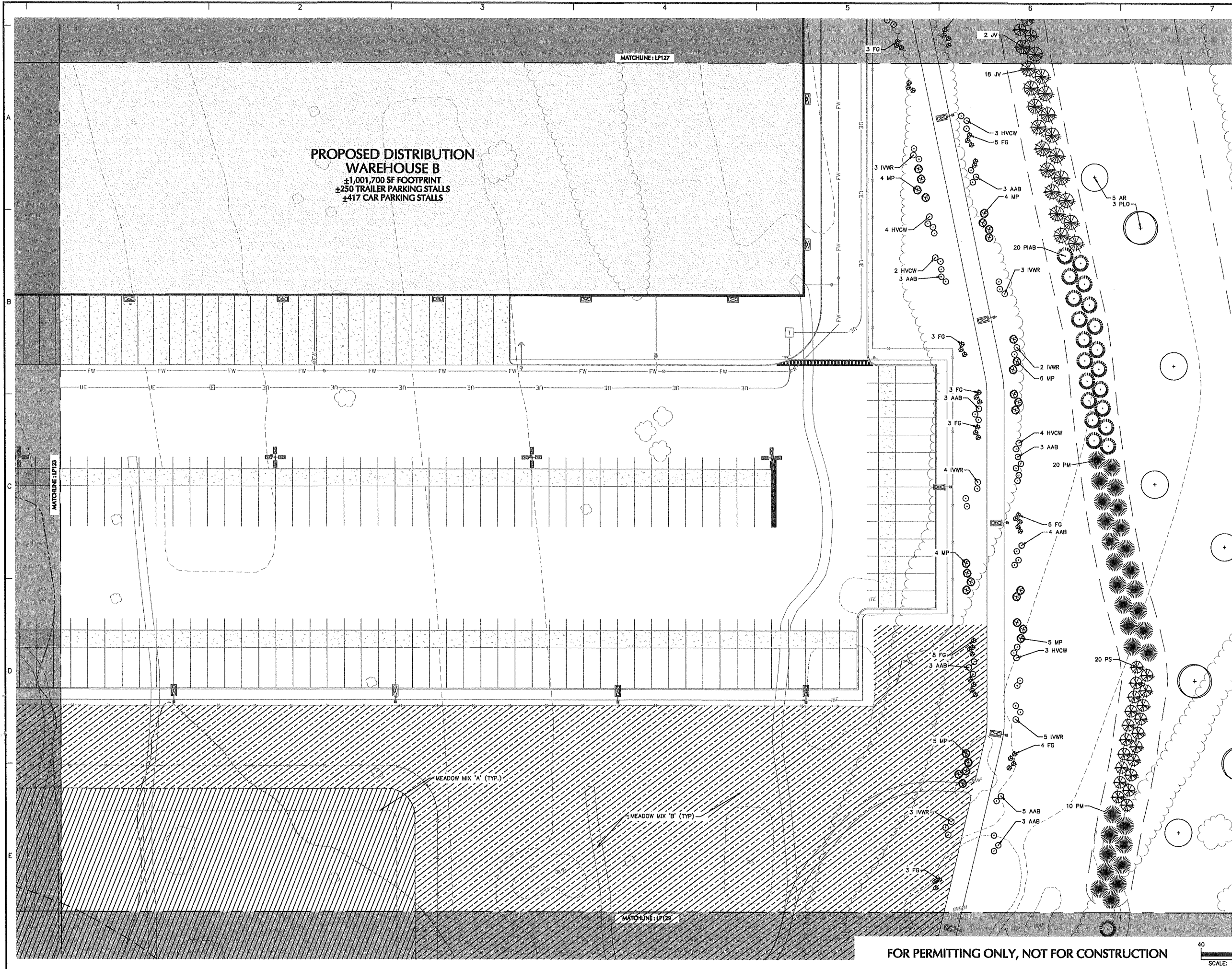
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1

HUDSON NEW HAMPSHIRE
 Drawing Title
LANDSCAPE PLANTING PLAN XXVII

Project No. 151010101	Drawing No. LP127
Date 04-21-2020	
Drawn By KK	
Checked By MH	

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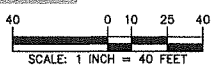
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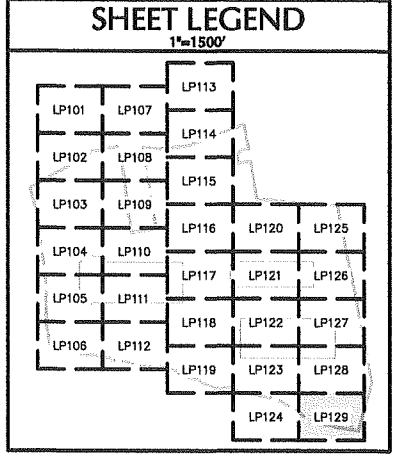
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
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Drawing Title
LANDSCAPE PLANTING PLAN XXVIII

Project No. 151010101	Drawing No. LP128
Date 04-21-2020	
Drawn By KK	
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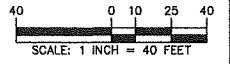
Project

HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

Drawing Title
LANDSCAPE PLANTING PLAN XXIX

Project No. 151010101	Drawing No. LP129
Date 04-21-2020	
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GENERAL LANDSCAPE PLANTING NOTES

- NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES", 1942 EDITION, PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
- ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL MULCH THAT WILL PROTECT AND MAINTAIN THE SOIL FROM EROSION AND EXCESSIVE WEAR.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
- STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.
- NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMB AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS' ORIGINAL GRADE BEFORE DIGGING. PLANT MATERIAL OF THE SAME SPECIES AND SPECIES AS THE SAME SITE SHOULD BE SIMILAR IN SHAPE, COLOR AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPICAL OR SPECIFIED HABIT OF THAT SPECIES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES PRIOR TO THE START OF EXCAVATION ACTIVITIES. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
- THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER, TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.
- LANDSCAPE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS. FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER BEFORE PLANTING WORK BEGINS. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
- THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE, BEFORE PLANTING, FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO REJECT PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL PROGRESSIVELY THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- DELIVERY, STORAGE, AND HANDLING
 - PACKAGED MATERIALS: PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DETERIORATION DURING DELIVERY, AND WHILE STORED AT SITE.
 - TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED. DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BIND THE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING TRANSPORT. DO NOT DROP BALLED AND BURLAPPED STOCK DURING DELIVERY OR HANDLING.
 - ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOTBALL WRAPPING AND BINDING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE TOP OF THE BALL, AT THE TIME OF PLANTING. IF THE PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, THE WIRE BASKET SHALL BE CUT DOWN 8 INCHES INTO THE PLANTING HOLE. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO LOCATIONS.
 - THE CONTRACTOR SHALL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL COVER TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
- ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINISHED AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND UNEVEN SURFACES PRIOR TO PLANTING OR MULCHING.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES.
- NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF TWO YEARS FOLLOWING ACCEPTANCE BY THE OWNER. PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSED MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY LANDSCAPE INSTALLATION OPERATIONS.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS TO MAINTAIN VIGOROUS AND HEALTHY PLANT GROWTH.
- THE BACKFILL MIXTURE AND SOIL MIXES TO BE INSTALLED PER THE SPECIFICATIONS.
- AFTER PLANT IS PLACED IN TREE PIT LOCATION, ALL THINE HOLDING ROOT BALL TOGETHER SHOULD BE COMPLETELY REMOVED AND THE BURLAP SHOULD BE PULLED DOWN SO 1/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.
- MULCH SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR.
- ALL FENCE INSTALLATION SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF ANY LANDSCAPE PLANTING, LAWN AND GRASSES, OR IRRIGATION WORK.
- FOR ANY DISCREPANCIES BETWEEN THE PLANT SCHEDULE AND PLANTING PLAN THE GRAPHIC QUANTITY SHOWS SHALL GOVERN.
- PLANT MATERIALS SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING HAS BEEN COMPLETED.
- ALL PLANT INSTALLATIONS SHALL BE COMPLETED EITHER BETWEEN APRIL 1 - JUNE 15 OR AUGUST 15 - NOVEMBER 1, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. SEE LAWN SEEDING DATES IN SEEDING NOTES.

LANDSCAPE MAINTENANCE NOTES

- MAINTENANCE OPERATIONS BEFORE APPROVAL:**
 - PLANT CARE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS SATISFACTORILY INSTALLED AND SHALL CONTINUE THROUGHOUT THE LIFE OF THE CONTRACT UNTIL FINAL ACCEPTANCE OF THE PROJECT.
 - CARE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND QUYS AS ORIGINALLY INSTALLED, WATERING WHEN NEEDED OR AS DIRECTED, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
 - CONTRACTOR SHALL REMOVE AND REPLACE ALL DEAD, DEFECTIVE AND/OR REJECTED PLANTS AS REQUIRED BEFORE FINAL ACCEPTANCE.
- MAINTENANCE DURING CONSTRUCTION:**
 - MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING. PLANTS SHALL BE WATERED, MULCHED, WEEDED, PRUNED, SPRAYED, FERTILIZED, CULTIVATED, AND OTHERWISE MAINTAINED AND PROTECTED UNTIL PROVISIONAL ACCEPTANCE. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE AND POSITION, PLANTING SAUCER RESTORED AND DEAD MATERIAL REMOVED. STAKES AND WIRES SHALL BE TIGHTENED AND REPAIRED. DEFECTIVE WORK SHALL BE CORRECTED AS SOON AS POSSIBLE AFTER IT BECOMES APPARENT AND WEATHER AND SEASON PERMIT.
 - IF A SUBSTANTIAL NUMBER OF PLANTS ARE SICKLY OR DEAD AT THE TIME OF INSPECTION, ACCEPTANCE SHALL NOT BE GRANTED AND THE CONTRACTOR'S RESPONSIBILITY FOR MAINTENANCE OF ALL PLANTS SHALL BE EXTENDED FROM THE TIME REPLACEMENTS ARE MADE OR EXISTING PLANTS ARE DEEMED ACCEPTABLE BY THE LANDSCAPE ARCHITECT.
 - ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE SPECIFIED ON THE PLANT LIST OR THAT WHICH WAS TO BE RELOCATED. THEY SHALL BE FURNISHED AND PLANTED AS SPECIFIED. THE COST SHALL BE BORNE BY THE CONTRACTOR. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
 - PLANTS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER INSPECTION AND PROVISIONAL ACCEPTANCE.
 - AT THE END OF THE ESTABLISHMENT PERIOD, INSPECTION SHALL BE MADE AGAIN. ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD OR UNSATISFACTORY TO THE LANDSCAPE ARCHITECT OR OWNER SHALL BE REMOVED FROM THE SITE AND REPLACED DURING THE NORMAL PLANTING SEASON.
- LAWN MAINTENANCE:**
 - BEGIN MAINTENANCE IMMEDIATELY AFTER EACH PORTION OF LAWN IS PLANTED AND CONTINUE FOR 8 WEEKS AFTER ALL LAWN PLANTING IS COMPLETED.
 - WATER TO KEEP SURFACE SOIL MOIST, REPAIR WASHED OUT AREAS BY FILLING WITH TOPSOIL, LIMING, FERTILIZING AND RE-SEEDING; MOW TO 2 1/2 - 3 INCHES AFTER GRASS REACHES 3 1/2 INCHES IN HEIGHT, AND MOW FREQUENTLY ENOUGH TO KEEP GRASS FROM EXCEEDING 3 1/2 INCHES. WEED BY LOCAL SPOT APPLICATION OF SELECTIVE HERBICIDE ONLY AFTER GRASS IS WELL-ESTABLISHED.

LAWN SEED MIX:

- LAWN SEED MIX LESCO GRASS SEED - ALL PRO TRANSITION MIX (3 TURF-TYPE TALL-FESCUE GRASSES)**

NOTES:

 - SEED RATE:
 - NEW ESTABLISHMENT: SEED AT A RATE OF 6-8 LBS/1000 SQ FT
 - RENOVATION: 20-30% EXISTING COVER: 5-7 LBS/1000 SQ FT
 - 50-70% EXISTING COVER: 4-6 LBS/1000 SQ FT
- GENERAL SEED NOTES:**
 - FINAL SEED MIXTURES, RATES, AND SPECIES TO BE DETERMINED BASED ON PROJECT LANDSCAPE ARCHITECT REVIEW.
 - SEEDING SHALL TAKE PLACE IN THE SPRING (APRIL 1 TO JUNE 15) OR THE FALL (SEPTEMBER 1 TO OCTOBER 15).
 - ELIMINATE UNWANTED VEGETATION PRIOR TO SEEDING USING A GLYPHOSATE-BASED HERBICIDE PER MANUFACTURER'S SPECIFICATIONS.
 - IT IS RECOMMENDED THAT CONTRACTOR INSTALL SEED MIXTURE USING A NO-TILL TRUAX-TYPE DRILL SEEDER WHERE APPLICABLE.
 - SEED MUST BE CONTINUOUS SOIL MOISTURE FOR 4-6 WEEKS TO ALLOW FOR PROPER GERMINATION.

PLANTING SOIL SPECIFICATIONS

- GENERAL NOTE:**
DUE TO GENERAL CONSTRUCTION ACTIVITIES AND ADJACENT SITE COMPACTION REQUIREMENTS, SUBGRADE SOILS WITHIN PROPOSED PLANTING AREAS TEND TO BECOME HIGHLY COMPACTED. IN ORDER TO CREATE A HEALTHY GROWTH MEDIUM TO ALLOW PROPOSED PLANTINGS TO ESTABLISH A VIGOROUS ROOT MASS, THIS SUBGRADE SOIL MUST UNDERGO A RESTORATION PROCESS. IN ADDITION, IMPORTED OR AMENDED EXISTING SOILS SHALL BE MIXED WITH SUBGRADE SOILS WHERE THEY MEET IN ORDER TO CREATE A TRANSITIONAL GRADIENT TO ALLOW FOR PROPER DRAINAGE.
- PLANTING SOIL:**
REUSE SURFACE SOILS STOCKPILED ON SITE, VERIFYING COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA IN THIS SPECIFICATION THROUGH TESTING OF ALL PROPOSED PLANTS 500, AND GRAVES OVER 1" IN DIAMETER AND DELETERIOUS MATERIALS. IF ON-SITE SOILS ARE TO BE USED FOR PROPOSED PLANTING, THE CONTRACTOR SHALL DEMONSTRATE, THROUGH SOIL TESTING, THAT ON-SITE SOILS MEET THE SAME CRITERIA AS INDICATED IN NOTES PLANS AND SPECIFICATIONS.
SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN TOPSOIL AND PLANTING SOIL QUANTITIES ARE INSUFFICIENT. OBTAIN SOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4" DEEP. DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, MARSHES OR CONTAMINATED SITES.
CONTRACTOR SHALL TEST SOILS AND FURNISH SAMPLES UPON REQUEST. PACKAGED MATERIALS SHALL BE UNOPENED BAGS OR CONTAINERS, EACH BEARING A NAME, GUARANTEE, AND TRADEMARK OF THE PRODUCER. MATERIAL COMPOSITION, MANUFACTURER'S CERTIFIED ANALYSIS, AND WEIGHT OF THE MATERIALS, SOIL OR AMENDMENT MATERIALS SHALL BE STORED ON SITE TEMPORARILY IN STOCKPILES PRIOR TO PLACEMENT AND SHALL BE PROTECTED FROM INTRUSION OF CONTAMINANTS AND EROSION. AFTER MIXING, SOIL MATERIALS SHALL BE COVERED WITH A TARPULIN UNTIL TIME OF AGRICULTURAL USE.
 - SOIL AMENDMENT FOR PLANT MATERIAL:**
IF SOIL ORGANIC CONTENT IS INADEQUATE, SOIL SHALL BE AMENDED WITH COMPOST OR ACCEPTABLE WEED FREE, ORGANIC MATTER. ORGANIC AMENDMENT SHALL BE WELL COMPOSTED, PH RANGE OF 6-8, MOISTURE CONTENT 35-50% BY WEIGHT 100% PASSING THROUGH 1" SIEVE, SOLUBLE SALT CONTENT LESS THAN 0.5 M M HO5/CM, MEETING ALL APPLICABLE ENVIRONMENTAL CRITERIA FOR CLEAN FILL.
A. ORGANIC MATTER AS A SOIL AMENDMENT: LEAF MOLD WITH 60-80% ORGANIC CONTENT BY WEIGHT. SHREDED LEAF LITTER, COMPOSTED FOR A MINIMUM OF 1 YR. SHOULD BE FREE OF DEBRIS, STONES OVER 1/2", WOOD CHIPS OVER 1".
B. SOIL IN BEDS AND PLANTING ISLANDS OTHER THAN BACKFILL MATERIAL AND TOPSOIL, SHOULD BE FRIABLE, WELL DRAINED, AND FREE OF DEBRIS, INCLUDING STONES AND TRASH.
C. AMENDMENTS FOR BACK FILL IN TREE AND SHRUB PITS:
1. GROUND LIMESTONE (WITH A MIN. OF 80% OF CALCIUM AND MAGNESIUM CARBONATES) USED PENDING RESULTS OF SOIL ANALYSIS.
2. BRING PH LEVELS TO 6.5 MIN. TO 8.5 FOR NON-ERIGACIOUS PLANTS
3. BRING PH LEVELS TO 6.5 MIN. TO 8.5 FOR ERIGACIOUS PLANTS
4. TERRA-SORB BY PLANT HEALTH CARE 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN PLANTER BACKFILL MIXTURE WITH TREES AND SHRUBS.
5. MYCOR-ROOT SAVER BY PLANT HEALTH CARE 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN BACKFILL MIXTURE WITH TREES.
 - WHERE PLANTING AREAS ARE PROPOSED FOR FORMER PAVED OR GRAVEL AREAS, BEDS SHALL BE EXCAVATED TO A MINIMUM 30" DEPTH AND, AT A MINIMUM, BE BACKFILLED WITH BOTTOM LAYER OF SANDY LOAM (ORGANIC CONTENT LESS THAN 2%) OVER WHICH TOPSOIL AND PLANTING SOILS WILL BE PLACED AT DEPTHS INDICATED IN PLANS, DETAILS AND NOTES.
 - CLEAN SOIL FILL IN LANDSCAPE AREAS:**
LANDSCAPE FILL MATERIAL, BELOW PLANTING SOILS, SHALL HAVE THE PHYSICAL PROPERTIES OF A SANDY LOAM WITH AN ORGANIC CONTENT OF LESS THAN 2% AND A PH BETWEEN 5 - 7.
 - SOIL PLACEMENT:**
A. CONTRACTOR TO PROVIDE SIX INCHES (6") MINIMUM DEPTH PLANTING SOIL LAYER IN LAWN AREAS, TWELVE INCHES (12") MINIMUM DEPTH PLANTING SOIL LAYER IN GROUNDCOVER AND PERENNIAL AREAS, EIGHTEEN INCHES (18") MINIMUM DEPTH PLANTING SOIL LAYER IN SHRUB AREAS, AND THIRTY-SIX INCHES (36") MINIMUM DEPTH PLANTING SOIL LAYER IN TREE PLANTING AREAS.
B. SCARIFY AND/OR TILL COMPACTED SUBSOILS TO A MINIMUM DEPTH OF 6 INCHES, THOROUGHLY MIX A 6 INCH DEPTH LAYER OF PLANTING SOIL INTO THE SUBSOIL PRIOR TO PLACING PLANTING SOIL AT THE DEPTHS INDICATED ABOVE. PLANTING SOIL SHALL BE PLACED IN 12"-18" DEPTHS AND WATERED BEFORE INSTALLING NEXT LIFT. REPEAT UNTIL DEPTHS AND FINISH GRADES HAVE BEEN ACHIEVED. NO SOILS SHALL BE PLACED IN A FROZEN OR MUDDY CONDITION.
C. PLANTING SOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE PLANTING SOIL UTILIZED IN ALL PLANTING AREAS.
 - SOIL CONDITIONS AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM. LOWER PH USING ELEMENTAL SULFUR ONLY. PEAT MOSS OR COPPER SULFATE MAY NOT BE USED. GROUND LIMESTONE AS A SOIL AMENDMENT MATERIAL WILL ONLY BE USED PENDING RESULTS OF SOIL ANALYSIS. PROVIDE WITH MINIMUM 8% CALCIUM AND MAGNESIUM CARBONATES AND SHALL HAVE TOTAL 100% PASSING THE 10 MESH SIEVE, MINIMUM 90% PASSING 20 MESH SIEVE, AND MINIMUM 80% PASSING 100 MESH SIEVE.**
 - ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
 - SOIL MODIFICATIONS (PENDING RESULTS OF SOIL ANALYSIS):**
 - THOROUGHLY TILL ORGANIC MATTER (LEAF COMPOST) INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PESTS WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.0. PEAT MOSS MAY NOT BE USED AS ORGANIC MATTER AMENDMENT.
 - MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 10% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

PLANTING SOIL

- CONTRACTOR TO PROVIDE SIX INCHES (6") MINIMUM DEPTH PLANTING SOIL LAYER IN LAWN AREAS, TWELVE INCHES (12") MINIMUM DEPTH PLANTING SOIL LAYER IN GROUNDCOVER AND PERENNIAL AREAS, EIGHTEEN INCHES (18") MINIMUM DEPTH PLANTING SOIL LAYER IN SHRUB AREAS, AND THIRTY-SIX INCHES (36") MINIMUM DEPTH PLANTING SOIL LAYER IN TREE PLANTING AREAS.**
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- SOIL CONDITIONS AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM. LOWER PH USING ELEMENTAL SULFUR ONLY. PEAT MOSS OR COPPER SULFATE MAY NOT BE USED. GROUND LIMESTONE AS A SOIL AMENDMENT MATERIAL WILL ONLY BE USED PENDING RESULTS OF SOIL ANALYSIS. PROVIDE WITH MINIMUM 8% CALCIUM AND MAGNESIUM CARBONATES AND SHALL HAVE TOTAL 100% PASSING THE 10 MESH SIEVE, MINIMUM 90% PASSING 20 MESH SIEVE, AND MINIMUM 80% PASSING 100 MESH SIEVE.**
 - ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
 - SOIL MODIFICATIONS (PENDING RESULTS OF SOIL ANALYSIS):**
 - THOROUGHLY TILL ORGANIC MATTER (LEAF COMPOST) INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PESTS WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.0. PEAT MOSS MAY NOT BE USED AS ORGANIC MATTER AMENDMENT.
 - MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 10% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

MEADOW SEED NOTES

- MEADOW SEED MIX A - ERNST SEED MIX ERNWX-183 "NATIVE DETENTION AREA MIX"**
- | | |
|----------------------------------|------------------------|
| 32% PANICUM CLANDESTINUM, "TOGA" | DEERTONGUE, "TOGA" |
| 20% CAREX PROLIFERA | FOX |
| 20% ELYMUS VIRGINICUS | VIRGINIA WILDRYE |
| 20% PANICUM VIRGATUM, "SHAWNEE" | SWITCHGRASS, "SHAWNEE" |
| 4% AGROSTIS PERENNANS | AUTUMN PINE BUSH |
| 2% JUNCUS TENUI | PATH RUSH |
| 1% AGROSTIS EPTUBUS | SOFT RUSH |
| 1% PANICUM RIGIDULUM | REDTOP PANICGRASS |
- NOTES:
1. SEED AT A RATE OF 20 LBS/ACRE OF 100% PURE LIVE SEED.
2. FOR SPRING SEEDING, APPLY A NURSE CROP OF OATS AT A RATE OF 30 LBS/ACRE.
3. FOR FALL SEEDING, APPLY A NURSE CROP OF WINTER RYE AT A RATE OF 30 LBS/ACRE.
- MEADOW SEED MIX B - ERNWX-181 (NATIVE STEEP SLOPE MIX WITH ANNUAL RYEGRASS)**
- | | |
|-----------------------------|------------------------|
| 22% SORGHASTRUM NUTANS | INDIANGRASS |
| 20% COULM MULTIFLORUM | ANNUAL RYEGRASS |
| 17% SCHIZACHYRIUM SCOPARIUM | LITTLE BLUESTEM |
| 15% ELYMUS CANADENSIS | CANADA WILDRYE |
| 15% ELYMUS VIRGINICUS | WILDRYE |
| 4% AGROSTIS PERENNANS | AUTUMN BENTGRASS |
| 4% AGROSTIS SCABRA | TICKLERGRASS |
| 4% TRICHS FLAVUS | PARTRIDGE PEA |
| 2% CHAMAECRISTA FASCICULATA | PURPLE CONYOWER |
| 2% ECHINACEA PURPUREA | LANCELEAF COREOPSIS |
| 1% COREOPSIS LANCEOLATA | MARSH BLAZING STAR |
| 1% LIATRIS SPICATA | WILD BERGAMOT |
| 1% MONARDA FISTULOSA | TALL WHITE BEAROTONGUE |
| 1% PENSTEMON DIGITALIS | BLACKEYED SUSAN |
| 1% RUBROECOA HIRTA | |
- NOTES:
SEED AT A RATE OF 80 LBS/ACRE OF 100% PURE LIVE SEED.

- GENERAL SEEDING NOTES:**
- FINAL SEED MIXTURES, RATES & SPECIES TO BE DETERMINED BASED ON SOI REVIEW.
 - SEEDING SHALL TAKE PLACE IN THE SPRING (APRIL 1 TO JUNE 15) OR THE FALL (SEPTEMBER 1 TO OCTOBER 15).
 - ELIMINATE UNWANTED VEGETATION PRIOR TO SEEDING USING A GLYPHOSATE-BASED HERBICIDE PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO ENSURE HERBICIDE IS INDICATED FOR USE AROUND WATER BODIES.
 - IT IS RECOMMENDED THAT CONTRACTOR INSTALL SEED MIXTURE USING A NO-TILL TRUAX-TYPE DRILL WHERE APPLICABLE.
 - SEED MUST BE CONTINUOUS SOIL MOISTURE FOR 4-6 WEEKS TO ALLOW PROPER GERMINATION.
- WEED CONTROL / MAINTENANCE**
- DURING THE ESTABLISHMENT YEAR, CONTRACTOR SHALL MOW SEEDING IF WEED HEIGHT EXCEEDS MEADOW MIX HEIGHT. MOW AT A HEIGHT OF 8"-10". DO NOT MOW CLOSE, AS SOME OF THE MEADOW MIX MAY BE DAMAGED.
 - AFTER THE FIRST GROWING SEASON, AND IF MEADOW MIX IS WELL ESTABLISHED, THE MEADOW MIX SHALL BE MOWED ONLY ONCE ANNUALLY. ANNUAL MAINTENANCE MOWING SHALL BE DONE IN LATE WATER DURING THE MONTH OF MARCH.
 - MOW IN DETENTION BASIN AND WETLAND TRANSITION AREAS DURING DRIER SITE CONDITIONS WHEN SOIL DISTURBANCE WILL NOT OCCUR. MAINTENANCE FOR DETENTION BASIN AND WETLAND TRANSITION AREAS SHALL OCCUR DURING LATE SUMMER (JULY 15 - AUGUST 15) WHEN THE WATER TABLE IS USUALLY AT ITS LOWEST POINT OF THE YEAR. DO NOT MOW IN DETENTION BASIN, WETLAND OR WETLAND TRANSITION AREAS AFTER ESTABLISHMENT OF MEADOW MIX.

PLANTING SOIL SPECIFICATIONS

- GENERAL NOTE:**
DUE TO GENERAL CONSTRUCTION ACTIVITIES AND ADJACENT SITE COMPACTION REQUIREMENTS, SUBGRADE SOILS WITHIN PROPOSED PLANTING AREAS TEND TO BECOME HIGHLY COMPACTED. IN ORDER TO CREATE A HEALTHY GROWTH MEDIUM TO ALLOW PROPOSED PLANTINGS TO ESTABLISH A VIGOROUS ROOT MASS, THIS SUBGRADE SOIL MUST UNDERGO A RESTORATION PROCESS. IN ADDITION, IMPORTED OR AMENDED EXISTING SOILS SHALL BE MIXED WITH SUBGRADE SOILS WHERE THEY MEET IN ORDER TO CREATE A TRANSITIONAL GRADIENT TO ALLOW FOR PROPER DRAINAGE.
- PLANTING SOIL WITHIN AREAS OF CUT OR RAISED GRADE:**
6" IMPORTED PLANTING SOIL (OR AMENDED EXISTING PLANTING SOIL) SHALL BE ROTO-TILLED INTO SUBGRADE TO A DEPTH OF 12".
SUBGRADE WITHIN 2'-6" OF FINISH GRADE IN PLANTING AREAS SHALL CONSIST OF FINE DRAINING SANDY SOIL FILL.
*EXISTING SOIL STRIPPED FROM SITE CAN BE USED FOR PLANTING SOIL UPON APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT. CONTRACTOR SHALL REFER TO PLANTING SOIL SPECIFICATIONS FOR REQUIRED SUBMITTALS.
 - PLANTING SOIL WITHIN AREAS OF UNCHANGED GRADE:**
EXISTING SOIL IN ALL PROPOSED PLANTING AREAS SHALL BE ROTO-TILLED TO A DEPTH OF 12" (EXCLUDING TREE PROTECTION AREAS) AND AMENDED IN ACCORDANCE WITH PLANTING SOIL SPECIFICATIONS. EXISTING SOIL WITH TREE PROTECTION AREAS SHALL BE LOOSEND AND AMENDED BY NON-MECHANICAL METHODS, PROTECTING ROOT MASS AGAINST DAMAGE.
- NOTES:**
- CONTRACTOR IS RESPONSIBLE TO SEND SAMPLES OF EXISTING SOILS INTENDED FOR USE IN PLANTING AREAS (1 PER 500 CV) TO TESTING LABORATORY OR UNIVERSITY COOPERATIVE EXTENSION FOR TESTING. ALL TESTING COSTS ARE AT THE CONTRACTOR'S EXPENSE.
 - RECYCLED CRUSHED CONCRETE AND ASPHALT MILLINGS SHALL NOT BE PLACED WITHIN 2'-6" OF FINISH GRADE IN PROPOSED LANDSCAPE AREAS.
 - IMPORTED FILL SHALL CONTAIN NO CONTAMINATION IN EXCESS OF THE APPLICABLE STATE ENVIRONMENTAL STANDARDS AND MEET THE ENVIRONMENTAL REQUIREMENTS FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF COMPLIANCE PRIOR TO DELIVERY OF ANY FILL TO THE SITE.
 - CONTRACTOR TO LIGHTLY COMPACT ALL PLACED PLANTING SOILS AND RAISE GRADES ACCORDINGLY TO ALLOW FOR FUTURE SETTLEMENT OF PLANTING SOILS (TYP.).
 - NO STONES, WOOD CHIPS, OR DEBRIS LARGER THAN 1/2" SHALL BE ACCEPTABLE WITHIN PLANTING AREAS.

PLANTING SOIL

- CONTRACTOR TO PROVIDE SIX INCHES (6") MINIMUM DEPTH PLANTING SOIL LAYER IN LAWN AREAS, TWELVE INCHES (12") MINIMUM DEPTH PLANTING SOIL LAYER IN GROUNDCOVER AND PERENNIAL AREAS, EIGHTEEN INCHES (18") MINIMUM DEPTH PLANTING SOIL LAYER IN SHRUB AREAS, AND THIRTY-SIX INCHES (36") MINIMUM DEPTH PLANTING SOIL LAYER IN TREE PLANTING AREAS.**
- SCARIFY AND/OR TILL COMPACTED SUBSOILS TO A MINIMUM DEPTH OF 6 INCHES, THOROUGHLY MIX A 6 INCH DEPTH LAYER OF PLANTING SOIL INTO THE SUBSOIL PRIOR TO PLACING PLANTING SOIL AT THE DEPTHS INDICATED ABOVE. PLANTING SOIL SHALL BE PLACED IN 12"-18" DEPTHS AND WATERED BEFORE INSTALLING NEXT LIFT. REPEAT UNTIL DEPTHS AND FINISH GRADES HAVE BEEN ACHIEVED. NO SOILS SHALL BE PLACED IN A FROZEN OR MUDDY CONDITION.
- PLANTING SOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE PLANTING SOIL UTILIZED IN ALL PLANTING AREAS.
- SOIL CONDITIONS AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM. LOWER PH USING ELEMENTAL SULFUR ONLY. PEAT MOSS OR COPPER SULFATE MAY NOT BE USED. GROUND LIMESTONE AS A SOIL AMENDMENT MATERIAL WILL ONLY BE USED PENDING RESULTS OF SOIL ANALYSIS. PROVIDE WITH MINIMUM 8% CALCIUM AND MAGNESIUM CARBONATES AND SHALL HAVE TOTAL 100% PASSING THE 10 MESH SIEVE, MINIMUM 90% PASSING 20 MESH SIEVE, AND MINIMUM 80% PASSING 100 MESH SIEVE.**
 - ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
 - SOIL MODIFICATIONS (PENDING RESULTS OF SOIL ANALYSIS):**
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TREE PLANTING

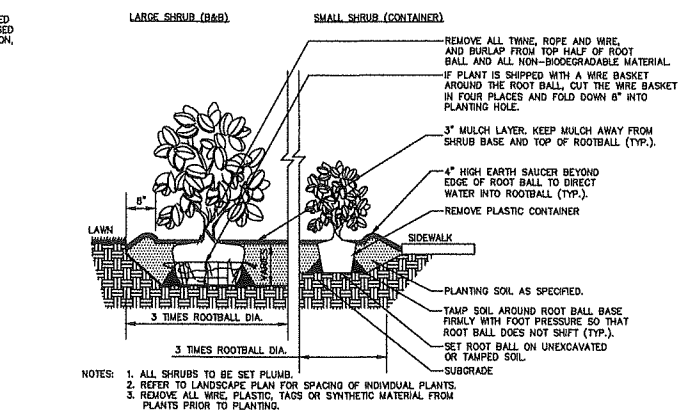
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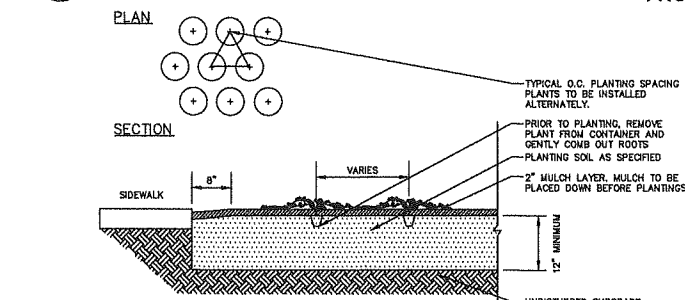
DECORATIVE RIVERSTONE

- LANDSCAPED AREAS BETWEEN THE BUILDING AND THE PARKING LOT CURB SHALL BE MULCHED WITH 3" DECORATIVE RIVERSTONE.
- DECORATIVE STONE MULCH DEPTH AT PLANTINGS SHALL BE 3" DEPTH WITH WEED BLOCK FABRIC BENEATH.
- REFER TO PLANS FOR EXACT LOCATIONS.

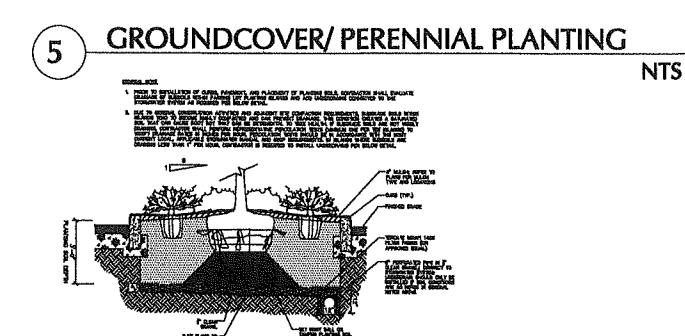
SHRUB AND ORNAMENTAL GRASS PLANTING



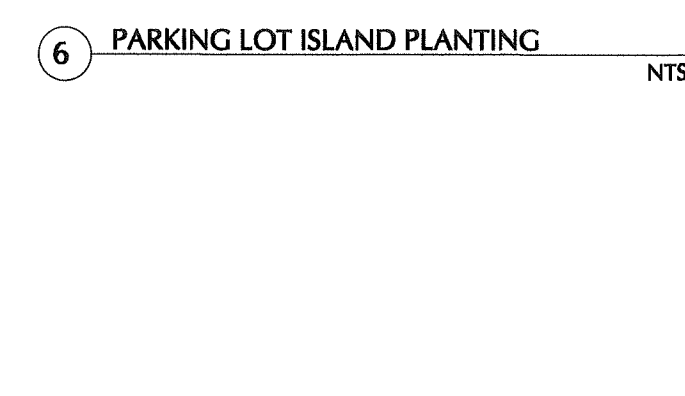
SHRUB AND ORNAMENTAL GRASS PLANTING



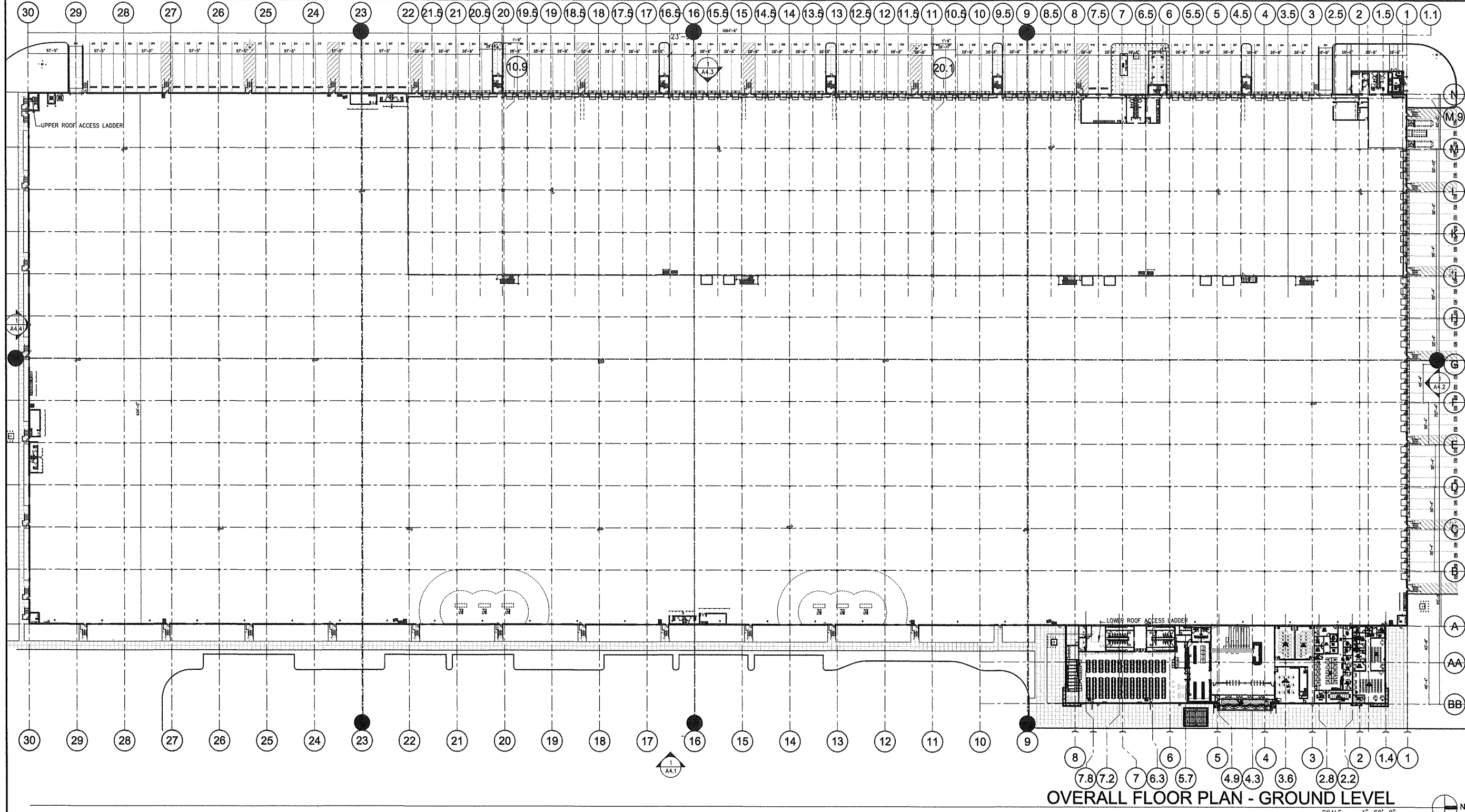
GROUNDCOVER/PERENNIAL PLANTING



PARKING LOT ISLAND PLANTING



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OVERALL FLOOR PLAN - GROUND LEVEL
SCALE: 1"=60'-0"

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WARE MALCOMB
Loading Design for Commercial Roof Eave

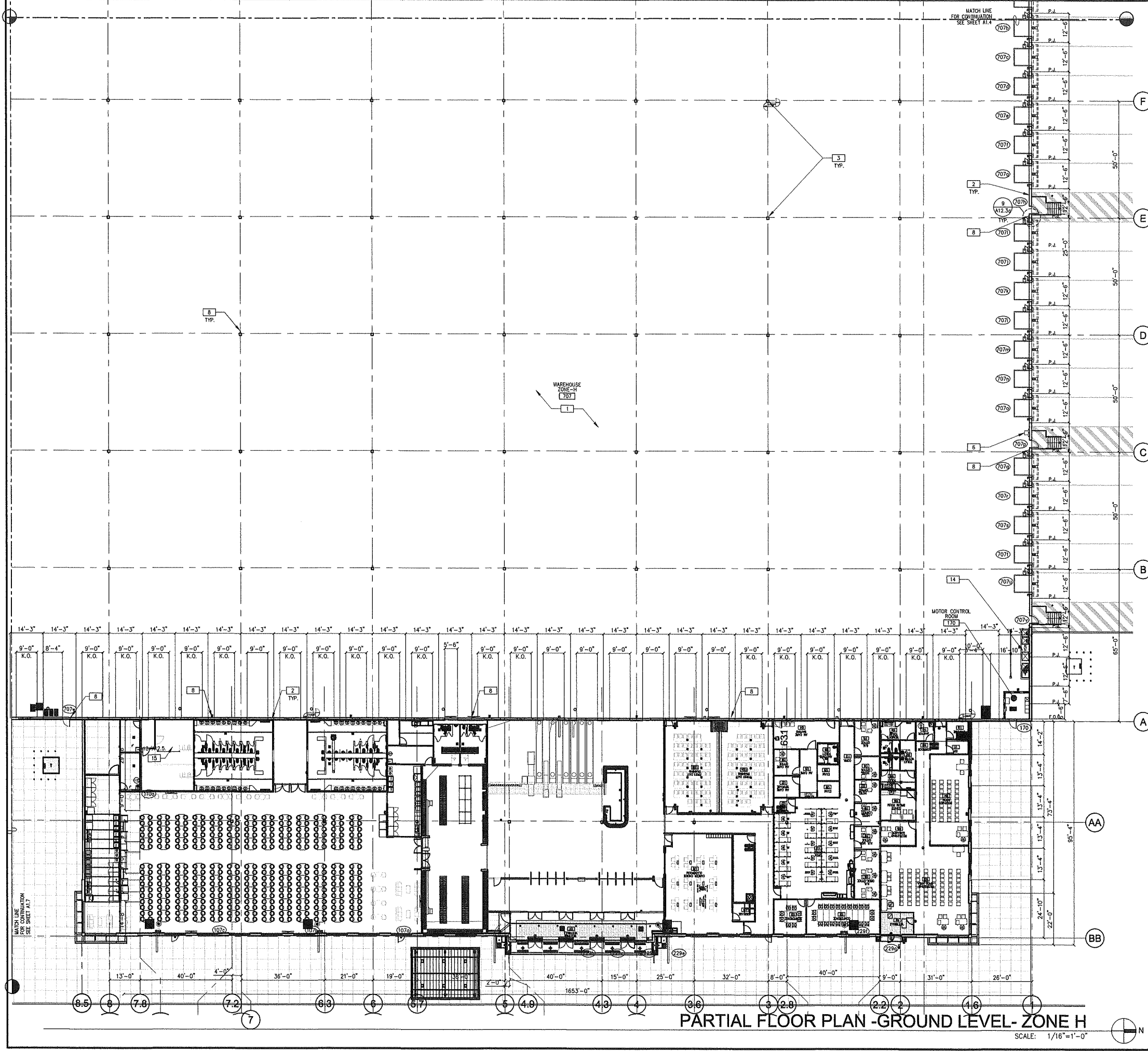
100 base pin colls above walls 140
1/4" dia. colls 14K 1/16
905.762.1322
905.248.2344
a business team of WMA Inc.

BUILDING 1
HUDSON, NEW HAMPSHIRE

OVERALL FP - GROUND	
DATE	REMARKS
04/20/2020	PROGRESS SUBMITTAL

PA / PM:	AS/CR/AM
DRAWN BY:	L.R.
JOB NO.:	xxx00-0000-00

SHEET
A1.0



PARTIAL FLOOR PLAN -GROUND LEVEL- ZONE H
SCALE: 1/16"=1'-0"

PLAN SPECIFIC NOTES

SEE SHEET A0.2 AND A0.2a FOR GENERAL NOTES

- 1 CONCRETE SLAB, SEE STRUCTURAL DRAWINGS.
- 2 INSULATED PRECAST CONCRETE WALL PANEL.
- 3 STRUCTURAL COLUMN, SEE STRUCTURAL DRAWINGS.
- 4 EDGE OF MEZZANINE ABOVE.
- 5 VRC PIT, VERIFY DIMENSIONS WITH EQUIPMENT, SEE DETAIL 11/A12.8a.
- 6 ELECTRICAL PANELS, SEE ELECTRICAL DRAWINGS.
- 7 42" HIGH METAL GUARDRAIL, SEE DETAILS 8/A12.5
- 8 FIRE EXTINGUISHER.
- 9 CANOPY LINE ABOVE.
- 10 WALL MOUNTED BENT STEEL PLATE PIPE GUARD,SEE DETAIL 10/A12.2a.
- 11 EXPANSION JOINT , SEE SPECIFICATIONS AND STRUCTURAL DRAWINGS.
- 12 PROVIDE AND INSTALL EMERGENCY SHOWER AND EYE WASH UNIT SPEAKMAN SE-802 SAFE-T-ZONE SELECT SERIES COMBINATION SHOWER. INSTALL DEDICATED HOT WATER HEATER. SEE PLUMBING.
- 13 MDP CABINET LOCATION TO BE CONFIRMED BY TENANT PRIOR TO FINAL PLACEMENT.
- 14 ELECTRICAL SWITCH GEAR/ EQUIPMENT, SEE ELECTRICAL DRAWINGS.
- 15 ROOF ACCESS LADDER (SEE SHEET A12.5 DETAILS 14)

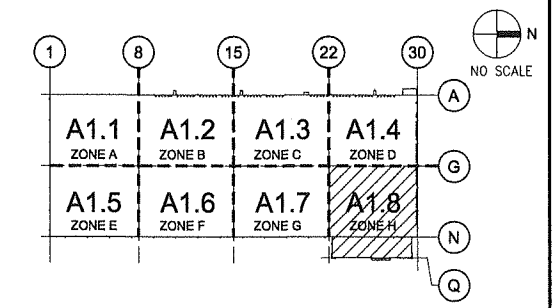
LEGEND

- NOTE:** SEE #4/A12.6 OR STRUCTURAL DRAWINGS FOR METAL WALL STUD TABLE TO SELECT APPROPRIATE WALL STUD SIZE FOR WALL HEIGHT.
- FE PROVIDE SEMI-RECESSED FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER BY LARSEN'S MANUFACTURING CO. CABINET TO BE ARCHITECTURAL SERIES VERTICAL DUO, STEEL WITH BAKED WHITE FINISH. EXTINGUISHER TO BE "MP10" 4A:80B:C. U.N.O. SEE DETAIL #6/A12.8.
 - FE PROVIDE WALL-MOUNTED FIRE EXTINGUISHER, "MP10" BY LARSEN'S MANUFACTURING CO. 4A:80B:C, WITH WALL HANGING BRACKET & SIGNS.
 - FEH PROVIDE 15.5LB HALOTRON WALL-MOUNTED FIRE EXTINGUISHER 2A:10B:C WITH BRACKET & SIGN.
 - CR CARD READER LOCATION-BY SECURITY VENDOR. G.C. TO PROVIDE POWER TO ALL LOCATIONS AND CONDUIT PULLSTRING AT HARD WALL LOCATIONS FOR SECURITY VENDOR DATA LINES. SEE SPECIFICATIONS FOR MORE INFO.
 - W NEW CHILLED WATER COOLER FOR WAREHOUSE. PROVIDE POWER, AND PLUMBING LINE AS REQUIRED. SEE PLUMBING AND ELECTRICAL DRAWINGS. FINAL NUMBER AND LOCATIONS TBD.
W1 - 1ST FLOOR W2 - MEZZANINE LEVEL
NOTE: GC TO VERIFY WITH TENANT FINAL INSTALLATION LOCATIONS & ALL QUANTITIES.
 - EWHE ELECTRIC WATER HEATER - SEE PLUMBING
 - EQ EQUIPMENT TAG - SEE EQUIPMENT SCHEDULE ON SHEET A2.0
 - DOOR TAG - SEE DOOR SCHEDULE ON SHEETS A11.X SERIES
 - WINDOW TAG - SEE WINDOW ELEVATIONS ON SHEET A11.6

WALL LEGEND

- PROVIDE VERTICAL DRYWALL EXPANSION JOINTS @30" O.C. MAXIMUM. TYP. SEE DETAIL #12/A12.6b. SEE WALL TYPE SCHEDULE 2/A12.6
- PRE-CAST CONCRETE SHELL WALL
 - SHELL WALL W/ FURRING
 - 1-HR. ELEVATOR SHAFT WALL
 - 1-HR. FIRE BARRIER FOR OCC. SEPERATION/ EXIT PASSAGE WAY
 - FULL HEIGHT NON-RATED PARTITION
 - PARTITION TO 6" ABOVE CEILING
 - PLUMBING CHASE WALL TO 6" ABOVE CEILING
 - PARTITION TO UNDERSIDE OF CEILING
 - PARTIAL HEIGHT PARTITION, SEE FLOOR PLANS FOR HEIGHTS.
 - CMU WALL
 - CHAINLINK FENCE

KEY PLAN



WARE MALCOLM
Leading Design for Commercial Real Estate

Architecture: 157 West Main Street, Suite 100
 Planning: 157 West Main Street, Suite 100
 Electrical: 157 West Main Street, Suite 100
 Mechanical: 157 West Main Street, Suite 100
 Civil Engineering: 157 West Main Street, Suite 100

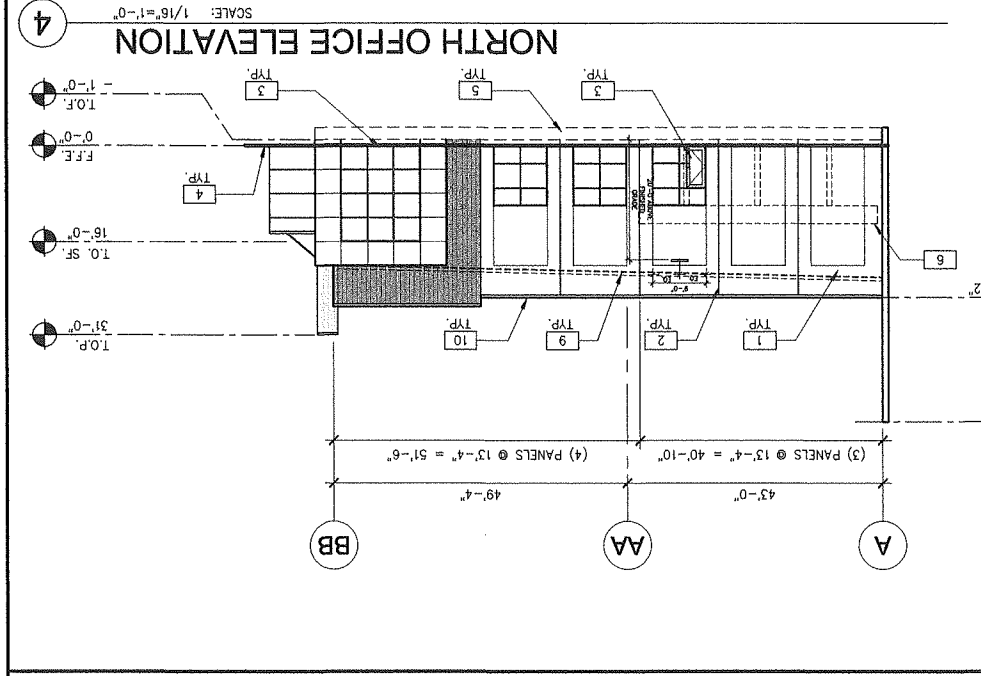
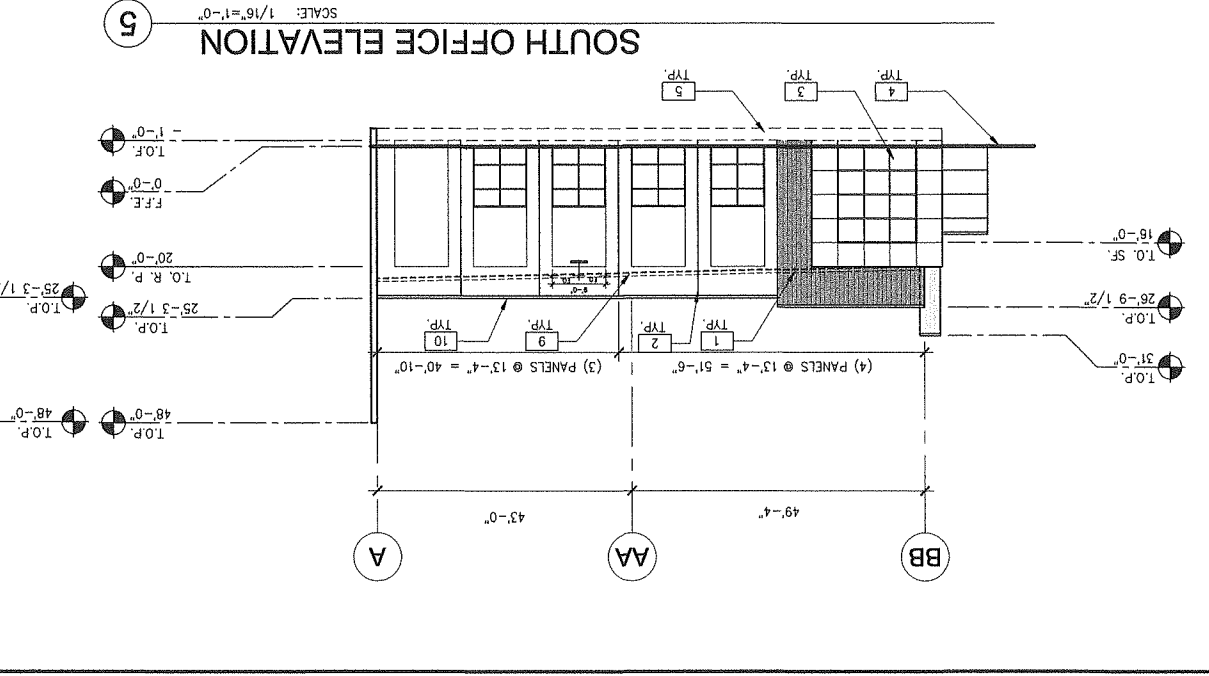
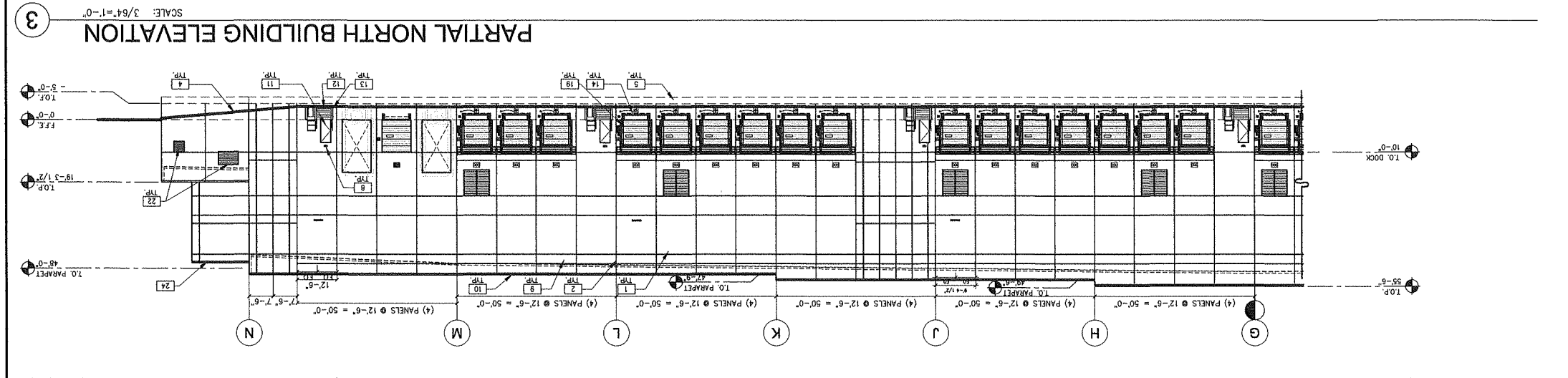
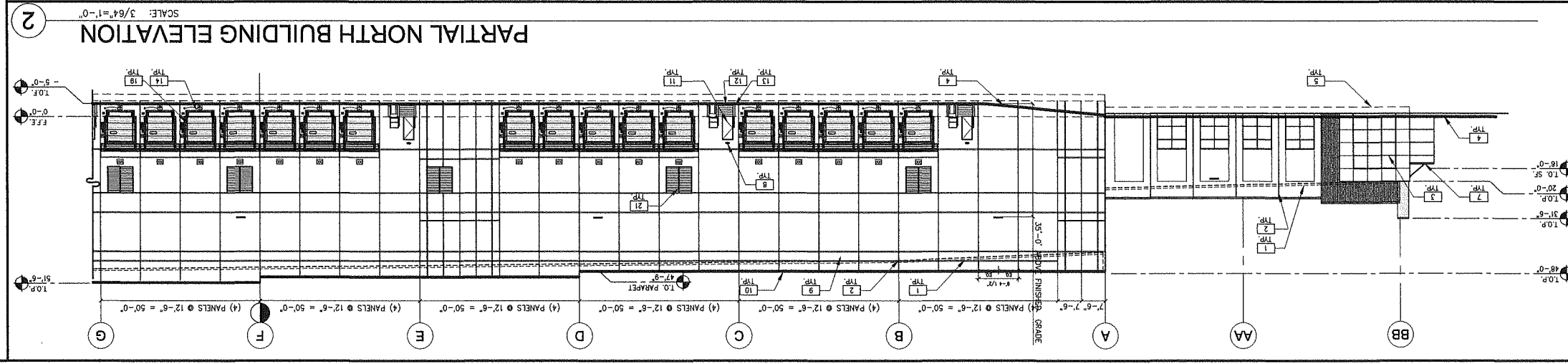
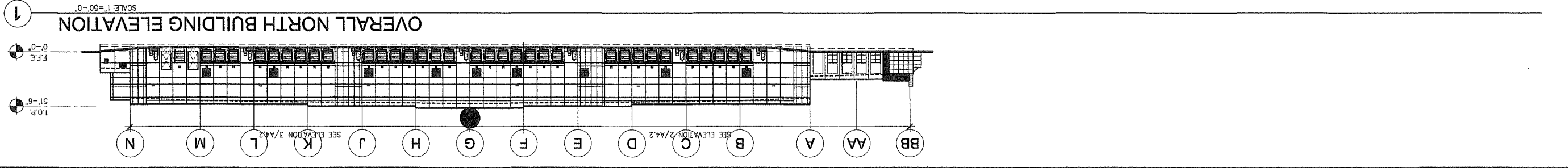
BUILDING 1
HUDSON, NEW HAMPSHIRE

DATE	REMARKS
04/20/2020	PROGRESS SUBMITTAL

PA/PM:	AS/CR/AM
DRAWN BY:	LH
JOB NO.:	xxx00-0000-00

SHEET
A1.8

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ELEVATION NOTES
SEE SHEET A0.2 FOR GENERAL NOTES

- INSULATED PRECAST WALL PANEL W/ REVEALS - TEXTURED COATING.
- INSULATED PRECAST WALL JOINT. SEE DETAIL 3/A12.3
- ALUMINUM GLAZING SYSTEM WITH 1" THICK LOW-E INSULATED GLASS.
- FINISH GRADE, VARIES.
- CONCRETE FOOTING. SEE STRUCTURAL DWG.
- PRE-FABRICATED STEEL CANOPY STRUCTURE W/ PREFINISHED METAL FASCIA & COLUMNS W/ LED SURFACE MOUNTED LIGHT FIXTURES. THE DOWNSPOUTS INTO UNDERGROUND STORM SYSTEM. SEE PLUMBING AND CIVIL DWG.
- COMPOSITE ALUMINUM CANOPY W/ ADJUSTABLE STRUT ROD SUPPORTS. SEE DETAIL 19/A12.2a
- WALL PACK LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- LINE OF ROOF BEYOND.
- PREFINISHED METAL COPING.
- PAINTED HOLLOW METAL DOOR AND FRAME.
- STAIR AND RAILING. SEE DETAILS 1 & 11/A12.5
- FIXED STEEL BOLLARD. SEE DETAIL 5/A12.1a
- 8' x 10' VERTICAL LIFT OVERHEAD DOOR. SEE DOOR SCHEDULE.
- RAMP. SEE DOOR SCHEDULE AND DETAIL 13/A12.1a
- ILLUMINATED BUILDING SIGN (BY OTHERS).
- OVERFLOW DAYLIGHT DRAIN. SEE DETAIL 15/A12.2
- SCUPPER OPENING. SEE DETAIL 13/A12.2
- COMBINATION DOCK SEAL AND AQUASHIELD RAIN SEALING SYSTEM.
- OVERFLOW EXITING. SEE DETAIL 21/A12.1
- PREFINISHED INTAKE METAL LOUVER THERMALLY BROKEN. SEE MECHANICAL DRAWINGS. - SEE 11 & 12/A12.3 FOR DETAIL.
- COORDINATE ROUGH OPENING SIZE WITH ACTUAL LOUVER SIZE.
- PREFINISHED METAL LOUVER - SEE MECH. DWG. COORDINATE ROUGH OPENING SIZE WITH ACTUAL LOUVER SIZE.
- INSTALL SAFETY & SECURITY FILM TO WHERE EXPOSED TO WAREHOUSE (EXCLUDED PANELS AT OFFICES) 15'-0" A.F.F. & LOWER.
- 24 STAIR TOWER BEYOND.

LEGEND

- VISION GLASS: 1" INSULATING GLAZING WITH "LOW-E", SUPERNEUTRAL 62/27 ON #2 SURFACE.
- IMBOARD LITE: CLEAR.
- SPANDREL GLASS: AS PER VISION W/ ICD HIGH PERFORMANCE 3-0770 WARM GRAY COATING ON #4 SURFACE.
- DESIGN CRITERIA FOR ALL GLASS USED ON THE ENVELOPE OF THE BUILDING: U FACTOR = 0.29, VT = 44, AND SHGC = 0.22
- GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT.
- TEMPERED GLASS.

COLOR LEGEND
SEE SHEET A4.7 FOR COLOR PALETTE

PROVIDE 6'-0" WIDE PAINT MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

TEXTURED ACRYLIC COATING
SHERWIN WILLIAMS MATCH COLOR SW#7049 "NUANCE"
(R0B 266 - 244 - 214)

TEXTURED ACRYLIC COATING
SHERWIN WILLIAMS MATCH COLOR SW#7017 "DORIAN GRAY"
(R0B 172 - 167 - 158)

TEXTURED ACRYLIC COATING
SHERWIN WILLIAMS MATCH COLOR SW#7018 "DOVETAIL"
(R0B 144 - 138 - 131)

TEXTURED ACRYLIC COATING
SHERWIN WILLIAMS MATCH PANTONE COLOR #2995C
(CMYK 83 - 1 - 0 - 0)

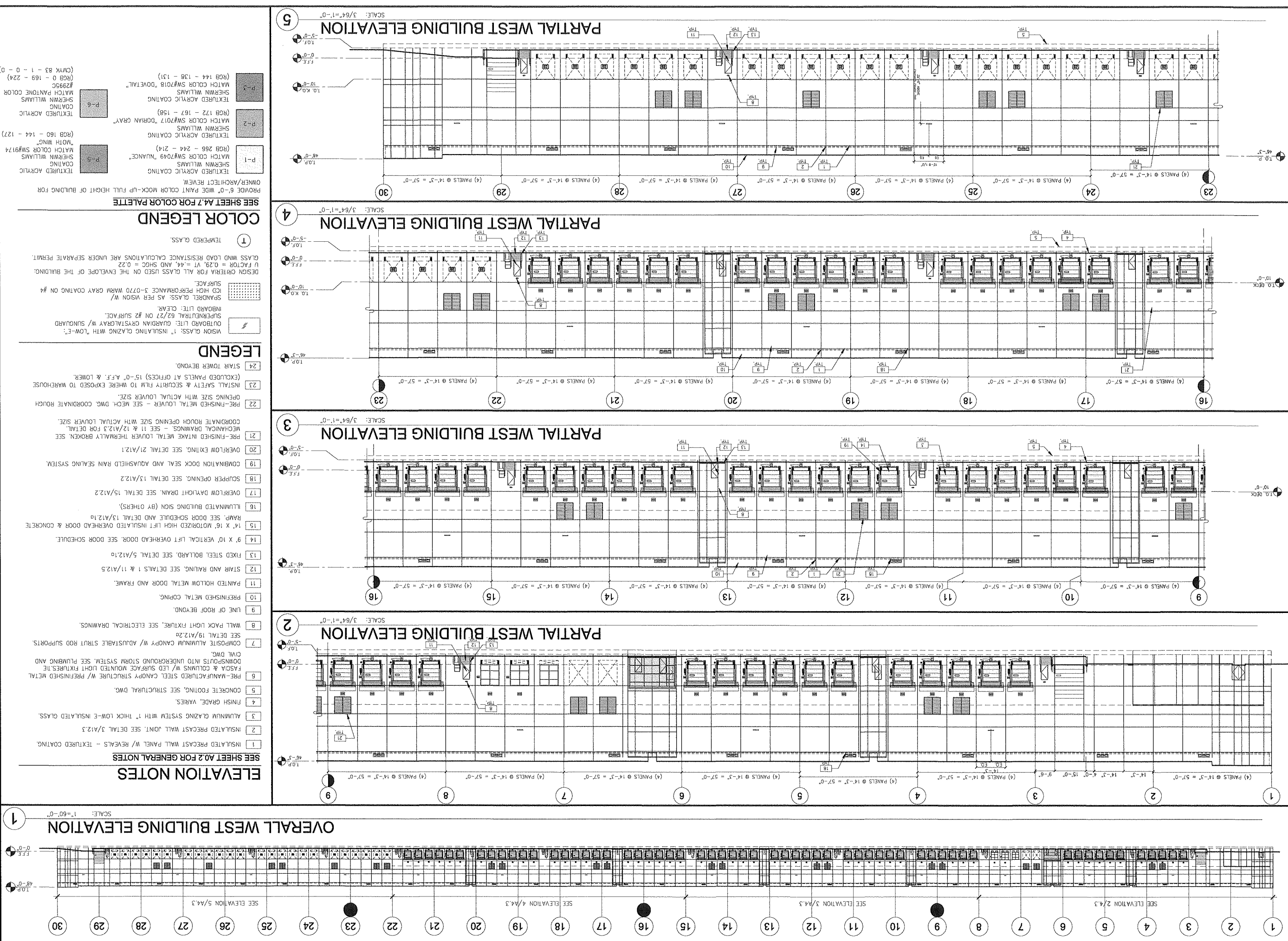
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BUILDING 1
HUDSON, NEW HAMPSHIRE

DATE	REMARKS
04/20/2020	PROGRESS SUBMITTAL

PA / PM: AS/CR/AH
DRAWN BY: LM
JOB NO.: KX00-0000-00
SHEET: A4.2



1 OVERALL WEST BUILDING ELEVATION
SCALE: 1"=60'-0"

2 PARTIAL WEST BUILDING ELEVATION
SCALE: 3/8"=1'-0"

3 PARTIAL WEST BUILDING ELEVATION
SCALE: 3/8"=1'-0"

4 PARTIAL WEST BUILDING ELEVATION
SCALE: 3/8"=1'-0"

5 PARTIAL WEST BUILDING ELEVATION
SCALE: 3/8"=1'-0"

ELEVATION NOTES

- SEE SHEET A0.2 FOR GENERAL NOTES
- INSULATED PRECAST WALL PANEL W/ REVEALS - TEXTURED COATING.
 - INSULATED PRECAST WALL JOINT. SEE DETAIL 3/A12.3
 - ALUMINUM GLAZING SYSTEM WITH 1" THICK LOW-E INSULATED GLASS.
 - FINISH GRADE, VARIES.
 - CONCRETE FOOTING. SEE STRUCTURAL DWG.
 - PRE-MANUFACTURED STEEL CANOPY STRUCTURE W/ PREFINISHED METAL DOMES MOUNTED INTO UNDERGROUND STORM SYSTEM. SEE PLUMBING AND CIVIL DWG.
 - COMPOSITE ALUMINUM CANOPY W/ ADJUSTABLE STRUT ROD SUPPORTS. SEE DETAIL 19/A12.2a
 - WALL PACK LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
 - LINE OF ROOF BEYOND.
 - PREFINISHED METAL COPING.
 - PAINTED HOLLOW METAL DOOR AND FRAME.
 - STAIR AND RAILING. SEE DETAILS 1 & 11/A12.5
 - FIXED STEEL BOLLARD. SEE DETAIL 5/A12.1a
 - 9' X 10' VERTICAL LIFT OVERHEAD DOOR. SEE DOOR SCHEDULE.
 - 14' X 16' MOTORIZED HIGH LIFT INSULATED OVERHEAD DOOR & CONCRETE RAMP. SEE DOOR SCHEDULE AND DETAIL 13/A12.1a
 - ILLUMINATED BUILDING SIGN (BY OTHERS).
 - OVERFLOW DAYLIGHT DRAIN. SEE DETAIL 15/A12.2
 - SCUPPER OPENING. SEE DETAIL 13/A12.2
 - COMBINATION DOCK SEAL AND AQUASHIELD RAIN SEALING SYSTEM. OVERFLOW EXITING. SEE DETAIL 21/A12.1
 - PRE-FINISHED INTRAKE METAL LOUVER THERMALLY BROKEN. SEE MECHANICAL DRAWINGS - SEE 11 & 12/A12.3 FOR DETAIL.
 - COORDINATE ROUGH OPENING SIZE WITH ACTUAL LOUVER SIZE.
 - PRE-FINISHED METAL LOUVER - SEE MECH. DWG. COORDINATE ROUGH OPENING SIZE WITH ACTUAL LOUVER SIZE.
 - 22
 - 23
 - 24

LEGEND

- VISION GLASS: 1" INSULATING GLAZING WITH "LOW-E"; OUTBOARD LITE: GUARDIAN CRYSALGRAY W/ SUNGUARD SUPERNEUTRAL 62/27 ON #2 SURFACE.
- INBOARD LITE: CLEAR.
- SPANDREL GLASS: AS PER VISION W/ U-FILM HIGH PERFORMANCE 3-0770 WARM GRAY COATING ON #4 SURFACE.
- DESIGN CRITERIA FOR ALL GLASS USED ON THE ENVELOPE OF THE BUILDING: U FACTOR = 0.29, VT = 64, AND SHGC = 0.22
- GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT.
- TEMPERED GLASS.

COLOR LEGEND

- SEE SHEET A4.7 FOR COLOR PALETTE
- PROVIDE 6'-0" WIDE PAINT MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- TEXTURED ACRYLIC COATING
 - SHERWIN WILLIAMS MATCH COLOR SW#7049 "NUANCE"
 - (RGB 266 - 244 - 214)
 - TEXTURED ACRYLIC COATING
 - SHERWIN WILLIAMS MATCH COLOR SW#7017 "DORIAN GRAY"
 - (RGB 172 - 167 - 158)
 - TEXTURED ACRYLIC COATING
 - SHERWIN WILLIAMS MATCH COLOR SW#7018 "DOVE TAIL"
 - (RGB 144 - 138 - 131)
 - TEXTURED ACRYLIC COATING
 - SHERWIN WILLIAMS MATCH COLOR SW#7018 "DOVE TAIL"
 - (RGB 0 - 169 - 224)
 - (CMXK 83 - 1 - 0 - 0)

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A4.3
SHEET

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DRAWN BY: LK
Pd / P.M.: AS/CR/AM

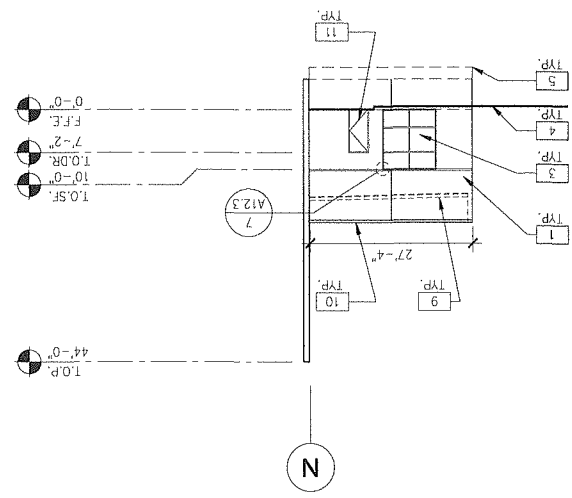
DATE	REMARKS
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BUILDING 1
HUDSON, NEW HAMPSHIRE

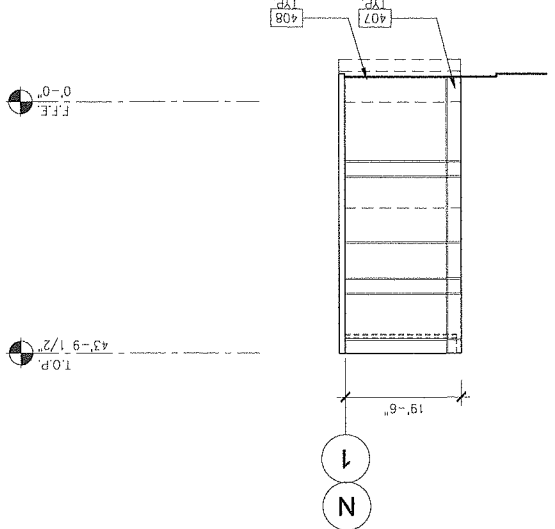
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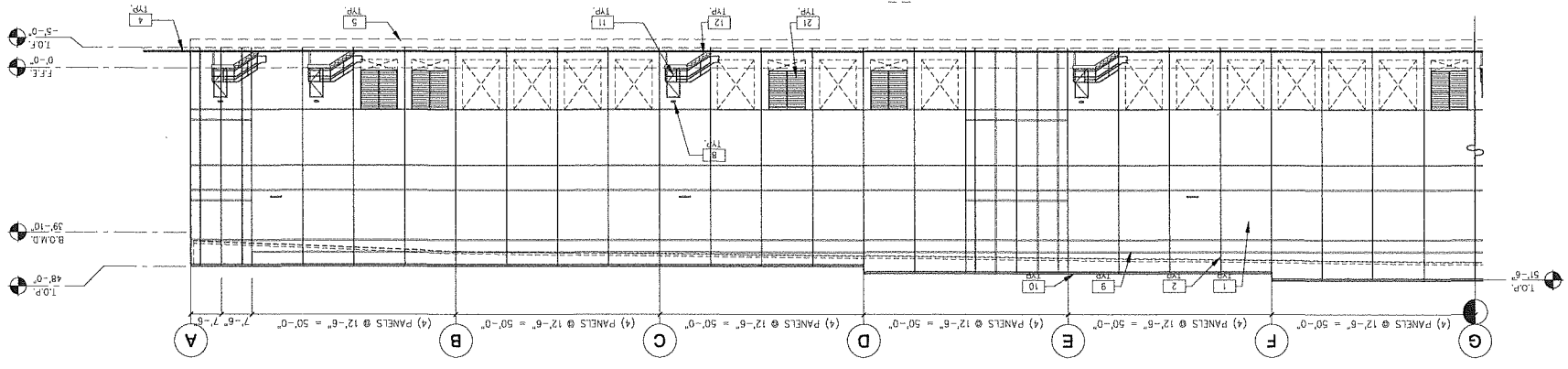
5 DRIVERS LOUNGE ELEVATION SCALE: 1/16"=1'-0"



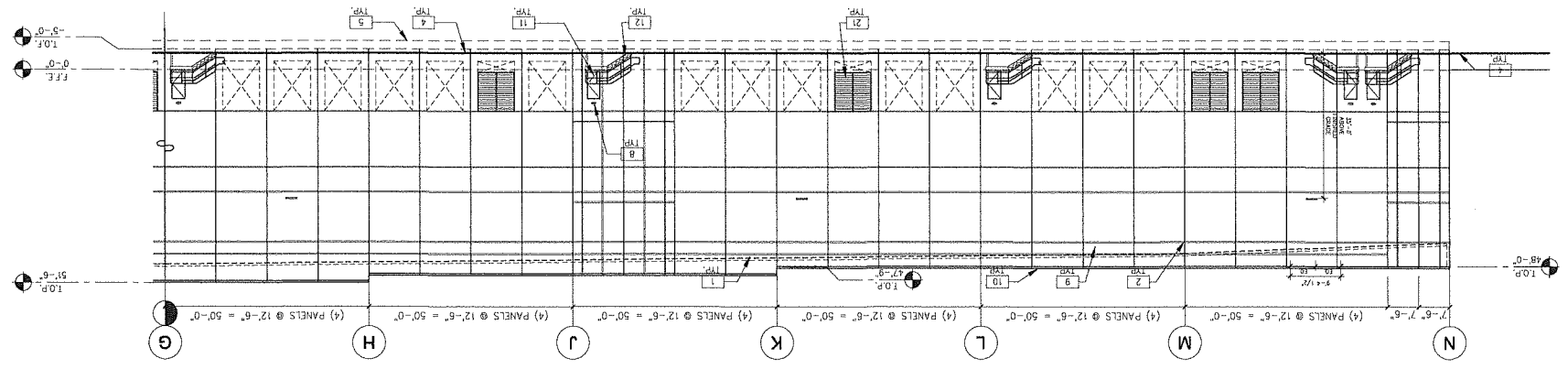
4 TYPICAL STAIR TOWER ELEVATION SCALE: 1/16"=1'-0"



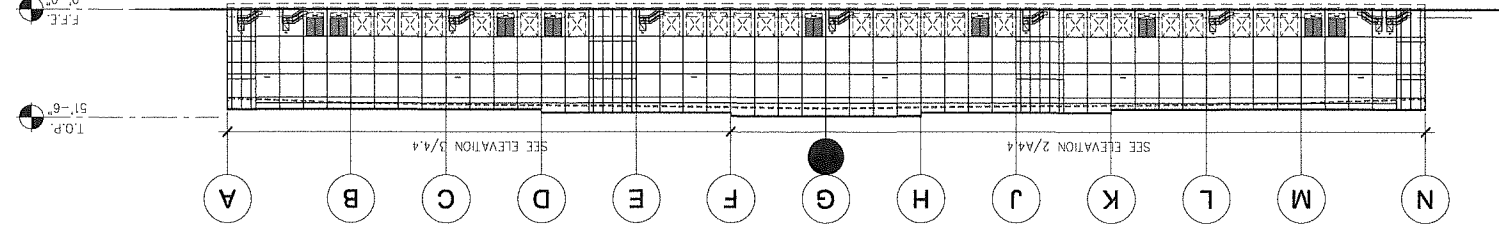
3 PARTIAL SOUTH BUILDING ELEVATION SCALE: 3/64"=1'-0"



2 PARTIAL SOUTH BUILDING ELEVATION SCALE: 3/64"=1'-0"



1 OVERALL SOUTH BUILDING ELEVATION SCALE: 1"=50'-0"



- ELEVATION NOTES**
SEE SHEET A0.2 FOR GENERAL NOTES
- INSULATED PRECAST WALL PANEL W/ REVEALS - TEXTURED COATING.
 - INSULATED PRECAST WALL JOINT. SEE DETAIL 3/A12.3
 - ALUMINUM GLAZING SYSTEM WITH 1" THICK LOW-E INSULATED GLASS.
 - FINISH GRADE, VARIES.
 - CONCRETE FOOTING. SEE STRUCTURAL DWG.
 - PRE-MANUFACTURED STEEL CANOPY STRUCTURE W/ PREFINISHED METAL FASCIA & COLUMNS W/ LED SURFACE MOUNTED LIGHT FIXTURES. THE DOWNSPOUTS INTO UNDERGROUND STORM SYSTEM. SEE PLUMBING AND CIVIL DWG.
 - COMPOSITE ALUMINUM CANOPY W/ ADJUSTABLE STRUT ROD SUPPORTS. SEE DETAIL 19/A12.20
 - WALL PACK LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
 - LINE OF ROOF BEYOND.
 - PREFINISHED METAL COPING.
 - PAINTED HOLLOW METAL DOOR AND FRAME.
 - STAIR AND RAILING. SEE DETAILS 1 & 11/A12.5
 - FIXED STEEL BOLLARD. SEE DETAIL 5/A12.10
 - 9' X 10' VERTICAL LIFT OVERHEAD DOOR. SEE DOOR SCHEDULE.
 - 1/4" X 16" MOTORIZED HIGH LIFT INSULATED OVERHEAD DOOR & CONCRETE RAMP. SEE DOOR SCHEDULE AND DETAIL 13/A12.10
 - ILLUMINATED BUILDING SIGN (BY OTHERS).
 - OVERFLOW DAYLIGHT DRAIN. SEE DETAIL 15/A12.2
 - SCUPPER OPENING. SEE DETAIL 13/A12.2
 - COMBINATION DOCK SEAL AND AQUASHIELD RAIN SEALING SYSTEM.
 - OVERFLOW EXITING. SEE DETAIL 21/A12.1
 - PRE-FINISHED INTAKE METAL LOUVER THERMALLY BROKEN. SEE MECHANICAL DRAWINGS - SEE 11 & 12/A12.3 FOR DETAIL.
 - COORDINATE ROUGH OPENING SIZE WITH ACTUAL LOUVER SIZE.
 - PRE-FINISHED METAL LOUVER - SEE MECH. DWG. COORDINATE ROUGH OPENING SIZE WITH ACTUAL LOUVER SIZE.
 - INSTALL SAFETY & SECURITY FILM TO WHERE EXPOSED TO WAREHOUSE (EXCLUDED PANELS AT OFFICES) 15'-0" A.F.F. & LOWER.
 - STAIR TOWER BEYOND.

- LEGEND**
- VISION GLASS, 1" INSULATING GLAZING WITH "LOW-E"; GUARDIAN CRISTALGRAY W/ SUNGUARD SUPERSTRIAL 62/27 ON #2 SURFACE.
 - SPANDREL GLASS, AS PER VISION W/ IOD HIGH PERFORMANCE 3-0770 WARM GRAY COATING ON #4 SURFACE.
 - DESIGN CRITERIA FOR ALL GLASS USED ON THE ENVELOPE OF THE BUILDING: U FACTOR = 0.29, VT = 44, AND SHGC = 0.22
 - GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT.
 - TEMPERED GLASS.

- COLOR LEGEND**
SEE SHEET A4.7 FOR COLOR PALETTE
- PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- P-1 TEXTURED ACRYLIC COATING (RGB 266 - 244 - 214) SHERWIN WILLIAMS MATCH COLOR SW#7049 "NUANCE"
 - P-2 TEXTURED ACRYLIC COATING (RGB 172 - 167 - 158) SHERWIN WILLIAMS MATCH COLOR SW#7017 "DORIAN GRAY"
 - P-3 TEXTURED ACRYLIC COATING (RGB 144 - 138 - 131) SHERWIN WILLIAMS MATCH COLOR SW#7018 "DOVE TAIL"
 - P-4 TEXTURED ACRYLIC COATING (RGB 0 - 169 - 224) #2995C SHERWIN WILLIAMS MATCH PANTONE COLOR (CMYK 83 - 1 - 0 - 0)

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ELEVATIONS - SOUTH

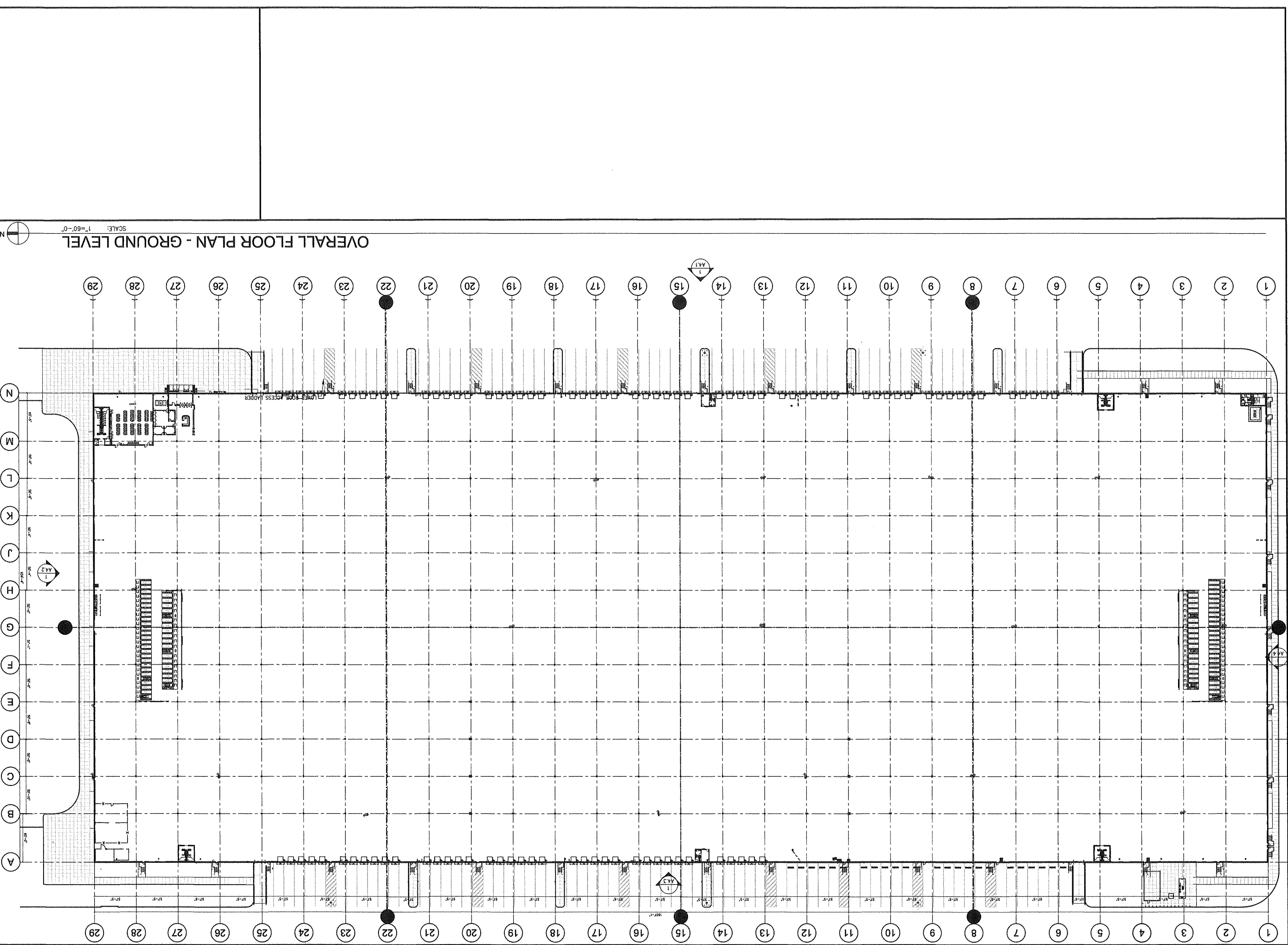
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SHEET A4.4



OVERALL FLOOR PLAN - GROUND LEVEL

SCALE: 1"=60'-0"



A1.0
SHEET

JOB NO.:	xxx00-0000-00
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DATE	REMARKS
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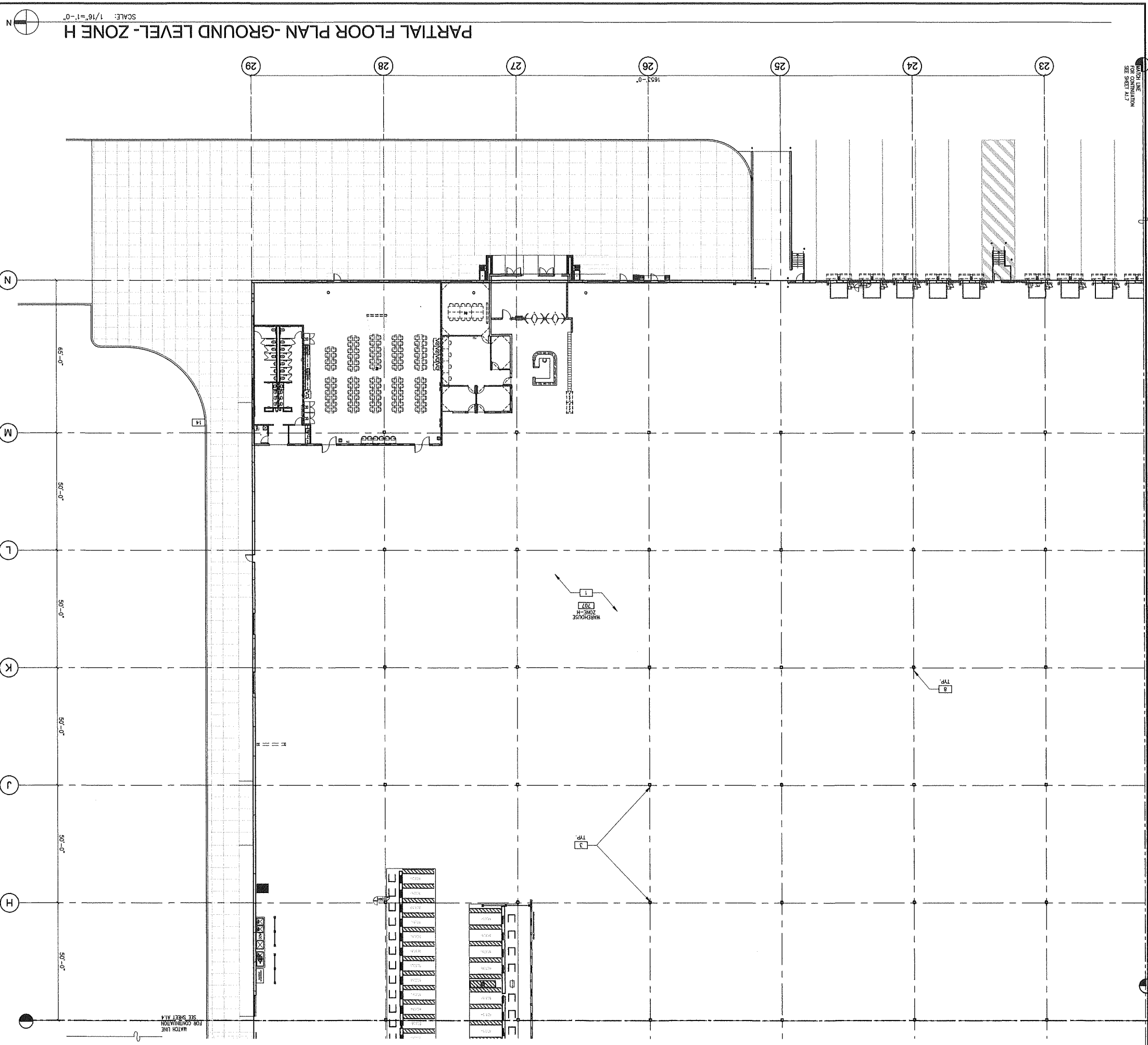
BUILDING 2
HUDSON, NEW HAMPSHIRE

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MATCH LINE
FOR CONTINUATION
SEE SHEET A17



SCALE: 1/16"=1'-0"

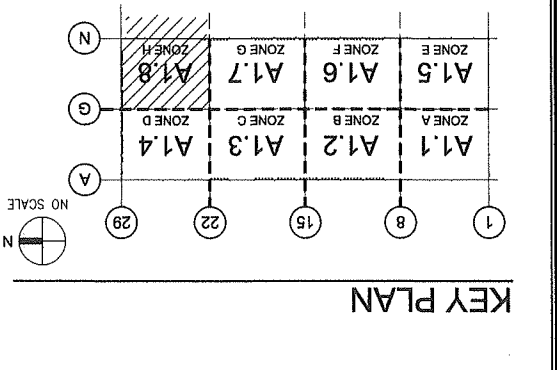
PARTIAL FLOOR PLAN - GROUND LEVEL - ZONE H

PLAN SPECIFIC NOTES

- SEE SHEET A0.2 AND A0.2a FOR GENERAL NOTES
- 1 CONCRETE SLAB, SEE STRUCTURAL DRAWINGS.
 - 2 INSULATED PRECAST CONCRETE WALL PANEL.
 - 3 STRUCTURAL COLUMN, SEE STRUCTURAL DRAWINGS.
 - 4 EDGE OF MEZZANINE ABOVE.
 - 5 VRC PIT, VERIFY DIMENSIONS WITH EQUIPMENT, SEE DETAIL 11/A12.8a.
 - 6 ELECTRICAL PANELS, SEE ELECTRICAL DRAWINGS.
 - 7 42" HIGH METAL GUARDRAIL, SEE DETAILS 8/A12.5.
 - 8 FIRE EXTINGUISHER.
 - 9 CANOPY LINE ABOVE.
 - 10 WALL MOUNTED BENT STEEL PIPE GUARD, SEE DETAIL 10/A12.2a.
 - 11 EXPANSION JOINT, SEE SPECIFICATIONS AND STRUCTURAL DRAWINGS.
 - 12 PROVIDE AND INSTALL EMERGENCY SHOWER AND EYE WASH UNIT SPEAKMAN 602 SAFE-T-ZONE SELECT SERIES COMBINATION SHOWER, INSTALL.
 - 13 DEDICATED HOT WATER HEATER, SEE PLUMBING. MDP CABINET LOCATION TO BE CONFIRMED BY TENANT PRIOR TO FINAL PLACEMENT.
 - 14 ELECTRICAL SWITCH GEAR/EQUIPMENT, SEE ELECTRICAL DRAWINGS.
 - 15 ROOF ACCESS LADDER (SEE SHEET A12.5 DETAILS 14)

- NOTE: SEE #4/A12.6 OR STRUCTURAL DRAWINGS FOR METAL WALL STUD TABLE TO SELECT APPROPRIATE FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER BY LARSEN'S MANUFACTURING CO. CABINET TO BE ARCHITECTURAL SERIES VERTICAL DUO, STEEL WITH BAKED WHITE FINISH. EXTINGUISHER TO BE "M10" 4A-80B:C, U.N.O. SEE DETAIL #8/A12.8.
 - FE0 PROVIDE WALL-MOUNTED FIRE EXTINGUISHER, "M10" BY LARSEN'S MANUFACTURING CO. 4A-80B:C, WITH WALL HANGING BRACKET & SIGNS.
 - FE1 PROVIDE 15.5LB HALOTRON WALL-MOUNTED FIRE EXTINGUISHER 2A-10B:C WITH BRACKET & SIGN.
 - CR CARD READER LOCATION-BY SECURITY VENDOR, G.C. TO PROVIDE POWER TO ALL LOCATIONS AND CONDUIT PULLSTRING AT HARD WALL LOCATIONS FOR SECURITY VENDOR DATA LINES. SEE SPECIFICATIONS FOR MORE INFO.
 - W NEW CHILLED WATER COOLER FOR WAREHOUSE. PROVIDE POWER, AND PLUMBING LINE AS REQUIRED. SEE PLUMBING AND ELECTRICAL DRAWINGS. FINAL NUMBER AND LOCATIONS TBD.
 - WI - 1ST FLOOR. NOTE: GC TO VERIFY WITH TENANT FINAL INSTALLATION LOCATIONS & ALL QUANTITIES.
 - EW1 ELECTRIC WATER HEATER - SEE PLUMBING
 - EQ EQUIPMENT TAG - SEE EQUIPMENT SCHEDULE ON SHEET A2.0
 - DD DOOR TAG - SEE DOOR SCHEDULE ON SHEETS A11.X SERIES
 - W WINDOW TAG - SEE WINDOW ELEVATIONS ON SHEET A11.6

- WALL LEGEND
- PROVIDE VERTICAL DRYWALL EXPANSION JOINTS @30" O.C. MAXIMUM, TYP. SEE DETAIL #12/A12.8b. SEE WALL TYPE SCHEDULE 2/A12.8
- 0 PRE-CAST CONCRETE SHELL WALL
 - 1 SHELL WALL W/ FURRING
 - 2 1-HR. ELEVATOR SHAFT WALL
 - 3 1-HR. FIRE BARRIER FOR OCC. SEPARATION/EXIT PASSAGE WAY
 - 4 FULL HEIGHT NON-RATED PARTITION
 - 5 PARTITION TO 6" ABOVE CEILING
 - 6 PLUMBING CHASE WALL TO 6" ABOVE CEILING
 - 7 PARTITION TO UNDERSIDE OF CEILING
 - 8 FOR HEIGHTS.
 - 9 CMU WALL
 - 10 CHAINLINK FENCE



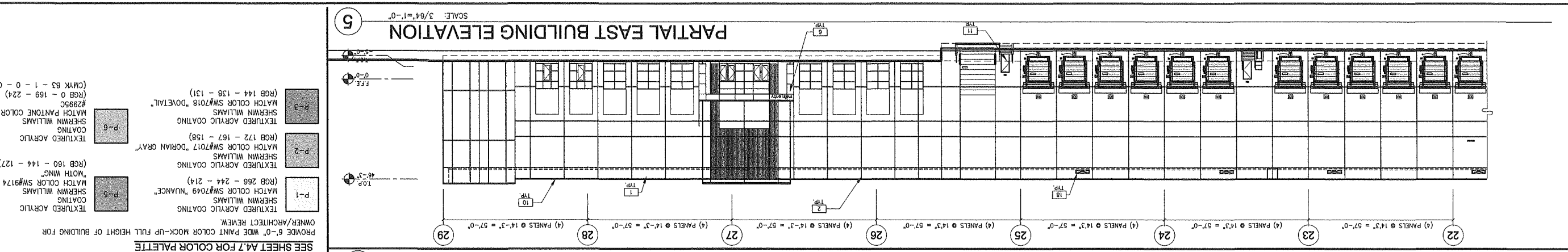
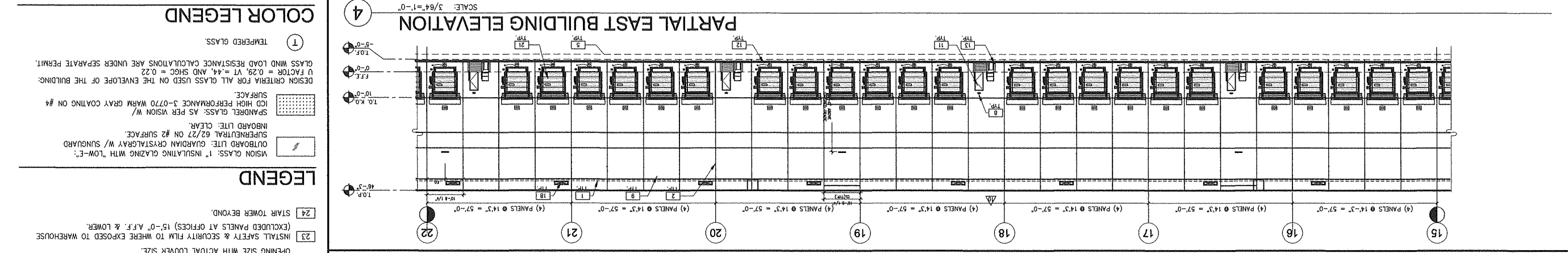
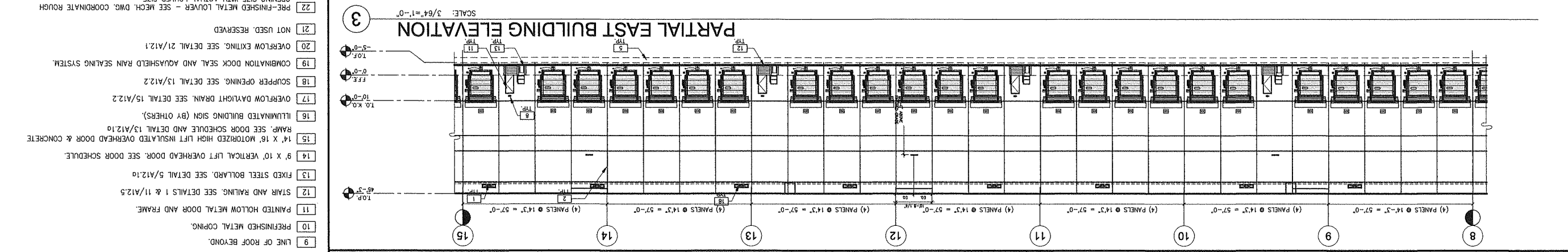
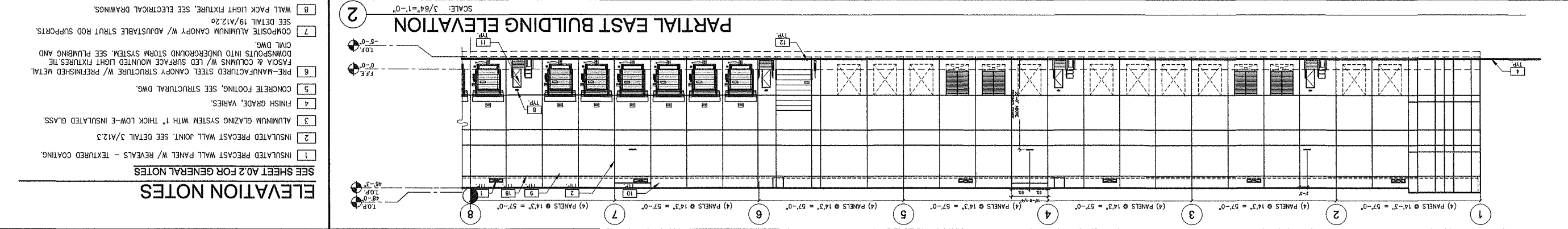
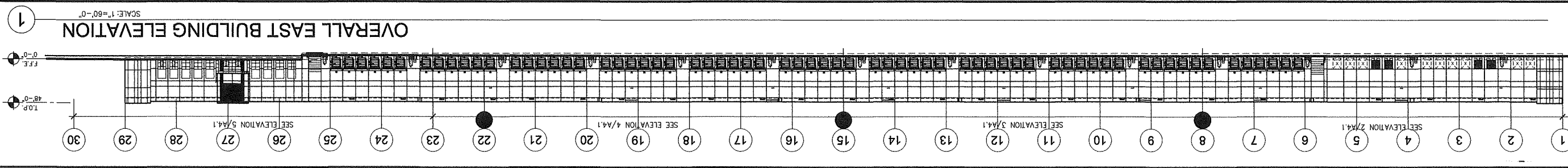
NO SCALE

PARTIAL PP - GROUND	
REMARKS	DATE
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BUILDING 2
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ELEVATION NOTES
SEE SHEET A0.2 FOR GENERAL NOTES

- 1 INSULATED PRECAST WALL PANEL W/ REVEALS - TEXTURED COATING.
- 2 INSULATED PRECAST WALL JOINT. SEE DETAIL 3/A12.3
- 3 ALUMINUM GLAZING SYSTEM WITH 1" THICK LOW-E INSULATED GLASS.
- 4 FINISH GRADE, VARIES.
- 5 CONCRETE FOOTING. SEE STRUCTURAL DWG.
- 6 PRE-MANUFACTURED STEEL CANOPY STRUCTURE W/ PREFINISHED METAL FASCIA & COLUMNS W/ LED SURFACE MOUNTED LIGHT FIXTURES. THE DOWNSPOUTS INTO UNDERGROUND STORM SYSTEM. SEE PLUMBING AND CIVIL DWG.
- 7 COMPOSITE ALUMINUM CANOPY W/ ADJUSTABLE STRUT ROD SUPPORTS. SEE DETAIL 19/A12.20
- 8 WALL PACK LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- 9 LINE OF ROOF BEYOND.
- 10 PREFINISHED METAL COPING.
- 11 PAINTED HOLLOW METAL DOOR AND FRAME.
- 12 STAIR AND RAILING. SEE DETAILS 1 & 11/A12.5
- 13 FIXED STEEL BOLLARD. SEE DETAIL 5/A12.10
- 14 9' X 10' VERTICAL LIFT OVERHEAD DOOR. SEE DOOR SCHEDULE.
- 15 14' X 16' MOTORIZED HIGH LIFT INSULATED OVERHEAD DOOR & CONCRETE RAMP. SEE DOOR SCHEDULE AND DETAIL 13/A12.10
- 16 ILLUMINATED BUILDING SIGN (BY OTHERS).
- 17 OVERFLOW DAYLIGHT DRAIN. SEE DETAIL 15/A12.2
- 18 SCUPPER OPENING. SEE DETAIL 13/A12.2
- 19 COMBINATION DOCK SEAL AND AQUASHIELD RAIN SEALING SYSTEM.
- 20 OVERFLOW EXITING. SEE DETAIL 21/A12.1
- 21 NOT USED. RESERVED
- 22 PRE-FINISHED METAL LOUVER - SEE MECH. DWG. COORDINATE ROUGH OPENING SIZE WITH ACTUAL LOUVER SIZE.
- 23 INSTALL SAFETY & SECURITY FILM TO WHERES EXPOSED TO WAREHOUSE (EXCLUDED PANELS AT OFFICES) 15'-0" A.F.F. & LOWER.
- 24 STAIR TOWER BEYOND.

- LEGEND**
- VISION GLASS. 1" INSULATING GLAZING WITH "LOW-E".
 - OUTBOARD LITE. GUARDIAN CRYSOTALGRAY W/ SUNGUARD
 - SUPERNEUTRAL 62/27 ON #2 SURFACE.
 - INBOARD LITE. CLEAR.
 - SPANDREL GLASS. AS PER VISION W/ ICD HIGH PERFORMANCE 3-0770 WARM GRAY COATING ON #4 SURFACE.
 - DESIGN CRITERIA FOR ALL GLASS USED ON THE ENVELOPE OF THE BUILDING: U FACTOR = 0.29, VT = .44, AND SHGC = 0.22
 - GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT.
 - TEMPERED GLASS.

- COLOR LEGEND**
SEE SHEET A4.7 FOR COLOR PALETTE
- PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- P-1 TEXTURED ACRYLIC COATING
SHERWIN WILLIAMS MATCH COLOR SW#2049 "NUANCE"
(RGB 266 - 244 - 214)
 - P-2 TEXTURED ACRYLIC COATING
SHERWIN WILLIAMS MATCH COLOR SW#2017 "DORIAN GRAY"
(RGB 172 - 167 - 158)
 - P-3 TEXTURED ACRYLIC COATING
SHERWIN WILLIAMS MATCH COLOR SW#1018 "DOVE TAIL"
(RGB 144 - 138 - 131)
- (RGB 0 - 169 - 224)
#2995C
MATCH PANTONE COLOR COATING
SHERWIN WILLIAMS
TEXTURED ACRYLIC COATING
(CMXK B3 - 1 - 0 - 0)

ELEVATIONS - EAST

DATE	REMARKS
04/20/2020	PROGRESS SUBMITTAL

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DRAWN BY:	LM
JOB NO.:	xxxx-0000-00

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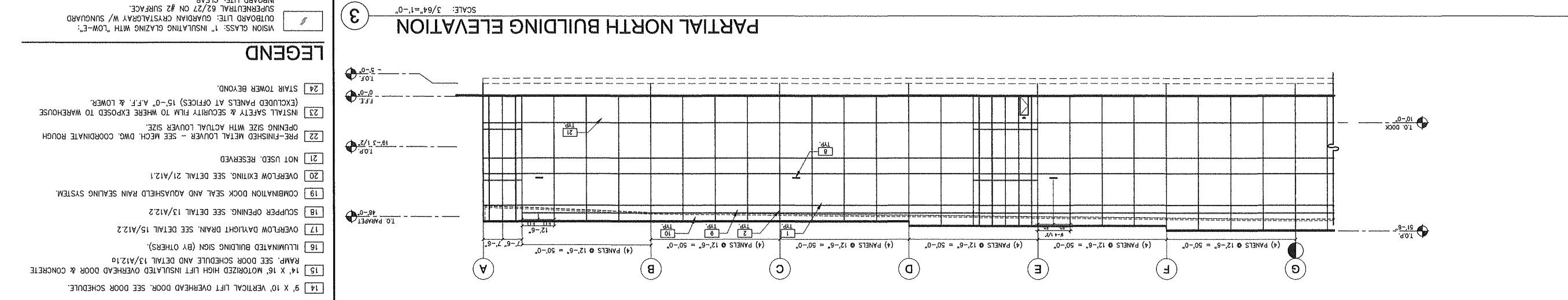
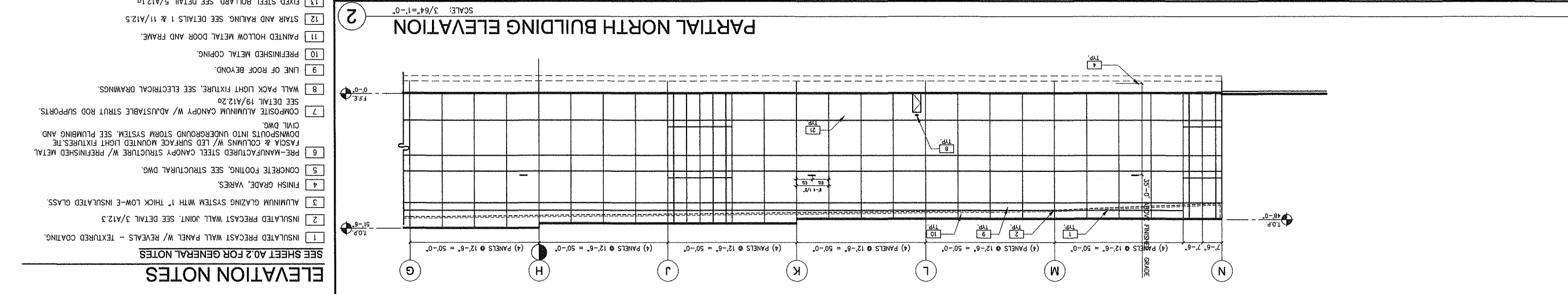
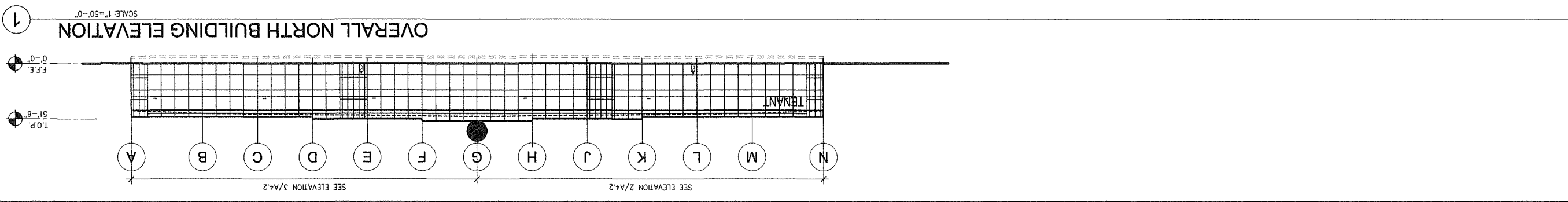
BUILDING 2
HUDSON, NEW HAMPSHIRE

A4.1
SHEET

DATE: 04/20/2020
PROJECT: PROGRESS SUBMITTAL

JOB NO.: xxx-0000-00
DRAWN BY: LM
PA / PM: AS/CR/AM

SCALE: 1/8"=1'-0"



SEE SHEET A4.7 FOR COLOR PALETTE

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

P-1	TEXTURED ACRYLIC COATING	(RGB 266 - 244 - 214)
P-2	TEXTURED ACRYLIC COATING	(RGB 172 - 167 - 158)
P-3	TEXTURED ACRYLIC COATING	(RGB 144 - 138 - 131)
P-5	TEXTURED ACRYLIC COATING	(RGB 160 - 144 - 127)
P-6	TEXTURED ACRYLIC COATING	(CMYK 83 - 1 - 0 - 0)

MATCH COLOR SW#7018 'DOVETAIL' (RGB 0 - 169 - 224) #2995C
SHERWIN WILLIAMS MATCH PANTONE COLOR

MATCH COLOR SW#7017 'DORIAN GRAY' (RGB 172 - 167 - 158)
SHERWIN WILLIAMS MATCH PANTONE COLOR

MATCH COLOR SW#7049 'NUANCE' (RGB 266 - 244 - 214)
SHERWIN WILLIAMS MATCH PANTONE COLOR

MATCH COLOR SW#9174 'MOTH WING' (RGB 160 - 144 - 127)
SHERWIN WILLIAMS MATCH PANTONE COLOR

TEMPERED GLASS. (T)

DESIGN CRITERIA FOR ALL GLASS USED ON THE ENVELOPE OF THE BUILDING:
U FACTOR = 0.29, VT = 44, AND SHGC = 0.22
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT.

VISION GLASS: 1" INSULATING GLAZING WITH "LOW-E";
OUTBOARD LITE: QUARTZ CRYSTALGRAY W/ SUNGUARD
SUPERNUAL 62/27 ON #2 SURFACE.

SPANDREL GLASS: AS PER VISION W/
ICD HIGH PERFORMANCE 3-0770 WARM GRAY COATING ON #4 SURFACE.

INBOARD LITE: CLEAR.

LEGEND

- 24 STAIR TOWER BEYOND.
- 23 INSTALL SAFETY & SECURITY FILM TO WHERE EXPOSED TO WAREHOUSE (EXCLUDED PANELS AT OFFICES) 15'-0" A.F.F. & LOWER.
- 22 PRE-FINISHED METAL LOUVER - SEE MECH. DWG. COORDINATE ROUGH OPENING SIZE WITH ACTUAL LOUVER SIZE.
- 21 NOT USED, RESERVED.
- 20 OVERFLOW EXITING, SEE DETAIL 21/A12.1
- 19 COMBINATION DOCK SEAL AND AQUASHIELD RAIN SEALING SYSTEM.
- 18 SCUPPER OPENING, SEE DETAIL 13/A12.2
- 17 OVERFLOW DAYLIGHT DRAIN, SEE DETAIL 15/A12.2
- 16 ILLUMINATED BUILDING SIGN (BY OTHERS).
- 15 14' X 16' MOTORIZED HIGH LIFT INSULATED OVERHEAD DOOR & CONCRETE RAMP, SEE DOOR SCHEDULE AND DETAIL 13/A12.10
- 14 9' X 10' VERTICAL LIFT OVERHEAD DOOR, SEE DOOR SCHEDULE.
- 13 FIXED STEEL BOLLARD, SEE DETAIL 5/A12.10
- 12 STAIR AND RAILING, SEE DETAILS 1 & 11/A12.5
- 11 PAINTED HOLLOW METAL DOOR AND FRAME.
- 10 PREFINISHED METAL COPING.
- 9 LINE OF ROOF BEYOND.
- 8 WALL PACK LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS.
- 7 SEE DETAIL 19/A12.20
- 6 COMPOSITE ALUMINUM CANOPY W/ ADJUSTABLE STRUT ROD SUPPORTS. CIVIL DWG.
- 5 DOWNSPROUTS INTO UNDERGROUND STORM SYSTEM, SEE PLUMBING AND FASCIA & COLUMNS W/ LED SURFACE MOUNTED LIGHT FIXTURES, THE PRE-MANUFACTURED STEEL CANOPY STRUCTURE W/ PREFINISHED METAL
- 4 FINISH GRADE, VARIES.
- 3 ALUMINUM GLAZING SYSTEM WITH 1" THICK LOW-E INSULATED GLASS.
- 2 INSULATED PRECAST WALL JOINT, SEE DETAIL 3/A12.3
- 1 INSULATED PRECAST WALL PANEL W/ REVEALS - TEXTURED COATING.

SEE SHEET A0.2 FOR GENERAL NOTES

ELEVATION NOTES

WARE MALCOLM
Looking Design for Commercial Real Estate
180 Main and North Main Street
Warren, New Hampshire 03270
Phone: 603.251.1233
Fax: 603.251.1234
A business name of WMA Inc. d/b/a WMA Group

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DATE: 04/20/2020
REMARKS: PROGRESS SUBMITTAL

JOB NO.: xxx00-0000-00

DRAWN BY: LK

PA/PM: AS/CR/AM

BUILDING 2
HUDSON, NEW HAMPSHIRE

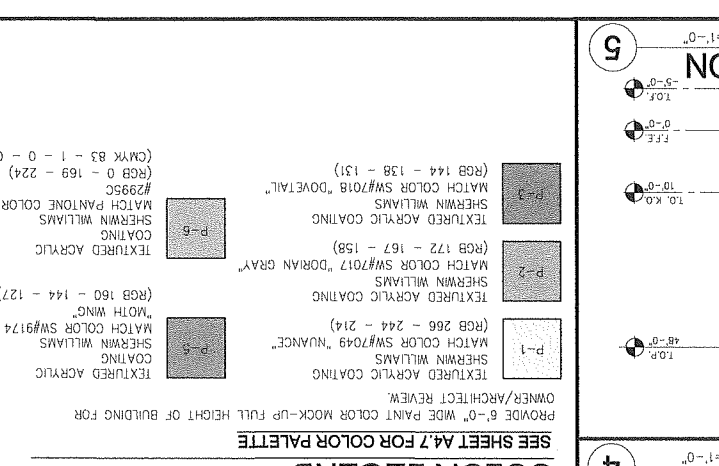
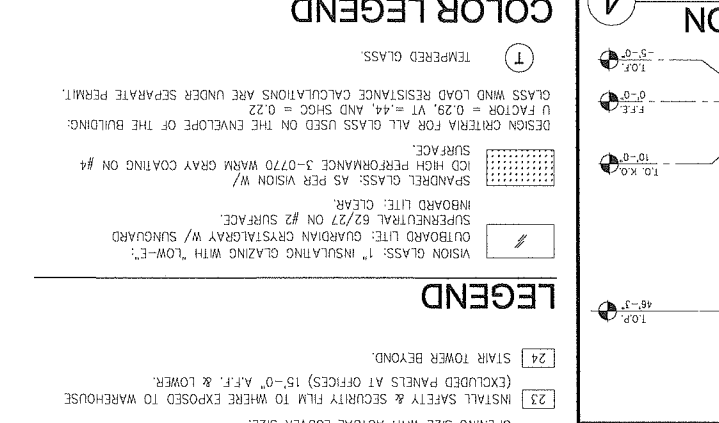
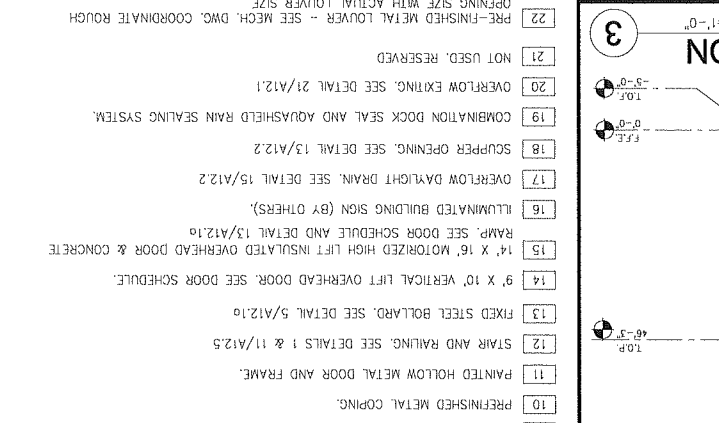
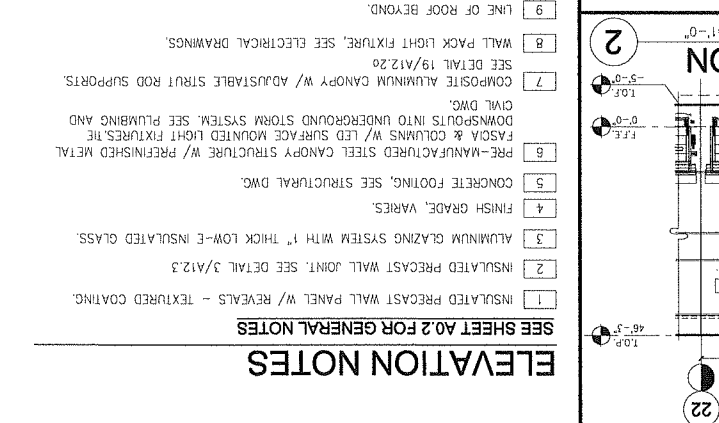
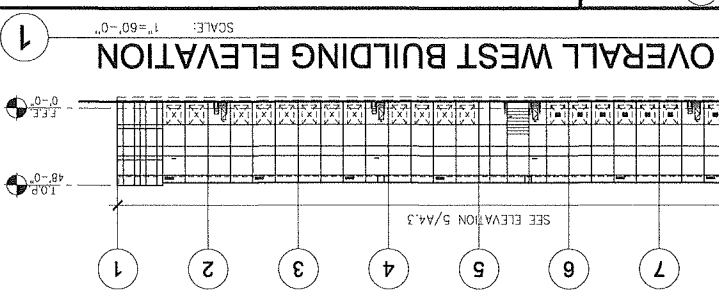
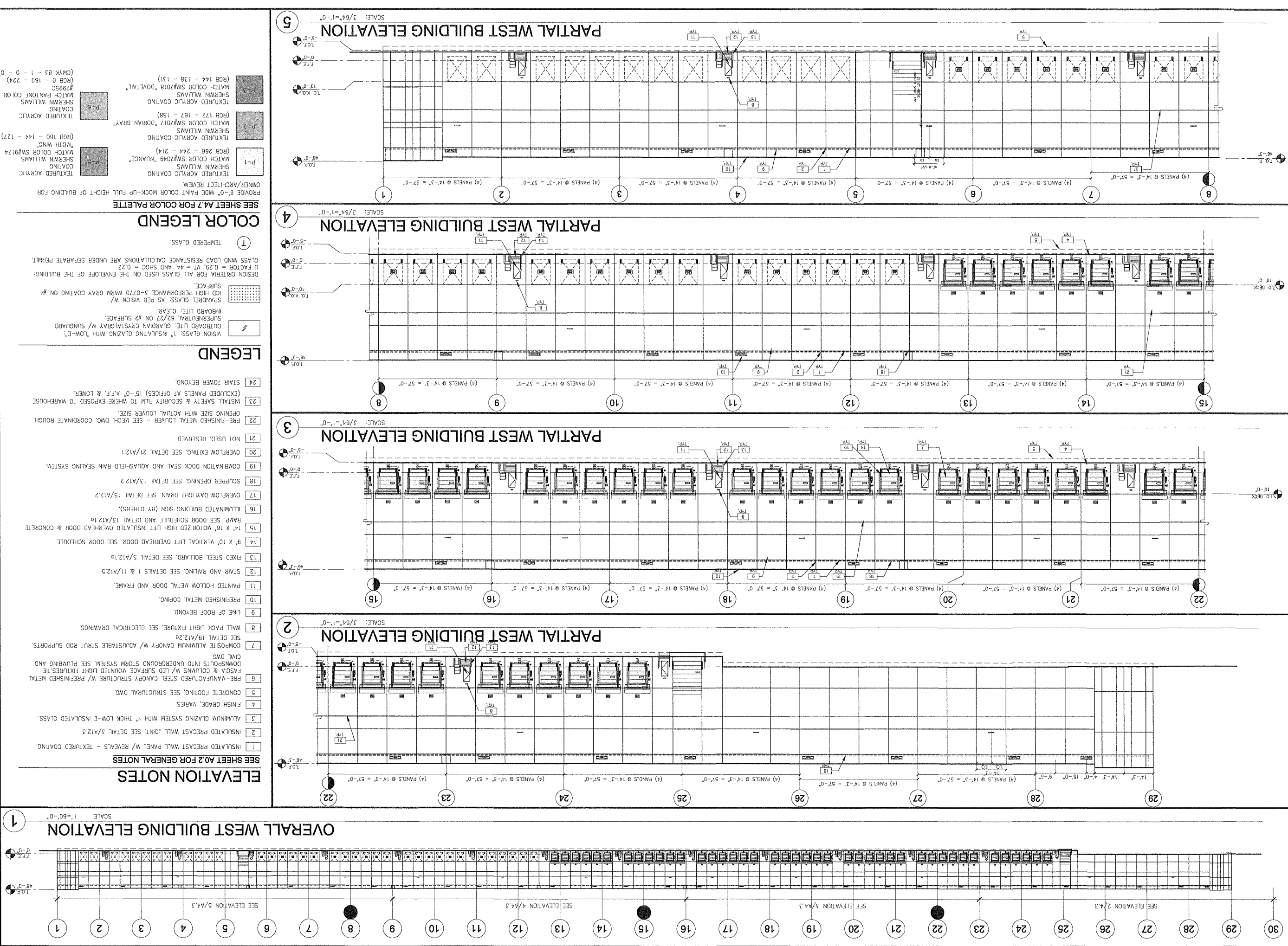
SHEET

A4.2

DATE: 04/20/2020

REMARKS: PROGRESS SUBMITTAL

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Warren, New Hampshire 03270
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Fax: 603.251.1234
A business name of WMA Inc. d/b/a WMA Group



SEE SHEET A0.2 FOR GENERAL NOTES

- ELEVATION NOTES**
- INSULATED PRECAST WALL PANEL W/ REVEALS - TEXTURED COATING.
 - INSULATED PRECAST WALL JOINT. SEE DETAIL 3/A12.3
 - ALUMINUM GLAZING SYSTEM WITH 1" THICK LOW-E INSULATED GLASS.
 - FINISH GRADE, VARIES.
 - CONCRETE FOOTING. SEE STRUCTURAL DWG.
 - PRE-MANUFACTURED STEEL CANOPY STRUCTURE W/ PREFINISHED METAL FASO & COLUMNS W/ LED SURFACE MOUNTED LIGHT FIXTURES. THE DOWNRODS INTO UNDERGROUND STORM SYSTEM. SEE PLUMBING AND CIVIL DWG.
 - COMPOSITE ALUMINUM CANOPY W/ ADJUSTABLE STRUT ROD SUPPORTS. SEE DETAIL 19/A12.2
 - WALL PACK LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
 - LINE OF ROOF BEYOND.
 - PREFINISHED METAL COPING.
 - PAINTED HOLLOW METAL DOOR AND FRAME.
 - STAIR AND RAILING. SEE DETAILS 1 & 11/A12.5
 - FIXED STEEL BOLARD. SEE DETAIL 5/A12.1
 - 9' X 10' VERTICAL LIFT OVERHEAD DOOR. SEE DOOR SCHEDULE.
 - 14' X 16' MOTORIZED HIGH LIFT INSULATED OVERHEAD DOOR & CONCRETE RAMP. SEE DOOR SCHEDULE AND DETAIL 13/A12.1
 - ILLUMINATED BUILDING SIGN (BY OTHERS).
 - OVERFLOW DAYLIGHT DRAIN. SEE DETAIL 15/A12.2
 - SCUPPER OPENING. SEE DETAIL 13/A12.2
 - COMBINATION DOCK SEAL AND AQUASHIELD RAIN SEALING SYSTEM.
 - NOT USED. RESERVED.
 - PRE-FINISHED METAL LOUVER - SEE MECH. DWG. COORDINATE ROUGH OPENING SIZE WITH ACTUAL LOUVER SIZE.
 - INSTALL SAFETY & SECURITY FILM TO WHERE EXPOSED TO WAREHOUSE (EXCLUDED PANELS AT OFFICES) 15'-0" A.F.F. & LOWER.
 - STAIR TOWER BEYOND.

- LEGEND**
- VISION GLASS: 1" INSULATING GLAZING WITH "LOW-E" SUBSTRATE LITE: GUARDIAN CRYSOTALGRAY W/ SUNGUARD SUPERNEUTRAL 62/27 ON #2 SURFACE.
 - SPANDREL GLASS: AS PER VISION W/ ICED HIGH PERFORMANCE 3-0720 WARM GRAY COATING ON #4 SURFACE.
 - DESIGN CRITERIA FOR ALL GLASS USED ON THE ENVELOPE OF THE BUILDING. GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT.
 - TEMPERED GLASS.

- COLOR LEGEND**
- SEE SHEET A4.7 FOR COLOR PALETTE
- PROVIDE 6'-0" WIDE PAINT MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- TEXTURED ACRYLIC COATING
 - SHERWIN WILLIAMS MATCH COLOR SW#7049 "NUANCE"
 - (RGB 266 - 244 - 214)
 - TEXTURED ACRYLIC COATING
 - SHERWIN WILLIAMS MATCH COLOR SW#7017 "DORIAN GRAY"
 - (RGB 172 - 167 - 158)
 - TEXTURED ACRYLIC COATING
 - SHERWIN WILLIAMS MATCH COLOR SW#7018 "DOVE TAIL"
 - (RGB 144 - 138 - 131)
 - TEXTURED ACRYLIC COATING
 - SHERWIN WILLIAMS MATCH PANTONE COLOR (CMXK B3 - 1 - 0 - 0)
 - (RGB 0 - 169 - 224)

ELEVATIONS - WEST

DATE	REMARKS
04/20/2020	PROGRESS SUBMITTAL

PA/PM:	AS/OR/AM
DRAWN BY:	LM
JOB NO.:	KXX00-0000-00

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 Portland, ME 04103
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 Fax: 603.763.1235
 Website: www.waremalcomb.com

BUILDING 2
 HUDSON, NEW HAMPSHIRE

A4.3
 SHEET

DATE: 04/20/2020
 PROGRESS SUBMITTAL

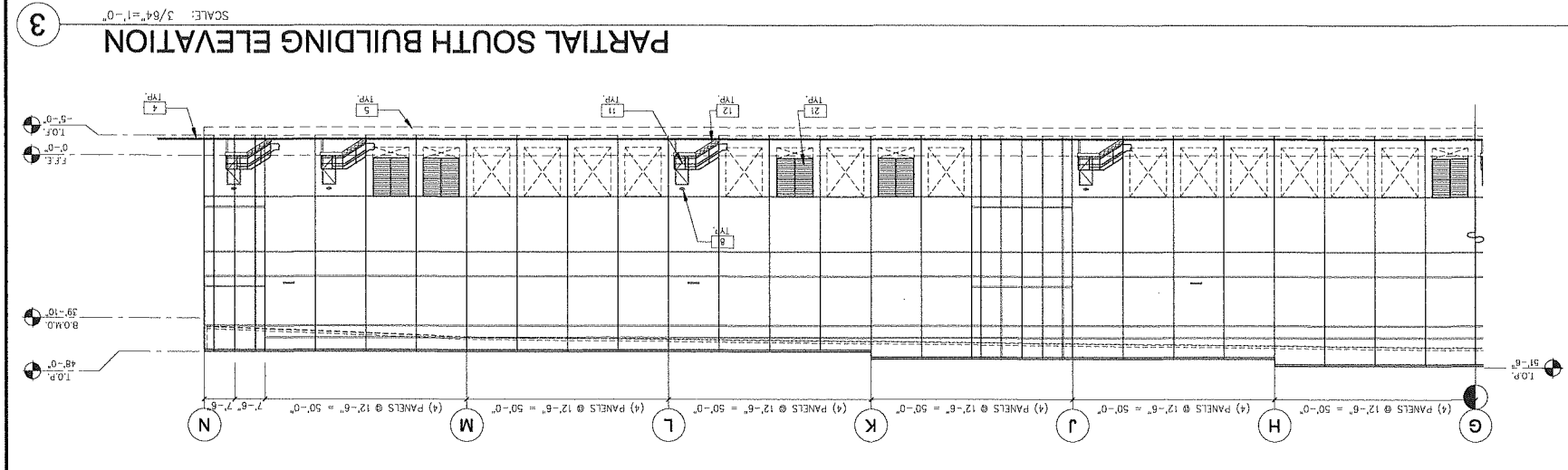
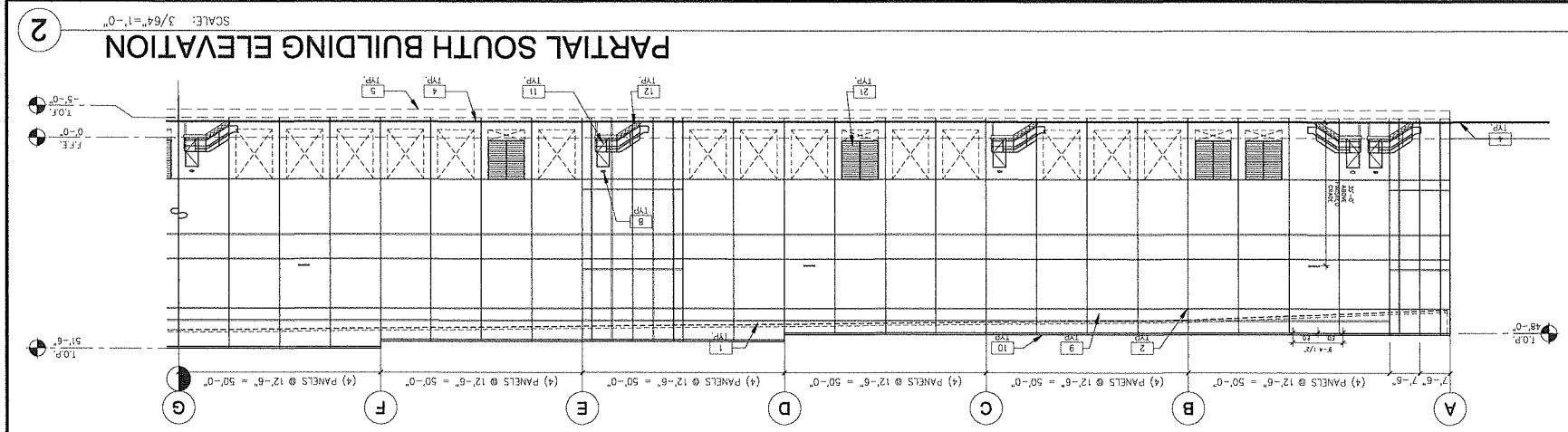
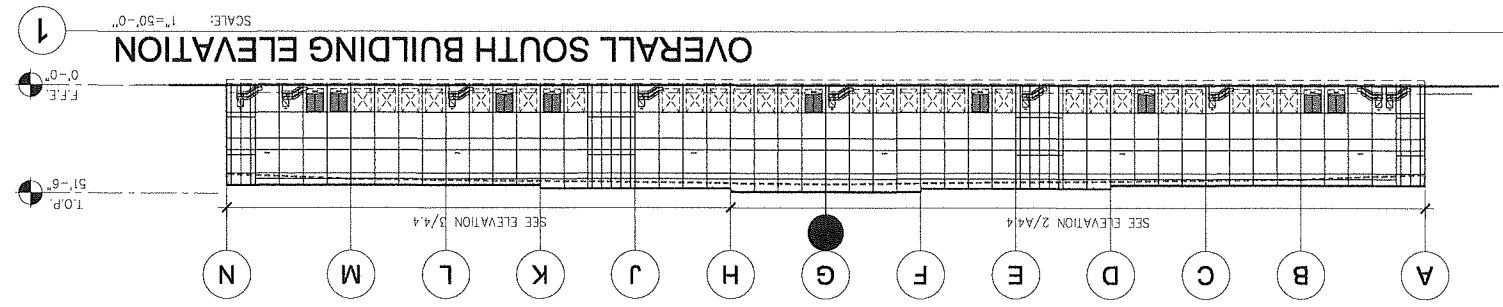
REMARKS

DATE: 04/20/2020
 PROGRESS SUBMITTAL

REMARKS

DATE: 04/20/2020
 PROGRESS SUBMITTAL

REMARKS



ELEVATION NOTES

- SEE SHEET A0.2 FOR GENERAL NOTES
- INSULATED PRECAST WALL PANEL W/ REVEALS - TEXTURED COATING.
 - INSULATED PRECAST WALL JOINT. SEE DETAIL 3/A12.3
 - ALUMINUM GLAZING SYSTEM WITH 1" THICK LOW-E INSULATED GLASS.
 - FINISH GRADE, VARIES.
 - CONCRETE FOOTING. SEE STRUCTURAL DWG.
 - PRE-MANUFACTURED STEEL CANOPY STRUCTURE W/ PREFINISHED METAL FASCIA & COLUMNS W/ LED SURFACE MOUNTED LIGHT FIXTURES. THE DOWNSPUTS INTO UNDERGROUND STORM SYSTEM. SEE PLUMBING AND CIVIL DWG.
 - COMPOSITE ALUMINUM CANOPY W/ ADJUSTABLE STRUT ROD SUPPORTS. SEE DETAIL 19/A12.20
 - WALL PACK LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
 - LINE OF ROOF BEYOND.
 - PREFINISHED METAL COPING.
 - PAINTED HOLLOW METAL DOOR AND FRAME.
 - STAIR AND RAILING. SEE DETAILS 1 & 11/A12.5
 - FIXED STEEL BOLLARD. SEE DETAIL 5/A12.10
 - 9' X 10' VERTICAL LIFT OVERHEAD DOOR. SEE DOOR SCHEDULE.
 - 1/4" X 1/8" MOTORIZED HIGH LIFT INSULATED OVERHEAD DOOR & CONCRETE RAMP. SEE DOOR SCHEDULE AND DETAIL 13/A12.10
 - ILLUMINATED BUILDING SIGN (BY OTHERS).
 - OVERFLOW DAYLIGHT DRAIN. SEE DETAIL 15/A12.2
 - SCUPPER OPENING. SEE DETAIL 13/A12.2
 - COMBINATION DOCK SEAL AND AQUASHIELD RAIN SEALING SYSTEM.
 - OVERFLOW EXTING. SEE DETAIL 21/A12.1
 - NOT USED. RESERVED.
 - PRE-FINISHED METAL LOUVER - SEE MECH. DWG. COORDINATE ROUGH OPENING SIZE WITH ACTUAL LOUVER SIZE.
 - INSTALL SAFETY & SECURITY FILM TO WHERE EXPOSED TO WAREHOUSE (EXCLUDED PANELS AT OFFICES) 15'-0" A.F.F. & LOWER.
 - STAIR TOWER BEYOND.

- LEGEND**
- VISION GLASS: 1" INSULATING GLAZING WITH "LOW-E" SUPERSTRUTAL 62/77 ON #2 SURFACE.
 - OUTWARD LITE: GUARDIAN CRISTALGRAY W/ SUNGUARD
 - INBOARD LITE: CLEAR.
 - SPANDREL GLASS, AS PER VISION W/ TINTED HIGH PERFORMANCE 3-0770 WARM GRAY COATING ON #4 SURFACE.
 - DESIGN CRITERIA FOR ALL GLASS USED ON THE ENVELOPE OF THE BUILDING: U FACTOR = 0.29, VT = 44, AND SHGC = 0.22
 - GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT.
 - TEMPERED GLASS.

- COLOR LEGEND**
- SEE SHEET A4.7 FOR COLOR PALETTE
- PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- P-1: TEXTURED ACRYLIC COATING SHERWIN WILLIAMS MATCH COLOR SW#7049 "NUANCE" (RGB 266 - 244 - 214)
 - P-2: TEXTURED ACRYLIC COATING SHERWIN WILLIAMS MATCH COLOR SW#7017 "DORIAN GRAY" (RGB 172 - 167 - 158)
 - P-3: TEXTURED ACRYLIC COATING SHERWIN WILLIAMS MATCH COLOR SW#7018 "DOVE TAIL" (RGB 144 - 138 - 131)
 - P-4: TEXTURED ACRYLIC COATING SHERWIN WILLIAMS MATCH PANTONE COLOR #2995C (RGB 0 - 169 - 224)
 - (CMYK B3 - 1 - 0 - 0 - 0)

ELEVATIONS - SOUTH

DATE	REMARKS
04/20/2020	PROGRESS SUBMITTAL

PA/PM: AS/CR/AM
JOB NO.: xxx00-0000-00
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A4.4

SHEET

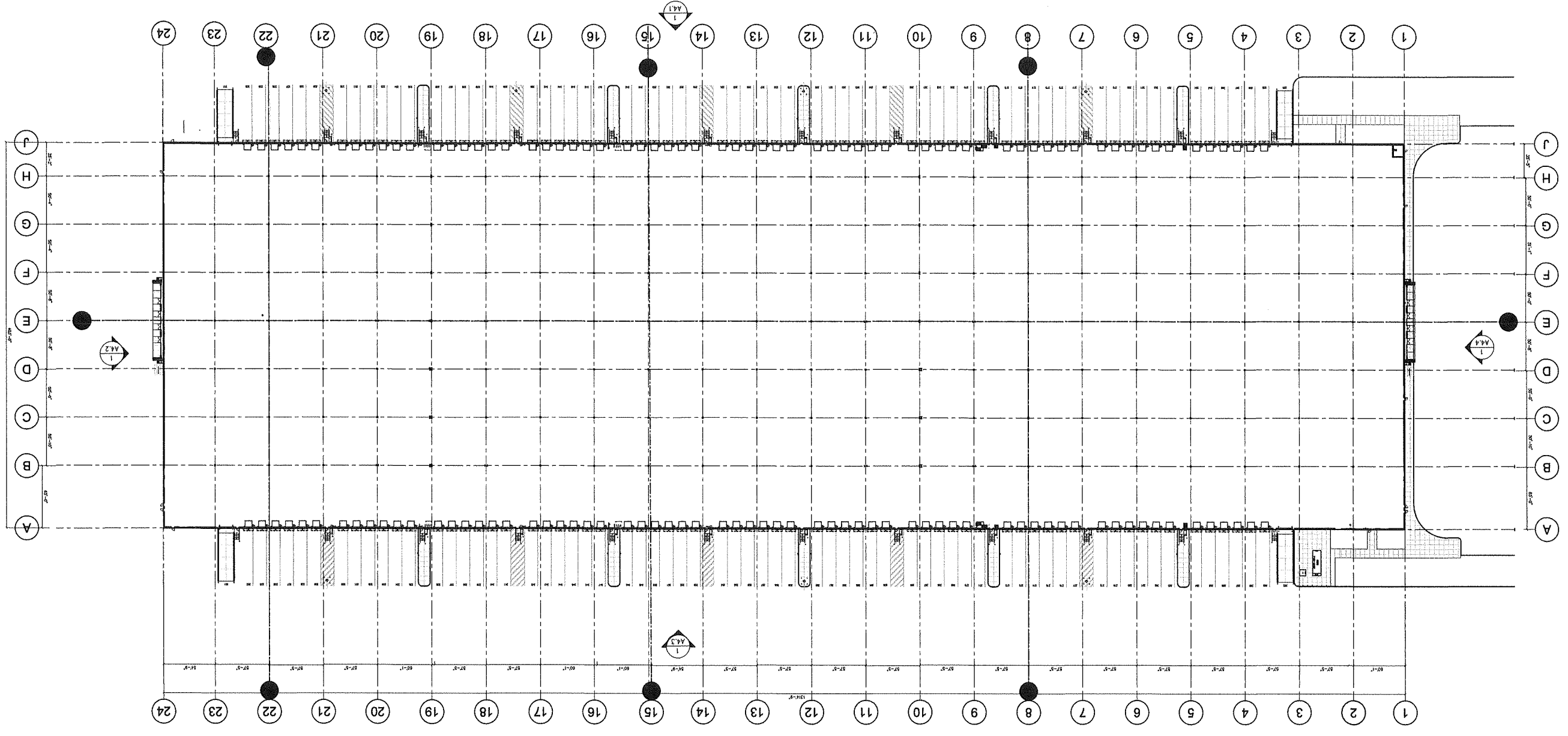
BUILDING 2

HUDSON, NEW HAMPSHIRE

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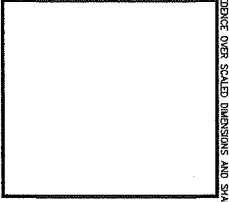
OVERALL FLOOR PLAN - GROUND LEVEL

SCALE: 1"=60'-0"



SHEET		A1.0	
PA / PM:	JS/GY	DRAWN BY:	LM
JOB NO.:	XXXX-0000-00		
OVERALL FP - GROUND		DATE	REMARKS
		04/20/2020	PROGRESS SUBMITTAL

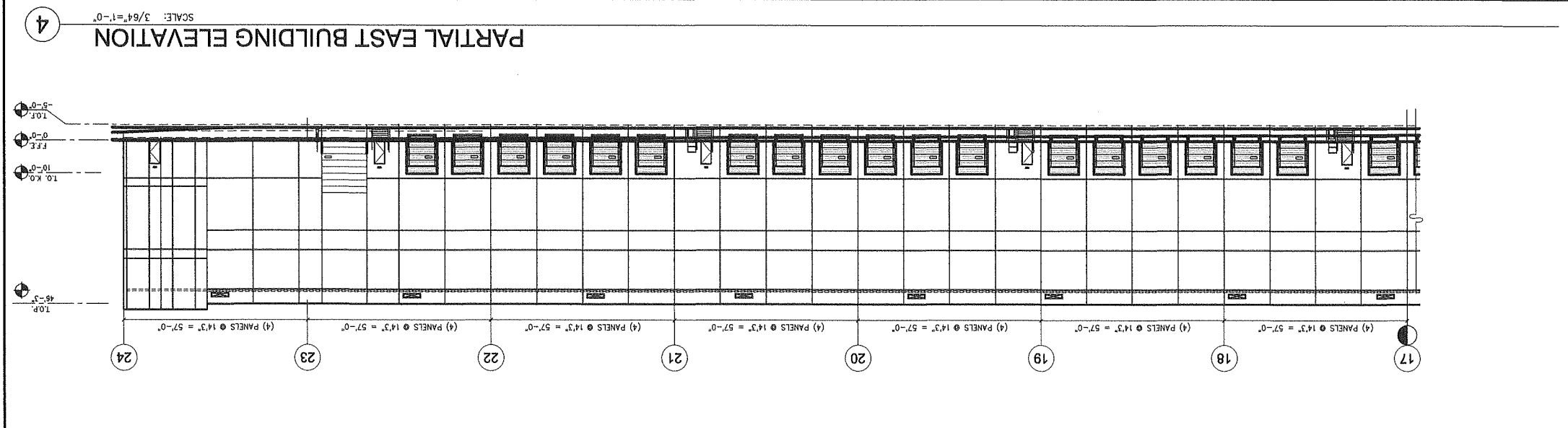
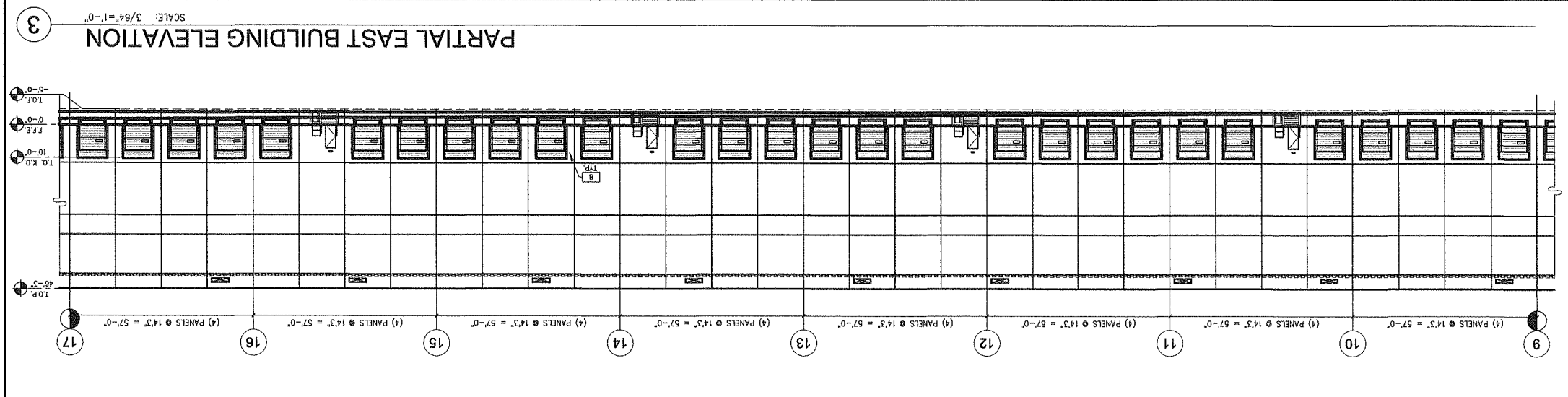
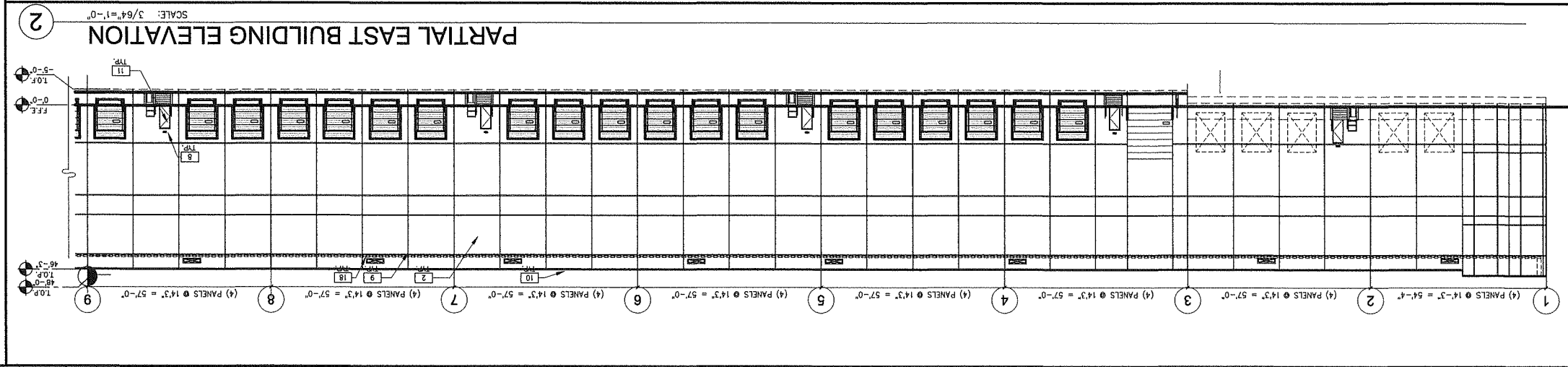
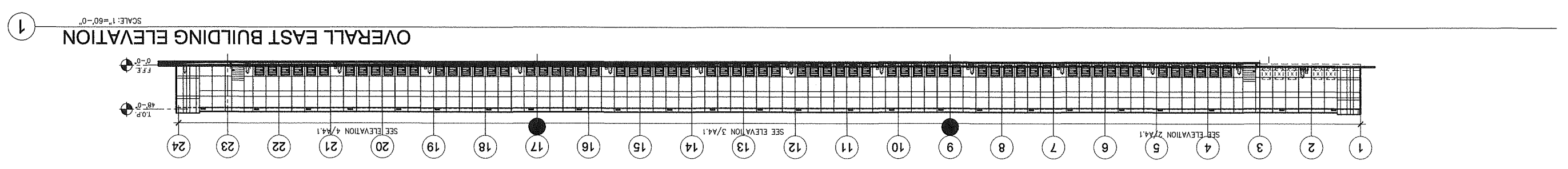
BUILDING 3
HUDSON, NEW HAMPSHIRE



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ELEVATION NOTES
SEE SHEET A0.2 FOR GENERAL NOTES

- 1 INSULATED PRECAST WALL PANEL W/ REVEALS - TEXTURED COATING.
- 2 INSULATED PRECAST WALL JOINT. SEE DETAIL 3/A12.3
- 3 ALUMINUM GLAZING SYSTEM WITH 1" THICK LOW-E INSULATED GLASS.
- 4 FINISH GRADE. VARIES.
- 5 CONCRETE FOOTING. SEE STRUCTURAL DWG.
- 6 PRE-MANUFACTURED STEEL CANOPY STRUCTURE W/ PREFINISHED METAL FASCIA & COLUMNS W/ LED SURFACE MOUNTED LIGHT FIXTURES. THE DOWNSPOUTS INTO UNDERGROUND STORM SYSTEM. SEE PLUMBING AND CIVIL DWG.
- 7 COMPOSITE ALUMINUM CANOPY W/ ADJUSTABLE STRUT ROD SUPPORTS. SEE DETAIL 19/A12.20
- 8 WALL PACK LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- 9 LINE OF ROOF BEYOND.
- 10 PREFINISHED METAL COPING.
- 11 PAINTED HOLLOW METAL DOOR AND FRAME.
- 12 STAIR AND RAILING. SEE DETAILS 1 & 11/A12.5
- 13 FIXED STEEL BOLLARD. SEE DETAIL 5/A12.10
- 14 9' X 10' VERTICAL LIFT OVERHEAD DOOR. SEE DOOR SCHEDULE.
- 15 14' X 16' MOTORIZED HIGH LIFT INSULATED OVERHEAD DOOR & CONCRETE RAMP. SEE DOOR SCHEDULE AND DETAIL 13/A12.10
- 16 ILLUMINATED BUILDING SIGN (BY OTHERS).
- 17 OVERFLOW DAYLIGHT DRAIN. SEE DETAIL 15/A12.2
- 18 SCUPPER OPENING. SEE DETAIL 13/A12.2
- 19 COMBINATION DOCK SEAL AND AQUASHIELD RAIN SEALING SYSTEM.
- 20 OVERFLOW EXITING. SEE DETAIL 21/A12.1
- 21 NOT USED. RESERVED
- 22 PRE-FINISHED METAL LOUVER - SEE MECH. DWG. COORDINATE ROUGH OPENING SIZE WITH ACTUAL LOUVER SIZE.
- 23 INSTALL SAFETY & SECURITY FILM TO WHERE EXPOSED TO WAREHOUSE (EXCLUDED PANELS AT OFFICES) 15'-0" A.F.F. & LOWER.
- 24 STAIR TOWER BEYOND.

- LEGEND**
- VISION GLASS: 1" INSULATING GLAZING WITH "LOW-E"; SUPERNEUTRAL 62/27 ON #2 SURFACE.
 - INSULATING GLAZING SYSTEM WITH 1" THICK LOW-E INSULATED GLASS.
 - WARM GRAY COATING ON #4 SURFACE.
 - ICD HIGH PERFORMANCE 3-0770 WARM GRAY COATING ON #4 SURFACE.
 - DESIGN CRITERIA FOR ALL GLASS USED ON THE ENVELOPE OF THE BUILDING: U FACTOR = 0.29, VT = .44, AND SHGC = 0.22
 - GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT.
 - TEMPERED GLASS.

COLOR LEGEND
SEE SHEET A4.7 FOR COLOR PALETTE

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- P-1 TEXTURED ACRYLIC COATING SHERWIN WILLIAMS MATCH COLOR SW#049 "NUANCE" (RGB 266 - 244 - 214)
- P-2 TEXTURED ACRYLIC COATING SHERWIN WILLIAMS MATCH COLOR SW#2017 "DORIAN GRAY" (RGB 172 - 167 - 158)
- P-3 TEXTURED ACRYLIC COATING SHERWIN WILLIAMS MATCH COLOR SW#2018 "DOVE TAIL" (RGB 144 - 138 - 131)

ELEVATIONS - EAST

DATE	REMARKS
04/20/2020	PROGRESS SUBMITTAL

JOB NO.: XXX00-0000-00

PA / PM: JS/GY

DRAWN BY: LM

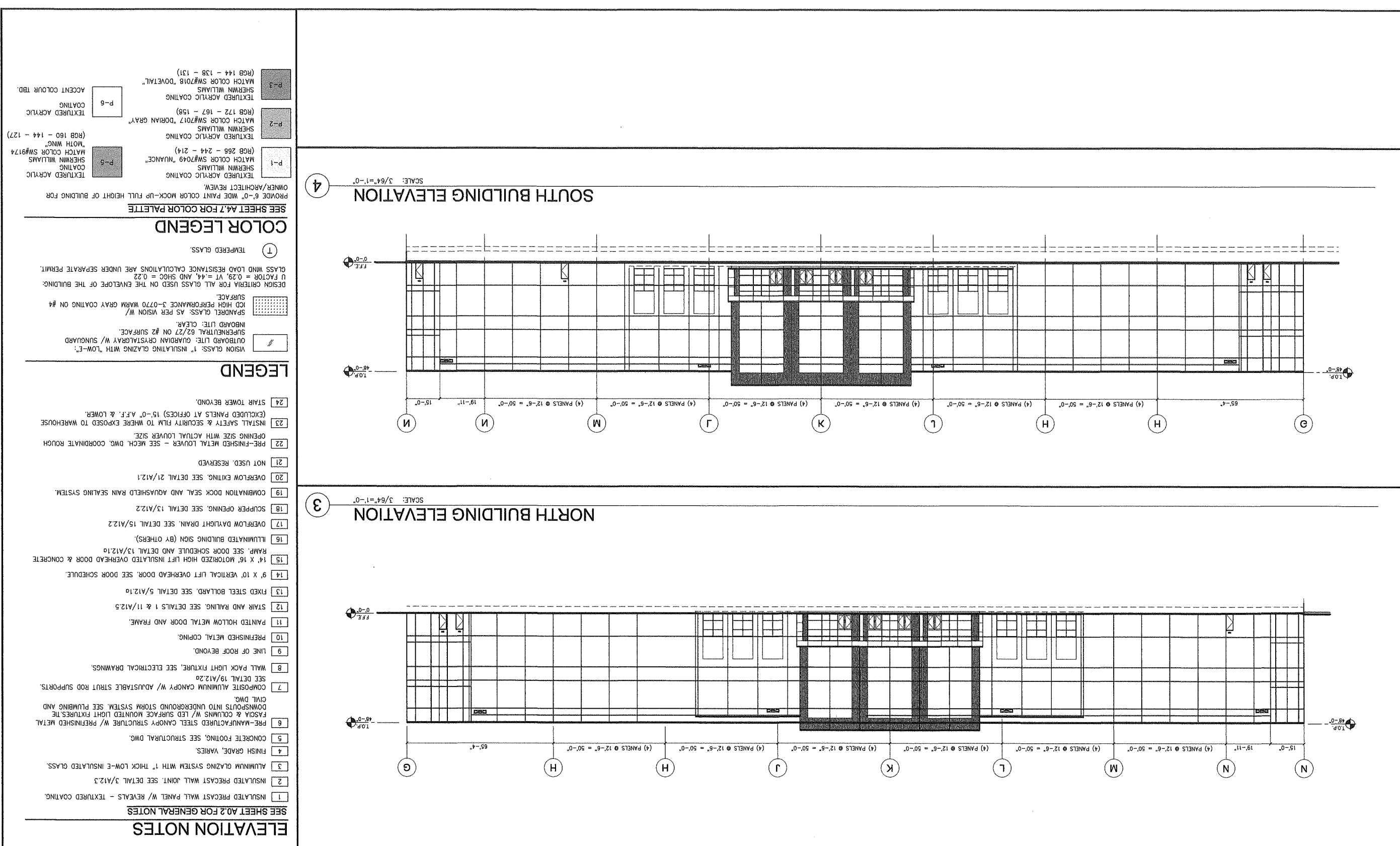
A4.1
SHEET

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BUILDING 3
HUDSON, NEW HAMPSHIRE

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100 New York State Route 100
Saratoga Springs, NY 12158
Tel: 518.584.1100
www.waremalcomb.com



ELEVATION NOTES
SEE SHEET A0.2 FOR GENERAL NOTES

- INSULATED PRECAST WALL PANEL W/ REVEALS - TEXTURED COATING.
- INSULATED PRECAST WALL JOINT. SEE DETAIL 3/A12.3
- ALUMINUM GLAZING SYSTEM WITH 1" THICK LOW-E INSULATED GLASS.
- FINISH GRADE, VARIES.
- CONCRETE FOOTING. SEE STRUCTURAL DWG.
- PRE-MANUFACTURED STEEL CANOPY STRUCTURE W/ PREFINISHED METAL FASCIA & COLUMNS W/ LED SURFACE MOUNTED LIGHT FIXTURES. THE DOWNSPOUTS INTO UNDERGROUND STORM SYSTEM. SEE PLUMBING AND CIVIL DWG.
- COMPOSITE ALUMINUM CANOPY W/ ADJUSTABLE STRUT ROD SUPPORTS. SEE DETAIL 19/A12.20
- WALL PACK LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- LINE OF ROOF BEYOND.
- PREFINISHED METAL COPING.
- PAINTED HOLLOW METAL DOOR AND FRAME.
- STAIR AND RAILING. SEE DETAILS 1 & 11/A12.5
- FIXED STEEL BOLLARD. SEE DETAIL 5/A12.10
- 9' X 10' VERTICAL LIFT OVERHEAD DOOR. SEE DOOR SCHEDULE.
- 14' X 16' HORIZONTAL HIGH LIFT INSULATED OVERHEAD DOOR & CONCRETE RAMP. SEE DOOR SCHEDULE AND DETAIL 13/A12.10
- ILLUMINATED BUILDING SIGN (BY OTHERS).
- OVERFLOW DAYLIGHT DRAIN. SEE DETAIL 15/A12.2
- SCUPPER OPENING. SEE DETAIL 13/A12.2
- COMBINATION DOCK SEAL AND AQUASHIELD RAIN SEALING SYSTEM.
- NOT USED. RESERVED.
- PRE-FINISHED METAL LOUVER - SEE MECH. DWG. COORDINATE ROUGH OPENING SIZE WITH ACTUAL LOUVER SIZE.
- INSTALL SAFETY & SECURITY FILM TO WHERE EXPOSED TO WAREHOUSE (EXCLUDE PANELS AT OFFICES) 15'-0" A.F.F. & LOWER.
- STAIR TOWER BEYOND.

LEGEND

- VISION GLASS: 1" INSULATING GLAZING WITH "LOW-E"; OUTWARD LITE: GUARDIAN CRISTALGRAY W/ SUNGUARD SUPERNEUTRAL 62/27 ON #2 SURFACE.
- INBOARD LITE: CLEAR.
- SPANDREL GLASS: AS PER VISION W/ IOD HIGH PERFORMANCE 3-0770 WARM GRAY COATING ON #4 SURFACE.
- DESIGN CRITERIA FOR ALL GLASS USED ON THE ENVELOPE OF THE BUILDING: U FACTOR = 0.29, VT = 44, AND SHGC = 0.22
- GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT.
- TEMPERED GLASS.

COLOR LEGEND
SEE SHEET A4.7 FOR COLOR PALETTE

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

TEXTURED ACRYLIC COATING
SHERWIN WILLIAMS MATCH COLOR SW#7049 "NUANCE"
(RGB 266 - 244 - 214)

TEXTURED ACRYLIC COATING
SHERWIN WILLIAMS MATCH COLOR SW#7017 "DORIAN GRAY"
(RGB 172 - 167 - 158)

TEXTURED ACRYLIC COATING
SHERWIN WILLIAMS MATCH COLOR SW#7018 "DOVE TAIL"
(RGB 144 - 138 - 131)

ACCENT COLOUR TBD.

ELEVATIONS - NORTH & SOUTH

DATE	REMARKS
04/20/2020	PROGRESS SUBMITTAL

PA / PM: JS/GY
DRAWN BY: LM
JOB NO.: xxx00-0000-00

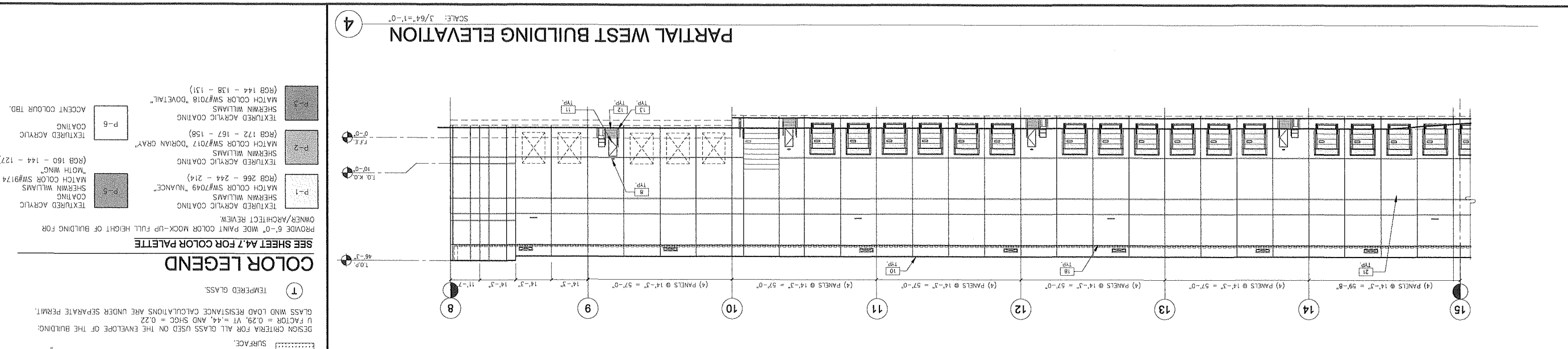
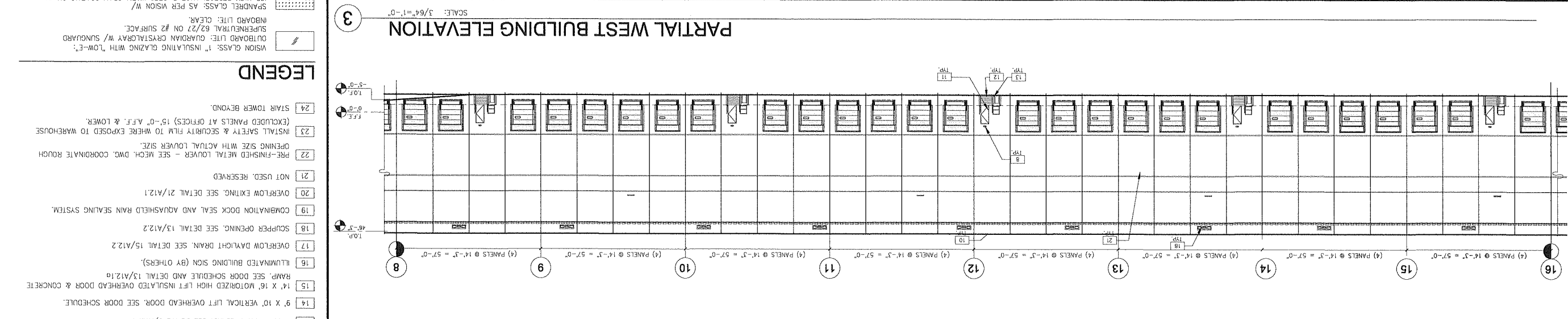
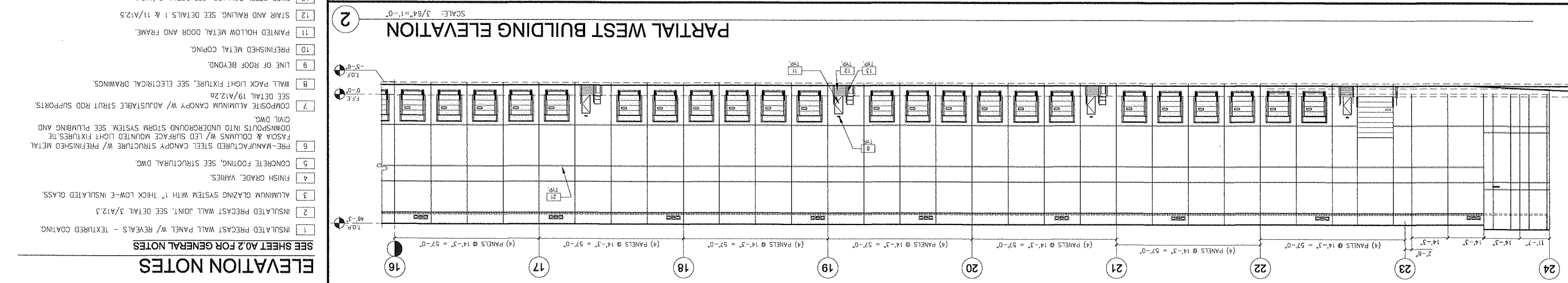
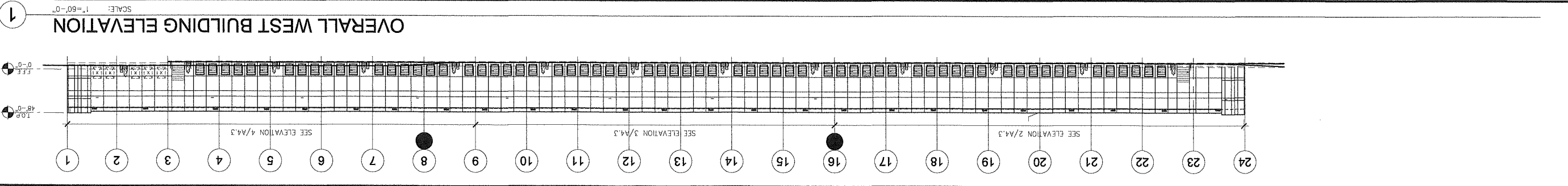
BUILDING 3
HUDSON, NEW HAMPSHIRE

WARE MALCOMB
Leading Design for Commercial Real Estate

Architecture: WARE MALCOMB
Interior Design: WARE MALCOMB
Mechanical: WARE MALCOMB
Electrical: WARE MALCOMB
Civil: WARE MALCOMB
Structural: WARE MALCOMB
Landscape: WARE MALCOMB
Site Planning: WARE MALCOMB
Sustainability: WARE MALCOMB
Historic Preservation: WARE MALCOMB

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DATE: 04/20/2020
PROJECT: PROGRESS SUBMITTAL



ELEVATION NOTES

- SEE SHEET A0.2 FOR GENERAL NOTES
- INSULATED PRECAST WALL PANEL W/ REVEALS - TEXTURED COATING.
 - ALUMINUM GLAZING SYSTEM WITH 1" THICK LOW-E INSULATED GLASS.
 - FINISH GRADE, VARIES.
 - CONCRETE FOOTING, SEE STRUCTURAL DWG.
 - PRE-MANUFACTURED STEEL CANOPY STRUCTURE W/ PREFINISHED METAL FASCIA & COLUMNS W/ LED SURFACE MOUNTED LIGHT FIXTURES. THE DOWNSPOUTS INTO UNDERGROUND STORM SYSTEM. SEE PLUMBING AND CIVIL DWG.
 - COMPOSITE ALUMINUM CANOPY W/ ADJUSTABLE STRUT ROD SUPPORTS. SEE DETAIL 19/A12.20
 - WALL PACK LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS.
 - LINE OF ROOF BEYOND.
 - PREFINISHED METAL COPING.
 - PAINTED HOLLOW METAL DOOR AND FRAME.
 - STAIR AND RAILING, SEE DETAILS 1 & 11/A12.5
 - FIXED STEEL BOLLARD, SEE DETAIL 5/A12.10
 - 9' X 10' VERTICAL LIFT OVERHEAD DOOR, SEE DOOR SCHEDULE.
 - 14' X 16' MOTORIZED HIGH LIFT INSULATED OVERHEAD DOOR & CONCRETE RAMP, SEE DOOR SCHEDULE AND DETAIL 13/A12.10
 - ILLUMINATED BUILDING SIGN (BY OTHERS).
 - OVERFLOW DAYLIGHT DRAIN, SEE DETAIL 15/A12.2
 - SCUPPER OPENING, SEE DETAIL 13/A12.2
 - COMBINATION DOCK SEAL AND AQUASHIELD RAIN SEALING SYSTEM.
 - OVERFLOW EXITING, SEE DETAIL 21/A12.1
 - NOT USED, RESERVED
 - PRE-FINISHED METAL LOUVER - SEE MECH. DWG, COORDINATE ROUGH OPENING SIZE WITH ACTUAL LOUVER SIZE.
 - INSTALL SAFETY & SECURITY FILM TO WAREHOUSE EXPOSED TO WAREHOUSE (EXCLUDED PANELS AT OFFICES) 15'-0" A.F.F. & LOWER.
 - STAIR TOWER BEYOND.

ELEVATION NOTES

- SEE SHEET A0.2 FOR GENERAL NOTES
- INSULATING GLAZING WITH "LOW-E";
 - OUTBOARD LITE: GUARDIAN CRYSALGRAY W/ SUNGUARD COATING
 - VISION GLASS: 1" INSULATING GLAZING WITH "LOW-E";
 - SPANDREL GLASS: AS PER VISION W/ ICED HIGH PERFORMANCE 3-0770 WARM GRAY COATING ON #4 SURFACE.
 - DESIGN CRITERIA FOR ALL GLASS USED ON THE ENVELOPE OF THE BUILDING: U FACTOR = 0.29, VT = 44, AND SHGC = 0.22
 - GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT.
 - TEMPERED GLASS.

LEGEND

- VISION GLASS: 1" INSULATING GLAZING WITH "LOW-E";
- OUTBOARD LITE: GUARDIAN CRYSALGRAY W/ SUNGUARD COATING
- SPANDREL GLASS: AS PER VISION W/ ICED HIGH PERFORMANCE 3-0770 WARM GRAY COATING ON #4 SURFACE.
- DESIGN CRITERIA FOR ALL GLASS USED ON THE ENVELOPE OF THE BUILDING: U FACTOR = 0.29, VT = 44, AND SHGC = 0.22
- GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT.
- TEMPERED GLASS.

COLOR LEGEND

- SEE SHEET A4.7 FOR COLOR PALETTE
- PROVIDE 6'-0" WIDE PAINT MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- TEXTURED ACRYLIC COATING
 - SHERWIN WILLIAMS MATCH COLOR SW#049 "NUANCE"
 - (RGB 266 - 244 - 214)
 - TEXTURED ACRYLIC COATING
 - SHERWIN WILLIAMS MATCH COLOR SW#9174 "MOTH WING"
 - (RGB 160 - 144 - 127)
 - TEXTURED ACRYLIC COATING
 - SHERWIN WILLIAMS MATCH COLOR SW#017 "DORIAN GRAY"
 - (RGB 172 - 167 - 158)
 - TEXTURED ACRYLIC COATING
 - SHERWIN WILLIAMS MATCH COLOR SW#018 "DOVE TAIL"
 - (RGB 144 - 138 - 131)

DATE	REMARKS
04/20/2020	PROGRESS SUBMITTAL

J5/CY	PA / PM
LM	DRAWN BY:
0000-0000-00	JOB NO.:

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BUILDING 3
HUDSON, NEW HAMPSHIRE

A4.3
SHEET

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